

Proposed Courtice Mixed-Use Building Development - BLDG.#3 (PHASE1)

1697 Durham Regional Hwy 2, Courtice, ON L1E 2R5



LIST OF DRAWINGS

COVER SHEET

A000 COVER SHEET

ARCHITECTURAL

- A001 ASSEMBLIES
- A002 LIFE SAFETY PLANS
- A102 SITE PLAN-OVERALL
- A201 BASEMENT LEVEL-TBD
- A202 GROUND & TYPICAL FLOOR PLAN (2-4)
- A203 4TH & 5TH FLOOR PLANS
- A204 ROOF PLAN
- A301 ELEVATIONS
- A401 BUILDING SECTIONS
- A501 STAIRS
- A601 3D VIEWS

CIVIL

- SS-1 SITE SERVICING PLAN
- SG-1 SITE GRADING PLAN
- ES-1 EROSION AND SEDIMENT CTRL PLAN
- SD-1 PRE-DEVELOPMENT STORM DRAINAGE SCHEME
- SD-2 POST-DEVELOPMENT STORM DRAINAGE SCHEME
- UC-1 UTILITY COORDINATION PLAN
- C-1 RICHARD H. GAY AVE PLAN & PROFILE

ELECTRICAL

- SE-1 SITE ELECTRICAL
- SL-1 SITE LIGHTING - PHOTOMETRIC PLAN-1
- SL-2 SITE LIGHTING - PHOTOMETRIC PLAN-2
- SL-1* STREET LIGHTING
- SE-2 BLDG-1 SITE ELECTRICAL
- SE-3 BLDG-2 SITE ELECTRICAL
- SE-4 BLDG-3 SITE ELECTRICAL

LANDSCAPE

- T1.1 TREE INVENTORY AND PRESERVATION PLAN
- L1.1 LANDSCAPE PLAN
- L1.2 LANDSCAPE PLANTING PLAN
- L2.3 LANDSCAPE DETAILS
- L2.1 LANDSCAPE DETAILS
- L2.2 LANDSCAPE DETAILS

NAME OF PRACTICE :		BARRY BRYAN ASSOCIATES 250 WATER STREET WHITBY, ONTARIO, L1N 0G5 www.bba-archeng.com																																																																		
CERTIFICATE OF PRACTICE No. :		5192																																																																		
NAME OF PROJECT :		COURTICE MIXED-USE BUILDING DEVELOPMENT																																																																		
LOCATION OF PROJECT :		1697 DURHAM REGIONAL HWY 2 COURTICE, ONTARIO, L1E 2R5																																																																		
ITEM	ONTARIO BUILDING CODE DATA MATRIX - PART 3		O.B.C. REFERENCE References are to Division B unless noted [A] for Division A or [C] for Division C.																																																																	
1.	PROJECT DESCRIPTION: <input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> RENOVATION <input type="checkbox"/> CHANGE OF USE <input type="checkbox"/> ADDITION AND RENOVATION	<input checked="" type="checkbox"/> PART 3 1.1.2(A)																																																																		
DESCRIPTION: 9 STOREY WITH BASEMENT MICRO-UNIT CONDOMINIUM																																																																				
2.	MAJOR OCCUPANCY(S) GROUP C	3.1.2.1(1)																																																																		
3.	BUILDING AREA (m ²) EXISTING N/A NEW 721.5 m ² TOTAL 721.5 m ²	1.4.1.2(A)																																																																		
4.	GROSS AREA (m ²) EXISTING N/A NEW 3,431.8 m ² TOTAL 3,431.8 m ²	1.4.1.2(A)																																																																		
5.	NUMBER OF STOREYS ABOVE GRADE 5 BELOW GRADE 0	1.4.1.2(A) & 3.2.1.1																																																																		
6.	NUMBER OF STREETS / FIRE FIGHTER ACCESS 3	3.2.2.10 & 3.2.5																																																																		
7.	BUILDING CLASSIFICATION 3.2.2.4.3A	3.2.2.20-83																																																																		
8.	SPRINKLER SYSTEM PROPOSED <input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF RATING <input type="checkbox"/> NOT REQUIRED	3.2.2.20-83 3.2.1.5 3.2.2.17 INDEX																																																																		
9.	STANDPIPE REQUIRED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.9																																																																		
10.	FIRE ALARM REQUIRED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.4																																																																		
11.	WATER SERVICE SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7																																																																		
12.	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6																																																																		
13.	CONSTRUCTION RESTRICTIONS <input checked="" type="checkbox"/> COMBUSTIBLE PERMITTED <input type="checkbox"/> NON-COMBUSTIBLE PERMITTED <input type="checkbox"/> BOTH	3.2.2.20-83																																																																		
ACTUAL CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH																																																																				
14.	IMPORTANCE CATEGORY LOW <input checked="" type="checkbox"/> MEDIUM <input type="checkbox"/> HIGH <input type="checkbox"/> POST DISASTER	4.1.2.1 (3) 5.2.2.1 (2)																																																																		
SITE CLASS (A,B,C,D,E FROM GEOTECHNICAL REPORT) TO BE DETERMINED AT PERMIT SUBMISSION																																																																				
EARTHQUAKE IMPORTANCE FACTOR (I _e)		TO BE DETERMINED AT PERMIT SUBMISSION																																																																		
ACCELERATION BASED COEFFICIENT (F _a)		TO BE DETERMINED AT PERMIT SUBMISSION																																																																		
5% SPECTRAL RESPONSE S _w (S _w)		TO BE DETERMINED AT PERMIT SUBMISSION																																																																		
SEISMIC HAZARD INDEX SEISMIC HAZARD INDEX		TO BE DETERMINED AT PERMIT SUBMISSION																																																																		
DESIGN FOR SEISMIC REQUIRED CATEGORIES 8 to 21 TABLE 4.1.1.18 EQUAL OR ABOVE 0.35: <input type="checkbox"/> YES <input type="checkbox"/> NO		TO BE DETERMINED AT PERMIT SUBMISSION																																																																		
15.	MEZZANINE(S) AREA (m ²) N/A	3.2.2.1.1(D)-(H)																																																																		
16.	OCCUPANT LOAD BASED ON <input type="checkbox"/> m ² / PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING	3.1.17																																																																		
<table border="0"> <tr> <td>1st FLOOR:</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>6 UNITS</td> <td>OCCUPANCY C</td> <td>LOAD # 12</td> <td>PERSONS</td> <td>AS PER DESIGN</td> </tr> <tr> <td>LOBBY/AMENITY (FOR RESIDENTS ONLY)</td> <td>OCCUPANCY A</td> <td>LOAD # (50)</td> <td>PERSONS</td> <td>AS PER DESIGN</td> </tr> <tr> <td>LOADING AND SERVICE AREAS</td> <td>OCCUPANCY F3</td> <td>LOAD # 2</td> <td>PERSONS</td> <td>46m² / PERSON</td> </tr> <tr> <td>2nd FLOOR:</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>10 UNITS</td> <td>OCCUPANCY C</td> <td>LOAD # 20</td> <td>PERSONS</td> <td>25SLEEPING ROOM</td> </tr> <tr> <td>3rd FLOOR:</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>10 UNITS</td> <td>OCCUPANCY C</td> <td>LOAD # 20</td> <td>PERSONS</td> <td>25SLEEPING ROOM</td> </tr> <tr> <td>4th FLOOR:</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>10 UNITS</td> <td>OCCUPANCY C</td> <td>LOAD # 20</td> <td>PERSONS</td> <td>25SLEEPING ROOM</td> </tr> <tr> <td>5th FLOOR:</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>9 UNITS</td> <td>OCCUPANCY C</td> <td>LOAD # 18</td> <td>PERSONS</td> <td>25SLEEPING ROOM</td> </tr> <tr> <td colspan="2">TOTAL:</td> <td>LOAD # 142</td> <td>PERSONS</td> <td></td> </tr> </table>				1st FLOOR:					6 UNITS	OCCUPANCY C	LOAD # 12	PERSONS	AS PER DESIGN	LOBBY/AMENITY (FOR RESIDENTS ONLY)	OCCUPANCY A	LOAD # (50)	PERSONS	AS PER DESIGN	LOADING AND SERVICE AREAS	OCCUPANCY F3	LOAD # 2	PERSONS	46m ² / PERSON	2nd FLOOR:					10 UNITS	OCCUPANCY C	LOAD # 20	PERSONS	25SLEEPING ROOM	3rd FLOOR:					10 UNITS	OCCUPANCY C	LOAD # 20	PERSONS	25SLEEPING ROOM	4th FLOOR:					10 UNITS	OCCUPANCY C	LOAD # 20	PERSONS	25SLEEPING ROOM	5th FLOOR:					9 UNITS	OCCUPANCY C	LOAD # 18	PERSONS	25SLEEPING ROOM	TOTAL:		LOAD # 142	PERSONS	
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17.	BARRIER FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)	3.8																																																																		
18.	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2 & 3.3.1.19																																																																		
19.	REQUIRED FIRE RESISTANCE RATING (F.R.R.)	3.2.2.42																																																																		
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20.	SPATIAL SEPERATION: CONSTRUCTION OF EXTERIOR WALLS	TO BE DETERMINED AT PERMIT SUBMISSION																																																																		
<table border="1"> <thead> <tr> <th>WALL</th> <th>AREA OF E.B.F. (m²)</th> <th>L.D. (m)</th> <th>L/H or H/L</th> <th>PERMITTED MAX % OF OPENINGS</th> <th>PROPOSED % OF OPENINGS</th> <th>F.R.R. (HOURS)</th> <th>LISTED DESIGN OR DESCRIPTION</th> <th>COMB. CONST.</th> <th>COMB. CONSTRUCTION NON-COMBUSTIBLE CLADDING</th> <th>NON-COMBUSTIBLE CONSTRUCTION</th> </tr> </thead> <tbody> <tr> <td>NORTH</td> <td>TBD sqm</td> <td>19.0 m</td> <td>/</td> <td>100 %</td> <td>%</td> <td>0</td> <td>TBD</td> <td>YES</td> <td>NO</td> <td>NO</td> </tr> <tr> <td>SOUTH</td> <td>TBD sqm</td> <td>13.0 m</td> <td>/</td> <td>100 %</td> <td>%</td> <td>0</td> <td>TBD</td> <td>YES</td> <td>NO</td> <td>NO</td> </tr> <tr> <td>EAST</td> <td>TBD sqm</td> <td>43.0 m</td> <td>/</td> <td>100 %</td> <td>%</td> <td>0</td> <td>TBD</td> <td>YES</td> <td>NO</td> <td>NO</td> </tr> <tr> <td>WEST</td> <td>TBD sqm</td> <td>14.6 m</td> <td>/</td> <td>100 %</td> <td>%</td> <td>0</td> <td>TBD</td> <td>YES</td> <td>NO</td> <td>NO</td> </tr> </tbody> </table>				WALL	AREA OF E.B.F. (m ²)	L.D. (m)	L/H or H/L	PERMITTED MAX % OF OPENINGS	PROPOSED % OF OPENINGS	F.R.R. (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONSTRUCTION NON-COMBUSTIBLE CLADDING	NON-COMBUSTIBLE CONSTRUCTION	NORTH	TBD sqm	19.0 m	/	100 %	%	0	TBD	YES	NO	NO	SOUTH	TBD sqm	13.0 m	/	100 %	%	0	TBD	YES	NO	NO	EAST	TBD sqm	43.0 m	/	100 %	%	0	TBD	YES	NO	NO	WEST	TBD sqm	14.6 m	/	100 %	%	0	TBD	YES	NO	NO										
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WEST	TBD sqm	14.6 m	/	100 %	%	0	TBD	YES	NO	NO																																																										
21.	PLUMBING FIXTURE REQUIREMENTS	DETAILS TO BE INCLUDED WITH PERMIT SUBMISSION																																																																		
22.	EXIT WIDTH CALCULATION	TO BE DETERMINED AT PERMIT SUBMISSION																																																																		

NO.	ISSUES	DATE	BY
1	PRE CONSULTATION	APRIL 14 2022	BBA
2	REVISED PRE CONSULTATION	JUNE 22 2022	BBA
3	REVISED PRE CONSULTATION	NOV 24 2022	BBA
4	INTERNAL REVIEW	NOV 29 2022	BBA
5	COORDINATION	DEC 02 2022	BBA
6	SITE PLAN APPLICATION	DEC 09 2022	BBA
7	SITE PLAN APPLICATION- R1	NOV 03 2023	BBA
8	SITE PLAN APPLICATION- R2	JAN 26 2024	BBA

Proposed Courtice Mixed-Use Building Development - BLDG.#3 (PHASE1)

1697 Durham Regional Hwy 2, Courtice, ON L1E 2R5

PROGRESS DRAWINGS FEB 16 2024

Project No. 21046

A000

Architectural/Structural :

BARRY BRYAN ASSOCIATES
Architects
Engineers
Project Managers
201-250 Water St.
Whitby Ontario L1N 0G5
Tel: (905) 666-5252
Fax: (905) 666-5256
e-mail: bba@bba-archeng.com

PLANNERS:

CIVIL / ELECTRICAL:

D.G. Biddle & Associates Limited
consulting engineers and planners
86 King Street East - Oshawa, ON
L1H 1B6 - p. 905-576-8500

LANDSCAPE:

TROPIC DESIGN
P: 289-251-4396
www.tropicrodesign.ca

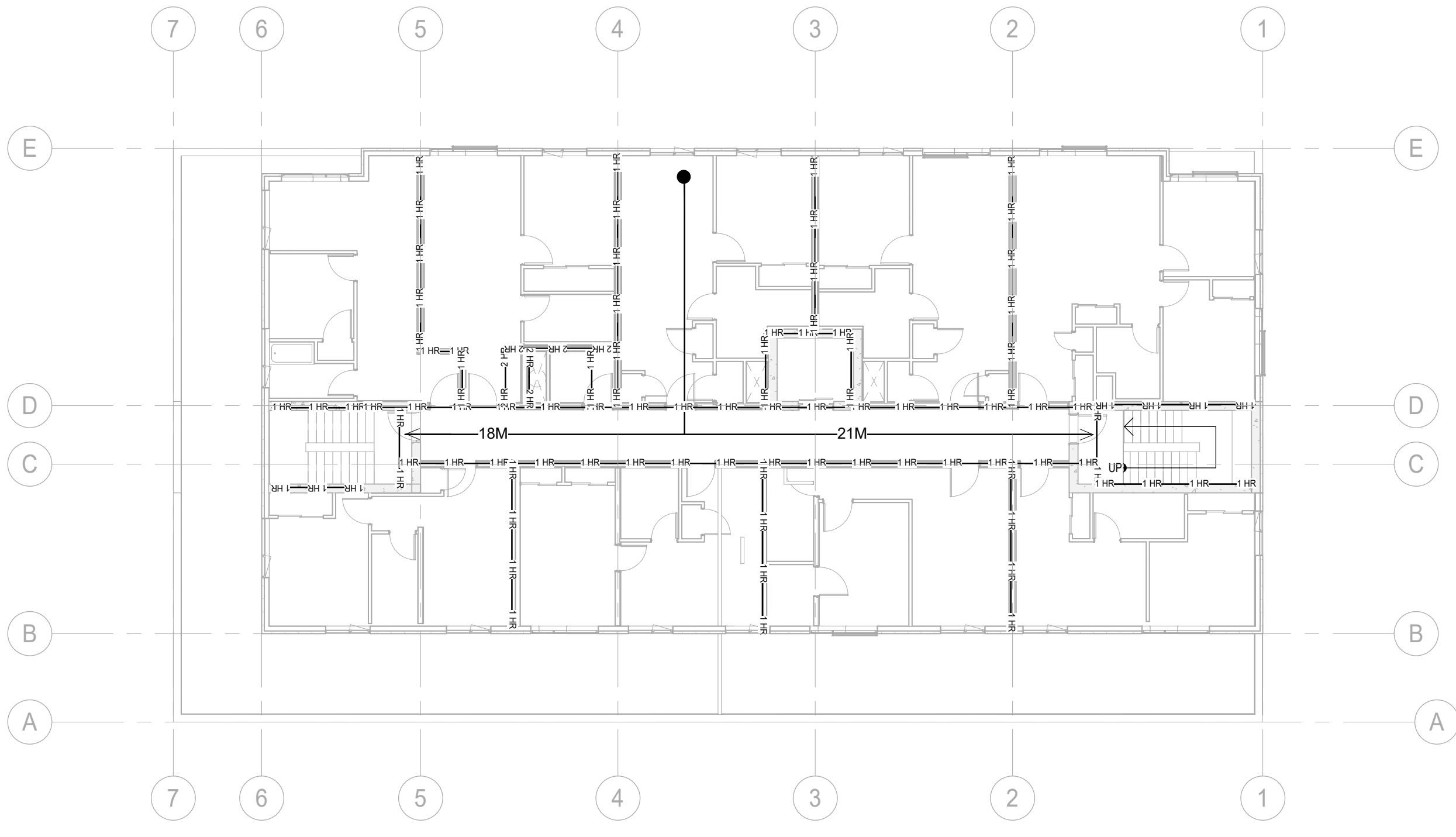
EXIT WIDTH CALCULATIONS	FIRE SEPARATION LEGEND	CLOSURES RATING	NOTES LEGEND	NOTES :
AGGREGATE WIDTH OF STAIRS: 1100+1100 = 2200mm EXIT CAPACITY = 220/8 = 27.5 persons AGGREGATE WIDTH OF EXIT DOORS: 1930mm + 965mm + 965mm = 2895mm EXIT CAPACITY = 2895/8 = 361.875 persons TOTAL NUMBER OF OCCUPANTS FOR THE BUILDING = xxx Persons (Also see code matrix section 3.19) MAX OCCUPANTS ON FLOORS ABOVE LEVEL 1 = xxx persons STAIR AND DOORWAY WIDTHS ARE ADEQUATE.	0 HOUR FIRE SEPARATION 1.0 HOUR FIRE SEPARATION 2.0 HOUR FIRE SEPARATION	0 HOUR F.R.R. 3/4 HOUR F.R.R. 1.5 HOUR F.R.R.	45M TRAVEL DISTANCE / ROUTE FIRE HOSE REACH FIRE HOSE VALVE IN CABINET c/w FIRE EXTINGUISHER (SEE ALSO SPRINKLER DRAWINGS) FIRE EXTINGUISHER CABINET (SEE ALSO SPRINKLER DRAWINGS)	1. REFER TO PARTITION TYPE SCHEDULE AND PLANS FOR DESCRIPTION OF PARTITIONS TO BE USED. 2. ALL RATED WALLS/PARTITIONS TO BE FULL HEIGHT TO UNDERSIDE OF FLOOR / ROOF DECK FOR CONTINUOUS FIRE STOPPING / SMOKE SEAL INCLUDING INFILL OF DECK FLUTES WHERE APPLICABLE. PROVIDE SHAFTHALL INFILL (OFFSET) AT TOPS OF ALL RATED PARTITIONS DESIGNED BY THE FIRE STOPPING SUPPLIER TO MEET CODE REQUIREMENTS AND TO SUIT THE APPLICATION, AND SHALL HAVE A FIRE RESISTANCE RATING EQUIVALENT TO THE RATING INDICATED FOR THE ASSEMBLY WHERE WALLS/PARTITIONS ABUT / ALIGN TO UNDERSIDE OF STRUCTURE (BEAMS OR JOISTS). 3. ALL PENETRATIONS THROUGH RATED ASSEMBLIES TO BE FIRE STOPPED / SMOKE SEALED. FIRE STOPPING SHALL BE DESIGNED BY THE FIRE STOPPING SUPPLIER TO MEET CODE REQUIREMENTS AND TO SUIT THE APPLICATION AND SHALL HAVE A FIRE RESISTANCE RATING EQUIVALENT TO THE RATING INDICATED FOR THE ASSEMBLY.

DO NOT SCALE THE DRAWINGS
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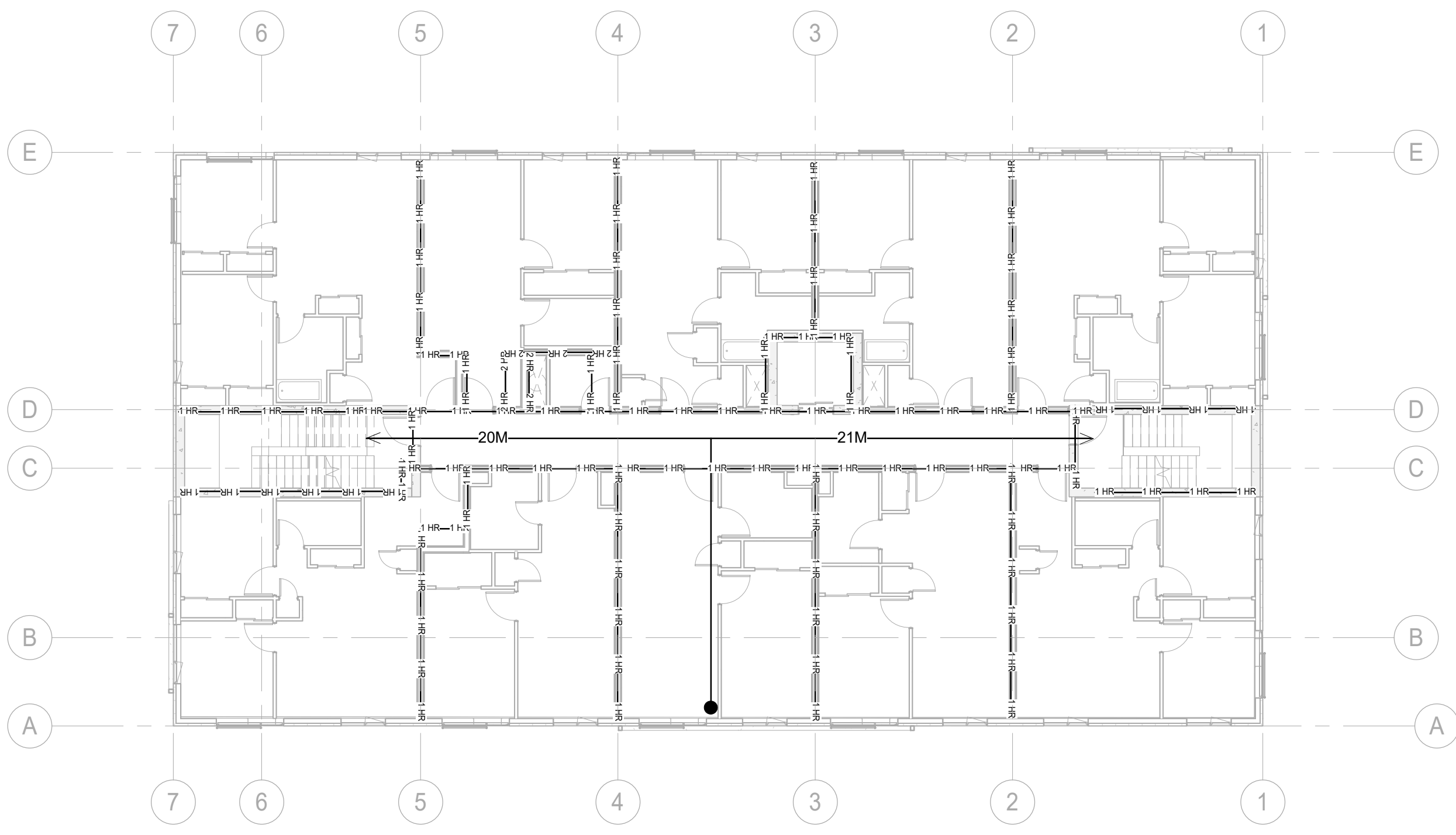
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6	SITE PLAN APP -REVISION-2	JAN 26 2024	BBA

PROGRESS DRAWINGS
FEB 16 2024

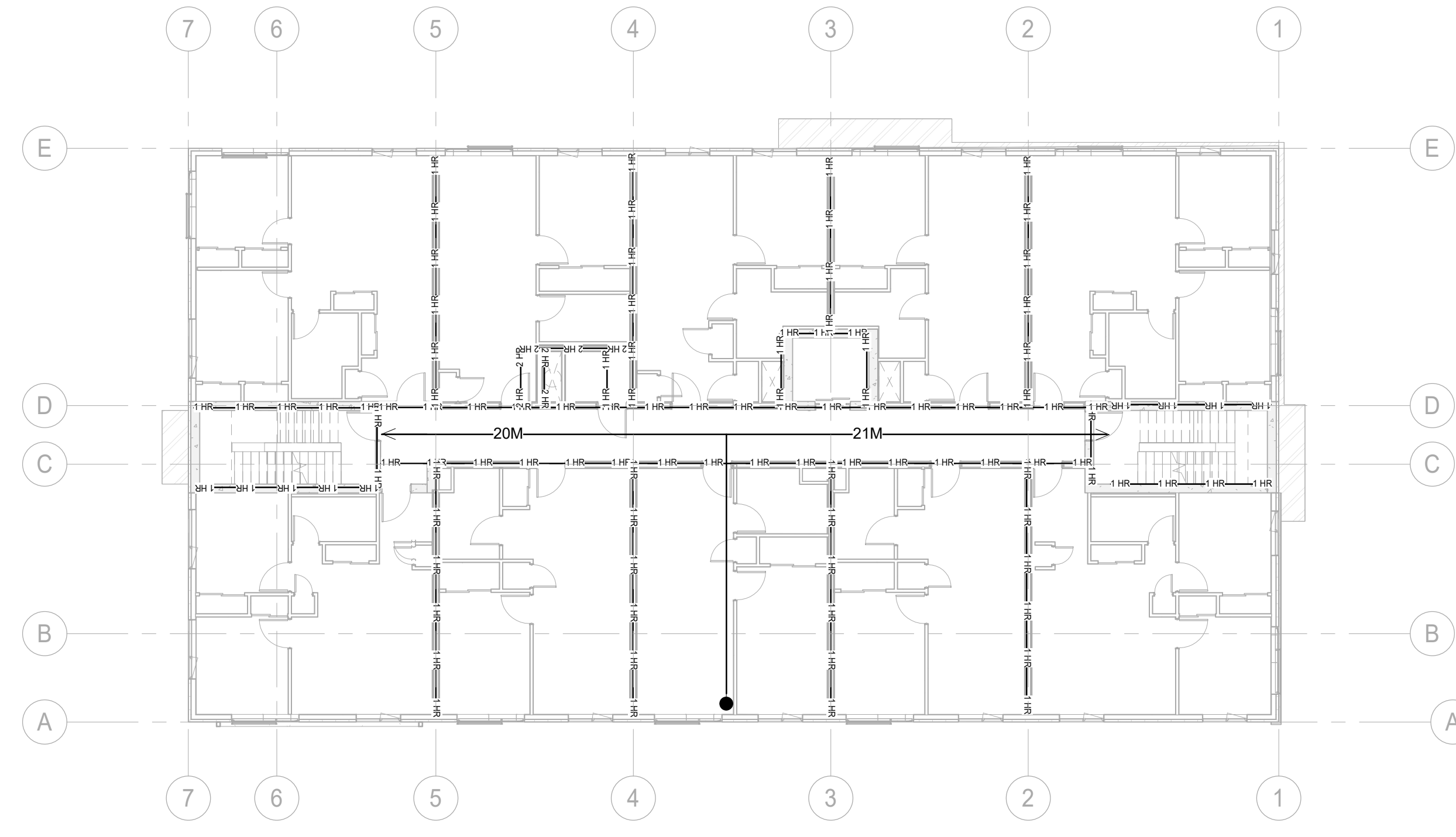
NO.	REVISIONS	DATE	BY



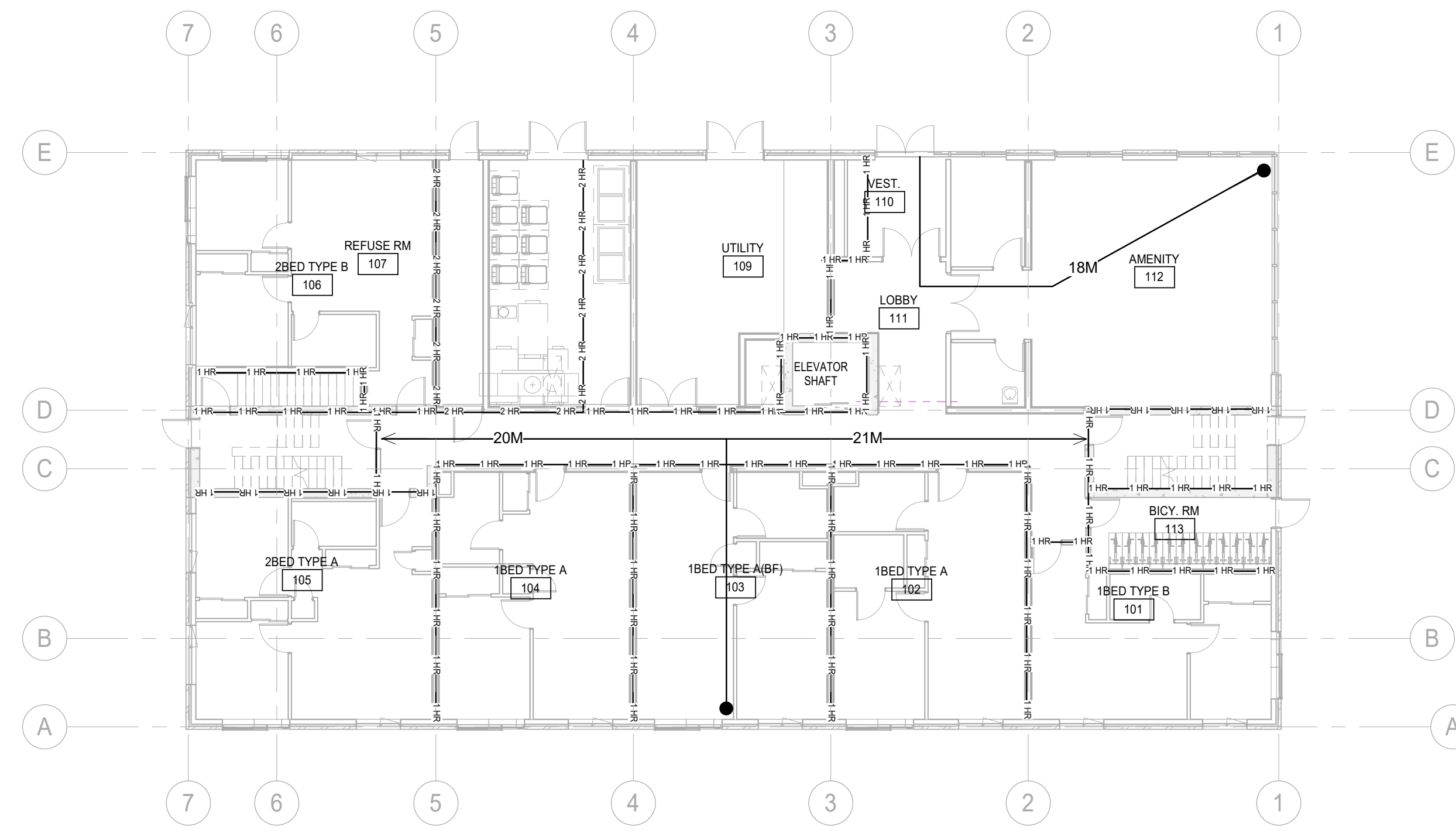
4 LIFE SAFETY 5TH FLOOR
A002 1:150



3 LIFE SAFETY 4TH FLOOR
A002 1:150



2 LIFE SAFETY 2ND & 3RD FLOORS
A002 1:150



1 LIFE SAFETY GROUND FLOOR
A002 1:150

PROJECT:
Proposed Courtye Mixed-Use Building Development - BLDG.#3 (PHASE1)
1697 Durham Regional Hwy 2, Courtye, ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
LIFE SAFETY PLANS



BARRY BRYAN ASSOCIATES

Architects
Engineers
Project Managers

201-250 Water Street
Whitby Ontario L1N 0G8
Tel: (905) 666-5252
Fax: (905) 666-5256
e-mail: bba@bba-arch.com

DESIGN BY:	AA	DATE:	2023-11-03
DRAWN BY:	AA/JP	SCALE:	As indicated
CHECKED BY:	AA/NS	FILE:	

PROJECT NO:	21046	DRAWING NO:	A002
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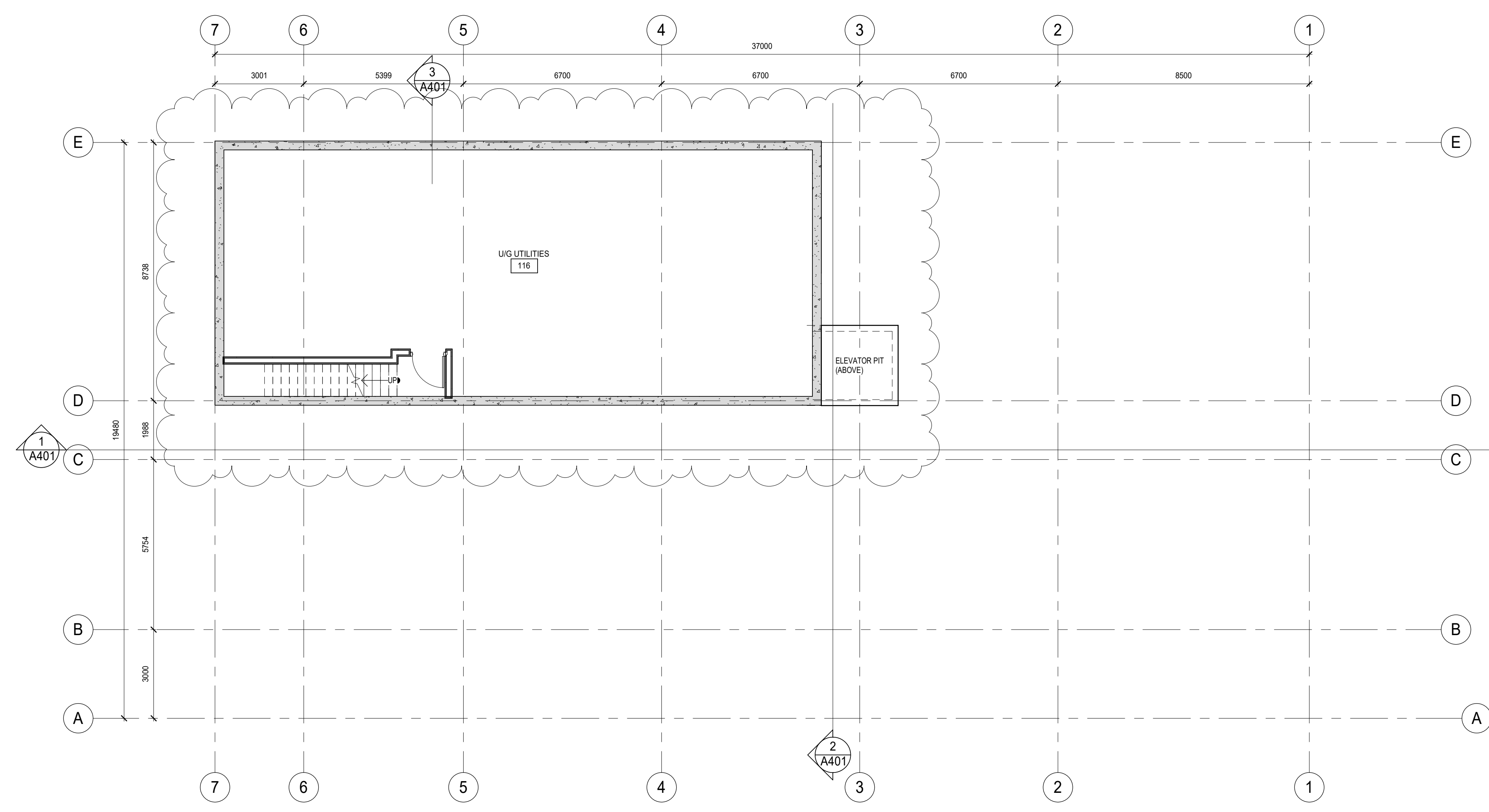
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6	SITE PLAN APP -REVISION-2	JAN 26 2024	BBA

PROGRESS
DRAWINGS
FEB 16 2024

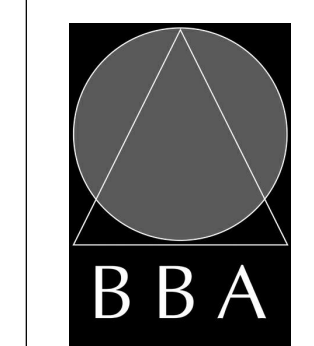
2	SPA-R1 (UPDATED PAGE)	2024-01-09	
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NO.	REVISIONS	DATE	BY
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**Proposed Courtice
Mixed-Use Building
Development - BLDG.#3
(PHASE1)**
1697 Durham Regional Hwy 2, Courtice,
ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
BASEMNT LEVEL-TBD



**BARRY BRYAN
ASSOCIATES**

Architects
Engineers
Project Managers

DESIGN BY:	AA	DATE:	2023-11-03
DRAWN BY:	AA/JP	SCALE:	1 : 100
CHECKED BY:	AA/NS	FILE:	

201-250 Water Street
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Fax: (905) 666-5256
e-mail: bba@bbaarch.com

PROJECT NO:	21046	DRAWING NO:	A201
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1	PRE CONSULTATION	APRIL 14 2022	BBA
2	REVISED PRE CONSULTATION	JUNE 22 2022	BBA
3	INTERNAL REVIEW	NOV 29 2022	BBA
4	SITE PLAN APPLICATION	DEC 09 2022	BBA
5	SITE PLAN APPLICATION-R1	NOV 03 2023	BBA
6	SITE PLAN APP. -REVISION-2	JAN 26 2024	BBA

PROGRESS
DRAWINGS
FEB 16 2024

NO.	REVISIONS	DATE	BY

PROJECT:
**Proposed Courtice
Mixed-Use Building
Development - BLDG.#3
(PHASE1)**
1697 Durham Regional Hwy 2, Courtice,
ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
ROOF PLAN



**BARRY BRYAN
ASSOCIATES**

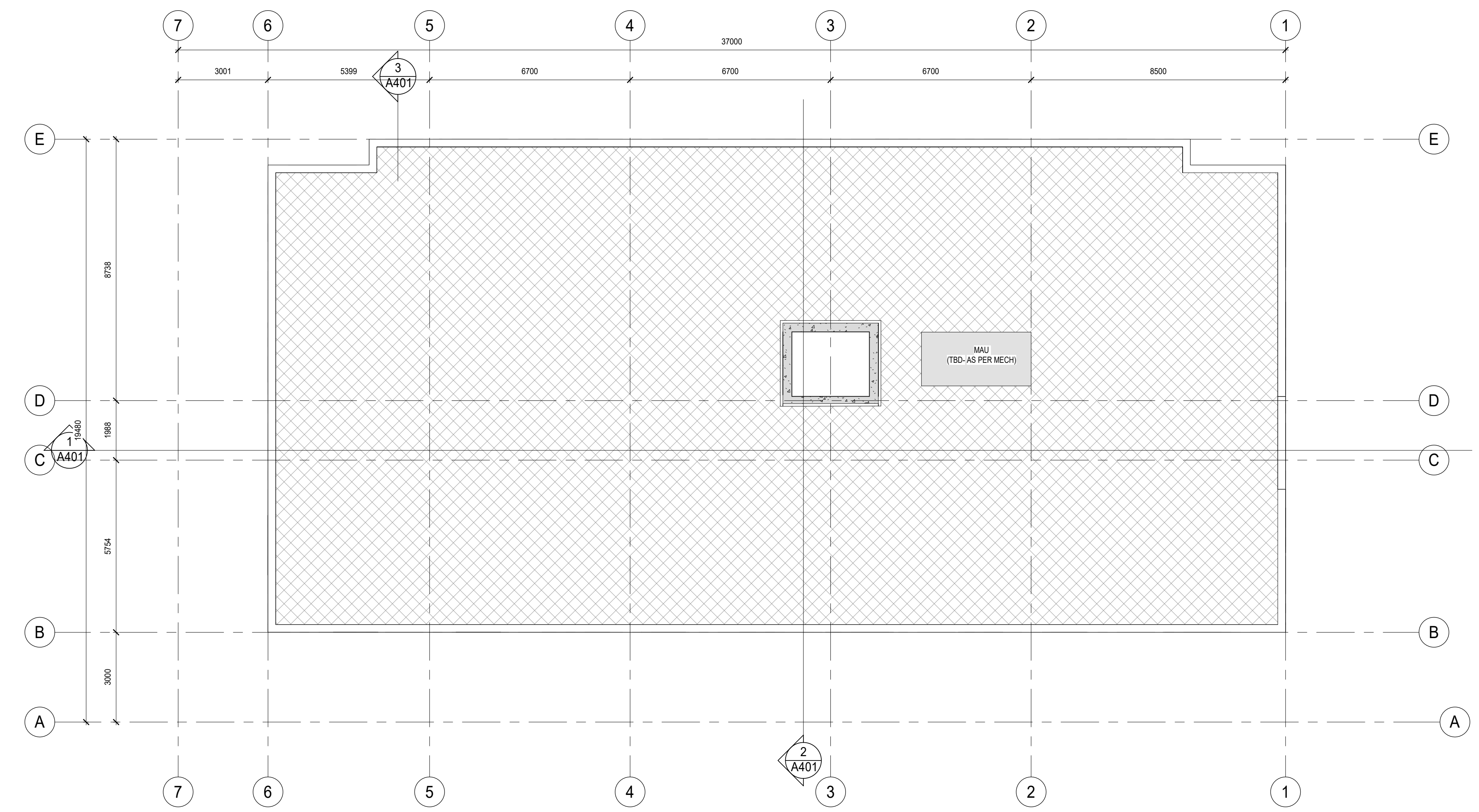
*Architects
Engineers
Project Managers*

201-250 Water Street
Whitby Ontario L1N 0G8
Tel: (905) 666-5252
Fax: (905) 666-5256
e-mail: bba@bba-arch.com

DESIGN BY: AA	DATE: 2023-11-03
DRAWN BY: AA/JP	SCALE: 1 : 100
CHECKED BY: AA/NS	FILE:

PROJECT NO:
21046

DRAWING NO:
A204



1 ROOF
A204
1:100

MATERIAL LEGEND

	EIFS SURFACE-1
	EIFS SURFACE-2
	MASONRY
	METAL PANEL

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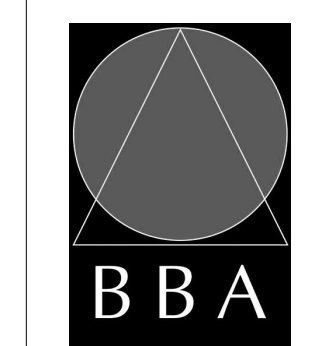
NO.	ISSUES	DATE	BY
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6	SITE PLAN APP -REVISION-2	JAN 26 2024	BBA

PROGRESS
DRAWINGS
FEB 16 2024

NO.	REVISIONS	DATE	BY

PROJECT:
**Proposed Courtye
Mixed-Use Building
Development - BLDG.#3
(PHASE1)**
1697 Durham Regional Hwy 2, Courtye,
ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
ELEVATIONS



**BARRY BRYAN
ASSOCIATES**

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DESIGN BY: AA
DRAWN BY: AA/JP
CHECKED BY: AA/NS

DATE: 2023-11-03
SCALE: 1 : 125
FILE:

PROJECT NO: **21046**
DRAWING NO: **A301**



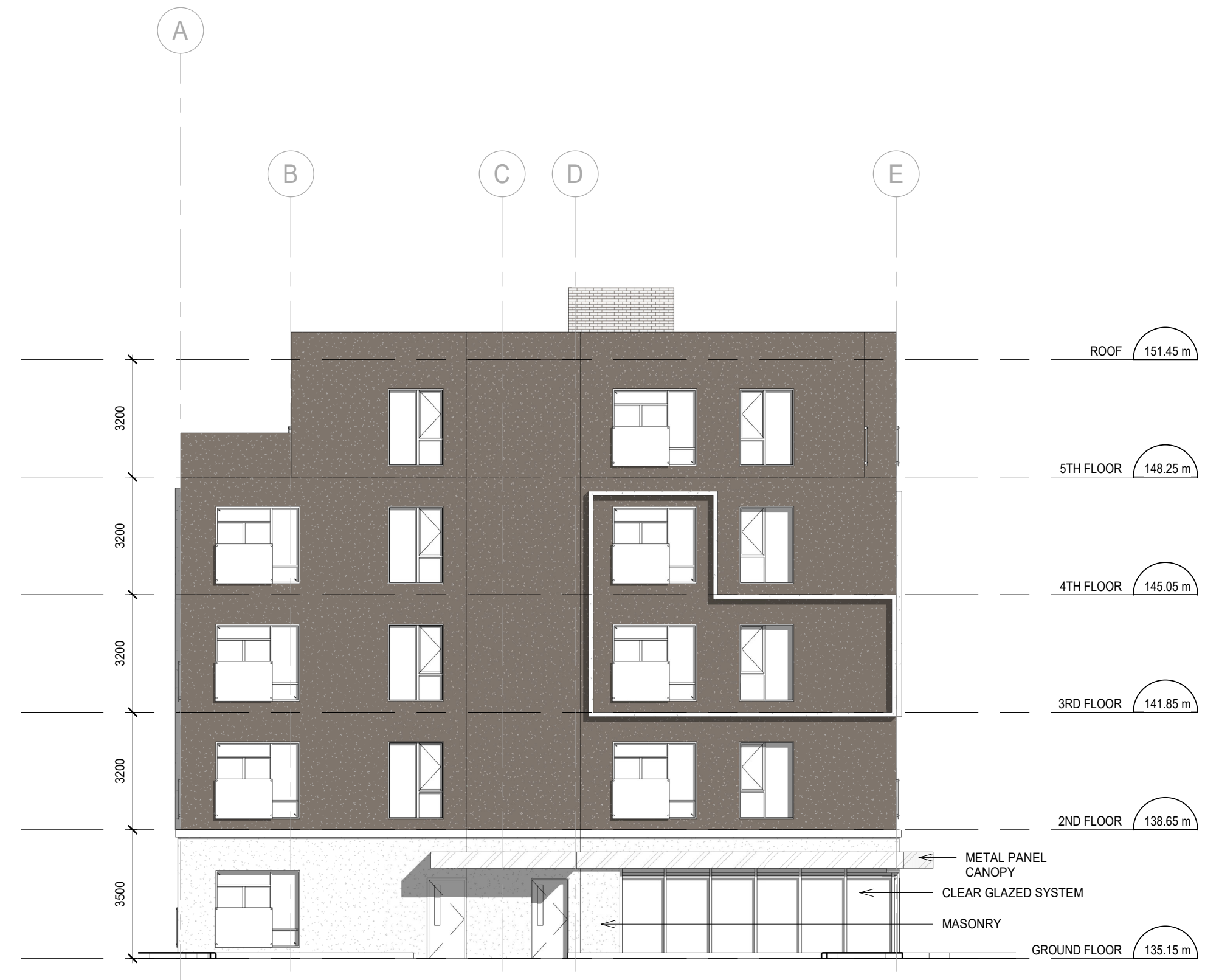
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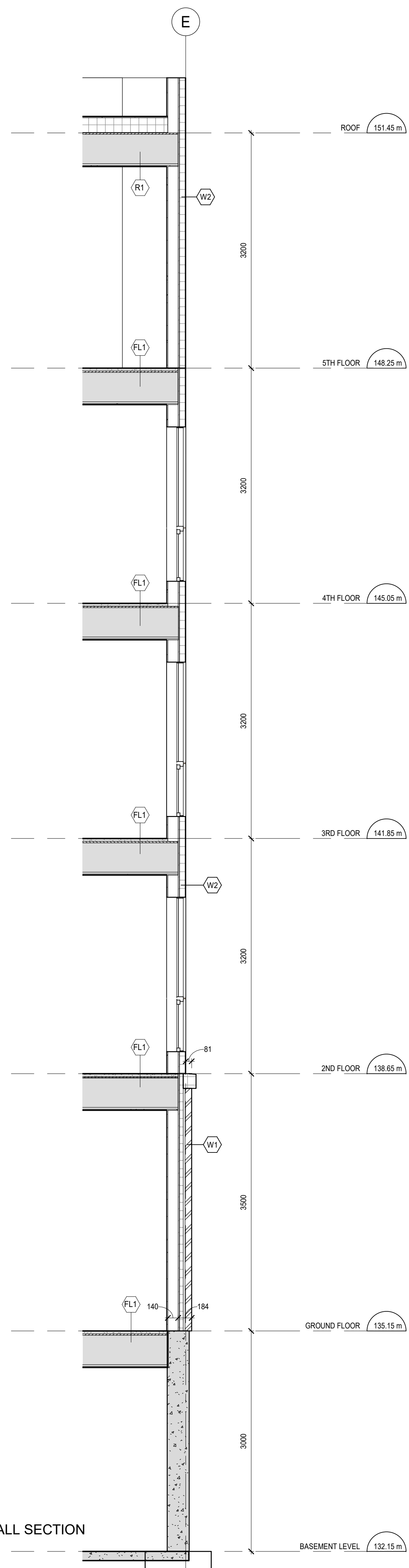
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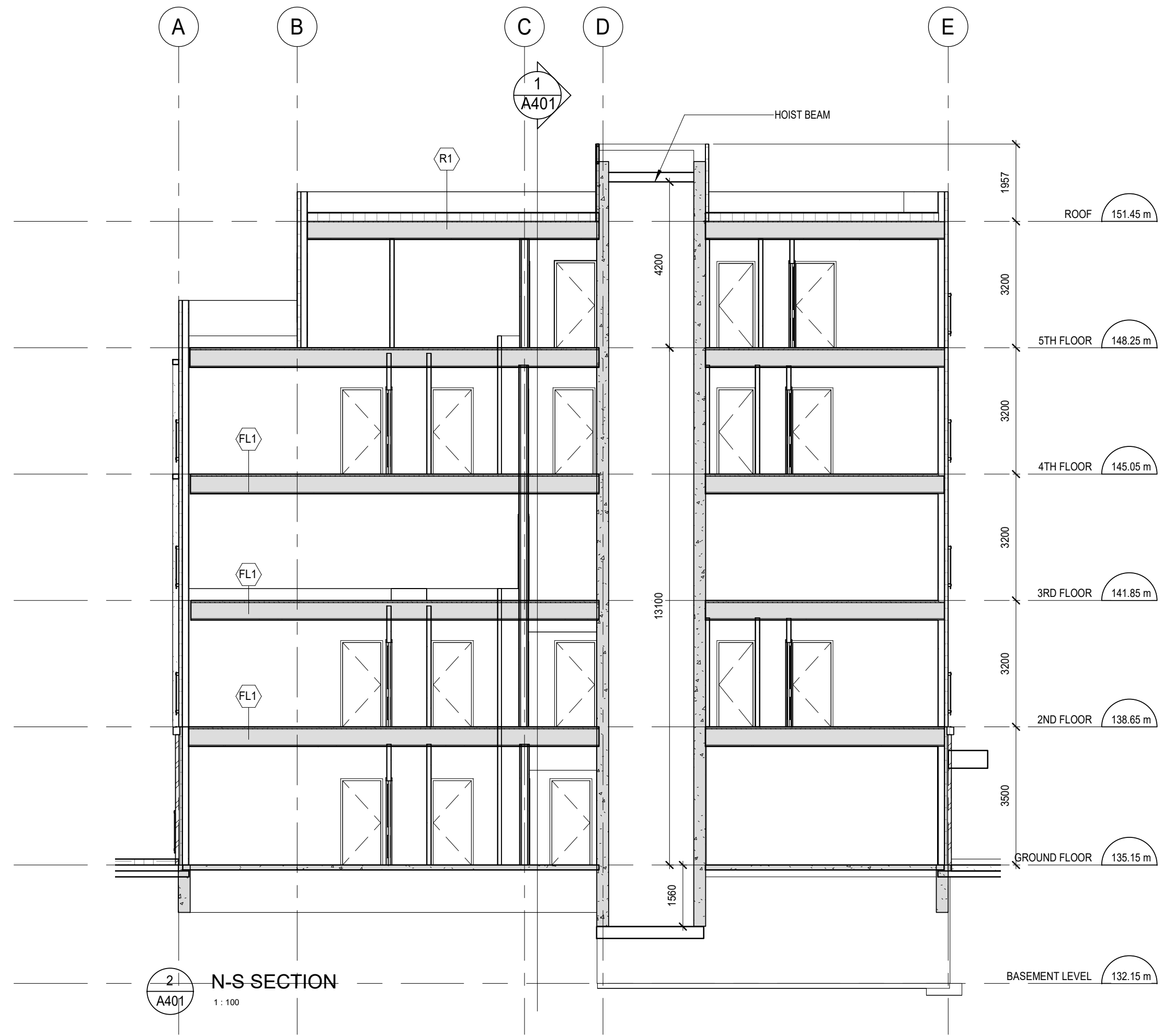
1 NORTH
A301 1:125



2 EAST
A301 1:125



3 WALL SECTION
A401 1:38



2 N-S SECTION
A401 1:100



1 E-W SECTION
A401 1:100

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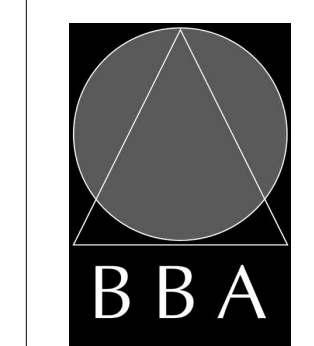
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6	SITE PLAN APP.-REVISION-2	JAN 26 2024	BBA

PROGRESS
DRAWINGS
FEB 16 2024

NO.	REVISIONS	DATE	BY

PROJECT:
**Proposed Courtye
Mixed-Use Building
Development - BLDG.#3
(PHASE1)**
1697 Durham Regional Hwy 2, Courtye,
ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
BUILDING SECTIONS



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DESIGN BY:	AA	DATE:	2023-11-03
DRAWN BY:	AA/JP	SCALE:	As indicated
CHECKED BY:	AA/NS	FILE:	

PROJECT NO:
21046

DRAWING NO:
A401

