# Proposed Courtice Mixed-Use Building Development - BLDG.#3 (PHASE1)

1697 Durham Regional Hwy 2, Courtice, ON L1E 2R5





# LIST OF DRAWINGS

EROSION AND SEDIMENT CTRL PLAN

PRE-DEVELOPMENT STORM DRAINAGE SCHEME

POST-DEVELOPMENT STORM DRAINAGE SCHEME UTILITY COORDINATION PLAN

RICHARD H. GAY AVE PLAN & PROFILE

### **ELECTRICAL**

SITE ELECTRICAL

SITE LIGHTING - PHOTOMETRIC PLAN-1

SITE LIGHTING - PHOTOMETRIC PLAN-2

STREET LIGHTING

BLDG-1 SITE ELECTRICAL BLDG-2 SITE ELECTRICAL

BLDG-3 SITE ELECTRICAL

### LANDSCAPE

TREE INVENTORY AND PRESERVATION PLAN

LANDSCAPE PLAN

LANDSCAPE PLANTING PLAN

L2.3 LANDSCAPE DETAILS

LANDSCAPE DETAILS

LANDSCAPE DETAILS

Architectural/Structural

BARRY BRYAN ASSOCIATES Architects Engineers Project Managers Whitby Ontario L1N 0G5 Fax: (905) 666-5256

PLANNERS:

CIVIL / ELECTRICAL:





LANDSCAPE:

			www.bba-archeng.	com								
NAME OF	CATE OF PRACTICE		5192	4D/ED 11		) DEVELORIA						
	F PROJECT :  ON OF PROJECT :		1697 DURHAM		ISE BUILDING	3 DEVELOPM	IENI					
LOCATIO	, sweet thousand the		COURTICE, ON									
ITEM	ONTA	ARIO I	BUILDING	G COE	ÞΕ						FERENCE are to Division	n B unless n
	DATA	MAT	RIX - PAI	RT 3						[A] for Divis	sion A or [C] fo	or Division C.
1.	PROJECT D	ESCRIPTION	_		ADDITIO		RENOVATION	N			RT 3	
				ANGE OF US	E ADDITIO	ON AND RENOVATION  MICRO-UNIT CONDO				1.1.2 [A]		
2.	MAJOR OCC	CUPANCY(S)	) GROUP C							3.1.2.1.(1)	)	
3.	BUILDING A	AREA (m²)	EXISTIN	IG N/A		NEW721.5 m <sup>2</sup>	!	TOTAL	721.5 m²	1.4.1.2 [A]	]	
4.	GROSS ARE		EXISTIN			NEW _3,431.8 m <sup>2</sup>		TOTAL _3,		1.4.1.2 [A]		
5. 6.		F STOREYS F STREETS	ABOVE FIRE FIGHTER ACC		3		ВІ	ELOW GRADE <u>0</u>		1.4.1.2 [A] 3.2.2.10 &	-	
7.	BUILDING C	CLASSIFICAT	3.2.2.43A							3.2.2.20	.83	
8.	SPRINKLER	R SYSTEM PF	ROPOSED			ENTIRE I	BUILDING			3.2.2.20	.83	
							ED COMPART ED FLOOR AR			3.2.1.5 3.2.2.17		
						BASEME		IN LIEU OF RA	TING	INDEX		
						NOT REC	QUIRED					
9.	STANDPIPE	REQUIRED	_		_	YES	NO			3.2.9		
10.		M REQUIRED				YES	NO			3.2.4		
11.	WATER SEF		LY IS ADEQUATE			YES VES	□ NO			3.2.5.7		
13.		TION REST	RICTIONS		IBUSTIBLE	YES NON-COME		ВО	тн	3.2.2.20	.83	
				PER	MITTED	REQUIRED	1					
	ACTUAL CC	ONSTRUCTIO	DN	COM	1BUSTIBLE	NON-COME	BUSTIBLE	ВО	тн			
14.	IMPORTANO	CE CATEGO	RY	LOW	MEDIUM	HIGH [	POST DISA	ASTER		4.1.2.1 (3) 5.2.2.1 (2)	)	9.4.1.1, 5.2.2.1
	SITE CLASS	S (A,B,C,D,E	FROM GEOTECHIC	AL REPORT)		TO BE DETERM	INED AT PERM	MIT SUBMISSION		4.1.8.4	1	4.1.8.4
	EARTHQUA	KE IMPORTA	ANCE FACTOR (I <sub>e</sub> )			TO BE DETERM	INED AT PERM	MIT SUBMISSION		T 4.1.8.5		T 4.1.8.
	ACCELERA	TION BASED	COEFFCIENT (Fa)			TO BE DETERM	INED AT PERM	MIT SUBMISSION		T 4.1.8.5		T 4.1.8.
	5% SPECTR	RAL RESPON	ISE Sa (0.2)			TO BE DETERM	INED AT PERM	MIT SUBMISSION		T 4.1.8.4.1	1 & (SB-1 T.1	.2)
	SEISMIC HA	AZARD INDE	X :		SEISMIC HAZARD	O INDEX : TO	) BE DETERM	INED AT PERMIT SU	BMISSION	4.1.8.18 (	1)	4.1.8.18
	DESIGN FO	R SEISMIC F	REQUIRED CATEGOR	RIES 6 to 21 T.	ABLE 4.1.1.18	TO	RE DETERMIN	NED AT PERMIT SUBI	MISSION	4.1.8.18 (2	_,	
	FOLIAL OR		. Types	□ NO			DE DETERMIN				2)	9.20.1.2 9.31.6.2
15.		ABOVE 0.35 E(s) AREA (r		NO						3.2.2.1.1.(		9.20.1.2 9.31.6.2
15.		ABOVE 0.35		NO						3.2.2.1.1.( 3.2.2.1.1.(	(3)-(8)	9.20.1.2 9.31.6.2
15. 16.	MEZZANINE	ABOVE 0.35	n²) <u>N/A</u>	NO M²/F	PERSON		ESIGN OF BUIL	LDING			(3)-(8)	9.20.1.2 9.31.6.2
	MEZZANINE	ABOVE 0.35 E(s) AREA (r	n²) <u>N/A</u>		PERSON		_	LDING		3.2.2.1.1.(	(3)-(8)	9.20.1.2 9.31.6.2
	OCCUPANT  1st FLOOR: 6 UNITS	ABOVE 0.35 E(s) AREA (r	m²) <u>N/A</u>	☐ m²/F	ncy <u>c</u>	■ DE	ESIGN OF BUIL	PERSONS		3.2.2.1.1.( 3.1.17	(3)-(8) (3)-(8)	9.20.1.2 9.31.6.2
	OCCUPANT  1st FLOOR: 6 UNITS LOBBY/AMEI LOADING AN	ABOVE 0.35  E(s) AREA (r  LOAD BASE  NITY (FOR RE	m²) N/A ED ON ESIDENTS ONLY)	m²/F	NCY <u>C</u>	LOAD	# 12 # (50)			3.2.2.1.1.(	(3)-(8) (3)-(8) SIGN SIGN	9.20.1.2 9.31.6.2
	MEZZANINE  OCCUPANT  1st FLOOR: 6 UNITS LOBBY/AMEI LOADING AN 2nd FLOOR: 10 UNITS	ABOVE 0.35  E(s) AREA (r  LOAD BASE  NITY (FOR RE  ND SERVICE A	m²) N/A ED ON ESIDENTS ONLY)	OCCUPAL	NCY <u>C</u> NCY <u>A</u> NCY <u>F3</u>	LOAD	# 12 # (50) # 2	PERSONS PERSONS		3.2.2.1.1.( 3.1.17  AS PER DES AS PER DES 46m² / PERS 2/SLEEPING	(3)-(8) (3)-(8) SIGN SIGN SON	9.20.1.2
	MEZZANINE  OCCUPANT  1st FLOOR: 6 UNITS LOBBY/AMEI LOADING AN 2nd FLOOR: 10 UNITS 3rd FLOOR: 10 UNITS	ABOVE 0.35  E(s) AREA (I  LOAD BASE  NITY (FOR RE  ND SERVICE A	m²) N/A ED ON ESIDENTS ONLY)	OCCUPAL	NCY <u>C</u> NCY <u>A</u> NCY <u>F3</u> NCY <u>C</u>	LOAD LOAD	# 12 # (50) # 2 # 20	PERSONS PERSONS PERSONS		3.2.2.1.1.( 3.1.17 AS PER DES AS PER DES 46m² / PERS	(3)-(8) (3)-(8) SIGN SIGN SON ROOM BIGN	9.20.1.2 9.31.6.2
	MEZZANINE  OCCUPANT  1st FLOOR: 6 UNITS LOBBY/AMEI LOADING AN 2nd FLOOR: 10 UNITS 4rd FLOOR: 10 UNITS	ABOVE 0.35  E(s) AREA (r  LOAD BASE  NITY (FOR RE  ND SERVICE A	m²) N/A ED ON ESIDENTS ONLY)	OCCUPAL OCCUPAL	NCY	LOAD LOAD LOAD LOAD	# 12 # (50) # 2 # 20	PERSONS PERSONS PERSONS PERSONS		3.2.2.1.1.( 3.1.17  AS PER DES AS PER DES 46m² / PERS 2/SLEEPING AS PER DES	(3)-(8) (3)-(8) SIGN SIGN SON ROOM SIGN ROOM	9.20.1.2 9.31.6.2
	MEZZANINE  OCCUPANT  1st FLOOR: 6 UNITS LOBBY/AMEI LOADING AN 2nd FLOOR: 10 UNITS 3rd FLOOR: 10 UNITS 4rd FLOOR:	ABOVE 0.35  E(s) AREA (r  LOAD BASE  NITY (FOR RE  ND SERVICE A	m²) N/A ED ON ESIDENTS ONLY)	OCCUPAL OCCUPAL	NCY	LOAD LOAD LOAD LOAD LOAD	# 12 # (50) # 2 # 20 # 20	PERSONS PERSONS PERSONS PERSONS PERSONS		3.2.2.1.1.( 3.1.17  AS PER DES AS PER DES 46m² / PERS 2/SLEEPING AS PER DES 2/SLEEPING	(3)-(8) (3)-(8) SIGN SIGN SON ROOM ROOM ROOM	9.20.1.2
	MEZZANINE  OCCUPANT  1st FLOOR: 6 UNITS LOBBY/AMEI LOADING AN 2nd FLOOR: 10 UNITS 3rd FLOOR: 10 UNITS 4rd FLOOR: 10 UNITS 5th FLOOR:	ABOVE 0.35  E(s) AREA (r  LOAD BASE  NITY (FOR RE  ND SERVICE A	m²) N/A ED ON ESIDENTS ONLY)	OCCUPAL OCCUPAL OCCUPAL	NCY	LOAD LOAD LOAD LOAD LOAD	# 12 # (50) # 2 # 20 # 20	PERSONS PERSONS PERSONS PERSONS PERSONS		3.2.2.1.1.( 3.1.17  AS PER DES AS PER DES 46m² / PERS 2/SLEEPING AS PER DES 2/SLEEPING	(3)-(8) (3)-(8) SIGN SIGN SON ROOM ROOM ROOM	9.20.1.2 9.31.6.2
	MEZZANINE  OCCUPANT  1st FLOOR: 6 UNITS LOBBY/AMEI LOADING AN 2nd FLOOR: 10 UNITS 3rd FLOOR: 10 UNITS 4rd FLOOR: 10 UNITS 5th FLOOR:	ABOVE 0.35  E(s) AREA (r  LOAD BASE  NITY (FOR RE  ND SERVICE A	m²) N/A ED ON ESIDENTS ONLY)	OCCUPAL OCCUPAL OCCUPAL	NCY	LOAD LOAD LOAD LOAD LOAD LOAD LOAD LOAD	# 12 # (50) # 2 # 20 # 20 # 18	PERSONS PERSONS PERSONS PERSONS PERSONS PERSONS PERSONS		3.2.2.1.1.( 3.1.17  AS PER DES AS PER DES 46m² / PERS 2/SLEEPING AS PER DES 2/SLEEPING 2/SLEEPING	(3)-(8) (3)-(8) SIGN SIGN SON ROOM ROOM ROOM	9.20.1.2 9.31.6.2
	MEZZANINE  OCCUPANT  1st FLOOR: 6 UNITS LOBBY/AMEI LOADING AN 2nd FLOOR: 10 UNITS 3rd FLOOR: 10 UNITS 4rd FLOOR: 10 UNITS 5th FLOOR:	ABOVE 0.35  E(s) AREA (r  LOAD BASE  NITY (FOR RE  ND SERVICE A	m²) N/A ED ON ESIDENTS ONLY)	OCCUPAL OCCUPAL OCCUPAL	NCY	LOAD LOAD LOAD LOAD LOAD LOAD LOAD LOAD	# 12 # (50) # 2 # 20 # 20 # 18	PERSONS PERSONS PERSONS PERSONS PERSONS		3.2.2.1.1.( 3.1.17  AS PER DES AS PER DES 46m² / PERS 2/SLEEPING AS PER DES 2/SLEEPING 2/SLEEPING	(3)-(8) (3)-(8) SIGN SIGN SON ROOM ROOM ROOM	9.20.1.2
16.	MEZZANINE  OCCUPANT  1st FLOOR: 6 UNITS LOBBY/AMEI LOADING AN 2nd FLOOR: 10 UNITS 4rd FLOOR: 10 UNITS 5th FLOOR: 9 UNITS  BARRIER FR	ABOVE 0.35  E(s) AREA (r  LOAD BASE  NITY (FOR RE  ND SERVICE A	m²) N/A ED ON ESIDENTS ONLY) AREAS	OCCUPAL OCCUPAL OCCUPAL	NCY	LOAD LOAD LOAD LOAD LOAD LOAD LOAD LOAD	# 12 # (50) # 2 # 20 # 20 # 18	PERSONS PERSONS PERSONS PERSONS PERSONS PERSONS PERSONS PERSONS		3.2.2.1.1.( 3.1.17  AS PER DES AS PER DES 46m² / PERS 2/SLEEPING AS PER DES 2/SLEEPING 2/SLEEPING 2/SLEEPING 2/SLEEPING 3.8	(3)-(8) (3)-(8) SIGN SIGN SIGN SON ROOM ROOM ROOM ROOM	9.20.1.2
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16.	MEZZANINE  OCCUPANT  1st FLOOR: 6 UNITS LOBBY/AMEI LOADING AN 2nd FLOOR: 10 UNITS 4rd FLOOR: 10 UNITS 5th FLOOR: 9 UNITS  BARRIER FR	ABOVE 0.35  E(s) AREA (r  LOAD BASE  NITY (FOR RE  ND SERVICE A  E  REE DESIGN  US SUBSTAN  HC  F.I	m²) N/A ED ON ESIDENTS ONLY) AREAS	OCCUPAL OCCUPAL OCCUPAL OCCUPAL OCCUPAL OCCUPAL OCCUPAL TOTAL:	NCY C	LOAD LOAD LOAD LOAD LOAD LOAD	# 12 # (50) # 2 # 20 # 20 # 18	PERSONS PERSONS PERSONS PERSONS PERSONS PERSONS PERSONS PERSONS		3.2.2.1.1.( 3.1.17  AS PER DES AS PER DES 46m² / PERS 2/SLEEPING AS PER DES 2/SLEEPING 2/SLEEPING 2/SLEEPING 2/SLEEPING 3.8	(3)-(8) (3)-(8) SIGN SIGN SIGN SON ROOM ROOM ROOM ROOM	9.20.1.2 9.31.6.2
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<b>N</b> 0.	ISSUES	DATE	BY
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3	REVISED PRE CONSULTATION	NOV. 24 2022	BBA
1	INTERNAL REVIEW	NOV. 29 2022	BBA
5	COORDINATION	DEC. 02 2022	BBA
6	SITE PLAN APPLICATION	DEC. 09 2022	BBA
7	SITE PLAN APPLICATION- R1	NOV. 03 2023	BBA
3	SITE PLAN APPLICATION- R2	JAN. 26 2024	BBA

# ed

Project No. 21046

**A000** 

R1 1h	h			ROOF TYPE 1 (1HR FRR)  Thermoplastic Polyolefin (TPO) ROOFING 13mm Protection Board 100-200 Tapered Poly-iso Insulation Self Adhered Air Vapour Barrier 19mm Plywood Sheathing Wood framing, w/Sound Blankets 22mm Resilient Metal Channel 400mm O.C. 16mm Type X Gypsum Wall Board 16mm Type X Gypsum Wall Board
				MiTek Canada Inc. Design No. MCI/WI 60-02 ASTM-E119, CAN/ULC-S101, NFPA-251, UBC-7-1, UL 263 Rating: 1 Hour – Unrestrained
		~	FLOOR TYPES	· · · · · · · · · · · · · · · · · · ·
TAG	FRR	STC Rating	CONSTRUCTION DETAIL	ASSEMBLY DESCRIPTION

13mn 100-2 Self A 19mn Wood 22mn 16mn 16mn MiTel ASTM	noplastic Polyolefin (TPO) ROOFING n Protection Board 100 Tapered Poly-iso Insulation Idhered Air Vapour Barrier n Plywood Sheathing I framing, w/Sound Blankets n Resilient Metal Channel 400mm O.C. n Type X Gypsum Wall Board n Type X Gypsum Wall Board x Canada Inc. Design No. MCI/WI 60-02 I-E119, CAN/ULC-S101, NFPA-251, UBC-7-1, UL 263 g: 1 Hour – Unrestrained	W2
FLOOR TYPES	$\sim$	W3
Floor 40mm 19mm Wood 22mm 16mm 16mm MiTek ASTM	ASSEMBLY DESCRIPTION  PR TYPE 1 (1HR FRR)  Finish TBD  I Floor topping Mix  I Plywood Sheathing framing, w/Sound Blankets Resilient Metal Channel 400mm O.C. I Type X Gypsum Wall Board I Type X Gypsum Wall Board C Canada Inc. Design No. MCI/WI 60-02 I-E119, CAN/ULC-S101, NFPA-251, UBC-7-1, UL 263 I Hour – Unrestrained	TAG P1
		P2A

				EXTERIOR WALL TYPES	
W1	TAG	R-VALUE	F.R.R.	CONSTRUCTION DETAIL	ASSEMBLY DESCRIPTION  WOOD STUD WALL + BRICK 90mm BRICK 25mm AIR SPACE 50mm RIGID INSULATION (R10 CI) CONT. VAPOUR PERMEABLE AIR BARRIER ON 16mm EXTERIOR GYPSUM SHEATHING 140 mm WOOD STUDS BATT INSULATION (R22) CONT. 6mil VAPOUR BARRIER 16mm TYPE X GYPSUM BOARD
W2					WOOD STUD WALL + EIFS EIFS FINISH (DARK) ON 76mm RIGID INSULATION CONT. VAPOUR PERMEABLE AIR BARRIER ON 16mm EXTERIOR GYPSUM SHEATHING 140 mm WOOD STUDS BATT INSULATION CONT. 6mil VAPOUR BARRIER 16mm GYPSUM BOARD
W3					WOOD STUD WALL + EIFS EIFS FINISH(LIGHT) ON 76mm RIGID INSULATION CONT. VAPOUR PERMEABLE AIR BARRIER ON 16mm EXTERIOR GYPSUM SHEATHING 140 mm WOOD STUDS BATT INSULATION CONT. 6mil VAPOUR BARRIER 16mm GYPSUM BOARD
				INTERIOR PARTITION TYPES	
	TAG	F.R.R.	STC	CONSTRUCTION DETAIL	ASSEMBLY DESCRIPTION
Do.					300mm Concrete wall 22mm Resilient Metal Channel 400mm O.C.@ 600mm O.C. Typical Filled With Sound Attenuation Blankets 16mm Type X Gypsum Wall Board P1 Wall to meet the requirements of OBC SB-3 wall type B10b with STC value of 55 and FRR value of 2.5 hours.
P2		1h	50		DEMISING WALL (1 HR FRR) (50 STC)-LOADBEARING 16mm Type X Gypsum Wall Board 22mm Resilent Channels Horiz. 16mm Plywood 140mm Wood Studs w/ 75mm Sound Attenuation Blankets Crased SAFB 16mm Plywood 22mm Resilent Channels Horiz. 16mm Type X Gypsum Wall Board  UL 263 design(U305) FRR 1 Hr
P2A		1h			DEMISING WALL (1 HR FRR) NON LOADBEARING 16mm Type X Gypsum Wall Board 22mm Resilient Channel 140mm Wood Studs w/ 75mm Sound Attenuation Blankets Crased SAFB 16mm Type X Gypsum Wall Board  UL 263 design(U305) FRR 1 Hr
P3		2h	59		REFUSE ROOM/CHUTE WALL (2 HR FRR) (59 STC) 16mm Type X Gypsum Wall Board 16mm Type X Gypsum Wall Board 140mm Wood Studs w/ 75mm Sound Attenuation Blankets Crased SAFB 22mm Resilent Channels Horiz. 16mm Type X Gypsum Wall Board 16mm Type X Gypsum Wall Board UL U334 For 1HR FRR
P4					PARTITION WALL 16mm Gypsum Wall Board 89mm Wood studs w/ 75mm Sound Attenuation Blankets Crased SAFB 16mm Gypsum Wall Board
			INTER	RIOR PARTITION TYPES - SHAFT	WALLS
	TAG	F.R.R.	STC	CONSTRUCTION DETAIL	ASSEMBLY DESCRIPTION
SW1	וחט	2HR	55	CONSTRUCTION DETAIL	SHAFTWALL PARTITION (2HR):

SHAFTWALL PARTITION (2HR):

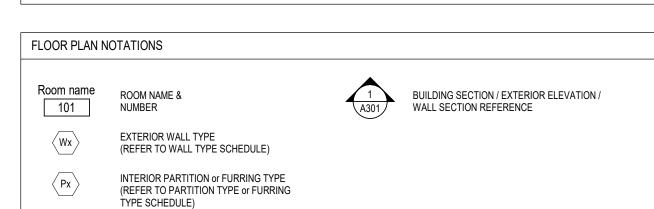
25mm TYPE 'X' GYPSUM BOARD LINER

102mm SHAFT STUDS
75mm MINERAL FIBRE INSULATION
2 LAYERS 16mm TYPE 'X' GYPSUM BOARD
F.R.R. REF: ULC #W452 SYSTEM 'B'

1. PROVIDE CONT. FIRESTOP SEALANT TOP & BOTTOM OF WALL.

### **ASSEMBLIES GENERAL NOTES:**

- 1. UNLES NOTED OTHERWISE ALL PARTITIONS AND FIRE-RATED WALL ASSEMBLIES SHALL BE CONTINUOUS TO UNDERSIDE OF STRUCTURE ABOVE. PROVIDE DEFLECTION TRACK AT TOP OF ALL PARTITIONS.
- 2. PENETRATIONS AND JOINTS IN FIRE-RATED ASSEMBLIES SHALL BE FIRESTOPPED WITH ULC-LISTED FIRESTOPPING SYSTEMS.
- 3. REFER TO LIFE SAFETY DRAWINGS FOR ALL WALLS / PARTITIONS & FLOORS REQUIRED TO BE FIRE RATED. SEE F.R.R. (FIRE RESISTANCE RATING) LINES ON LIFE SAFETY FLOOR PLANS AND SECTIONS FOR FIRE RATINGS OF ASSEMBLIES.
- 4. ALL GYPSUM BOARD BULKHEADS / PARTITIONS ABOVE WALL OPENINGS OR SCREENS TO BE BRACED AS
- 5. WITHIN ASSEMBLIES, WHERE COMBUSTIBLE MATERIALS (SUCH AS FOAMED PLASTIC INSULATION) ARE EXPOSED TO AIR GAPS 25MM OR DEEPER, PROVIDE FIRE BREAKS IN ACCORDANCE WITH THE BUILDING CODE, OR APPLY THERMAL BARRIER ON SURFACE OF COMBUSTIBLE MATERIALS EXPOSED TO AIR GAP.
- 6. PROVIDE CONTINUOUS SMOKE SEAL AT PERIMETERS OF 0-HOUR RATED ASSEMBLIES. PROVIDE FIRE STOPPING & SMOKE SEAL AT TOPS OF ALL RATED ASSEMBLIES AT UNDERSIDE OF FLOOR / ROOF DECK c/w INFILL OF FLUTES WHERE APPLICABLE.
- 7. ACOUSTICALLY RATED PARTITIONS SHALL BE BOARDED TO UNDERSIDE OF STRUCTURE ABOVE.
- 8. PROVIDE TWO CONTINUOUS BEADS OF ACOUSTIC CAULKING AT TOP AND BOTTOM TRACKS OF ACOUSTICALLY RATED WALL ASSEMBLIES. SEAL OPENINGS AND PENETRATIONS.
- 9. ACOUSTICALLY-RATED, FIRE RATED + FULL HEIGHT STUD PARTITIONS THAT REQUIRE A HEAVIER GAUGE THAN 25 SHALL HAVE ACOUSTIC STEEL STUDS TO ACHIEVE LISTED STC RATINGS, FIRE RATINGS AND STUD HEIGHT REQUIREMENTS. (B.O.D.: BAILY B18 STUDS)
- 10. ENSURE THERE ARE NO BACK-TO-BACK ELECTRICAL BOXES IN ACOUSTICALLY RATED WALLS. SEPARATE ELECTRICAL BOXES BY MINIMUM ONE STUD SPACE.
- 11. PROVIDE CEMENTITIOUS BACKER BOARD AS SUBSTRATE FOR TILED WALL SURFACES ON NON-FIRE-RATED WALL ASSEMBLIES. PROVIDE 13mm CEMENT BOARD IN LIEU OF GYPSUM BOARD AT ALL SHOWER AND BATHTUB ENCLOSURES.
- 12. PROVIDE MOISTURE / MOLD RESISTANT GYPSUM BOARD AS SUBSTRATE FOR TILED WALL SURFACES ON NON-FIRE-RATED WALL ASSEMBLIES. PROVIDE IN LIEU OF STANDARD GYPSUM BOARD IN ALL SHOWER ENCLOSURE CEILINGS.
- 13. FOR CEILING AND SOFFIT ASSEMBLIES WITH MOISTURE / MOLD RESISTANT GYPSUM BOARD, FRAMING MEMBERS SHALL BE 310mm ON CENTRE MAXIMUM.
- 14. IMPACT-RESISTANT GYPSUM BOARD SHALL BE USED IN REFUSE ROOMS AND MOVING / DELIVERY ROOM. 15. ALL EIFS WALL SYSTEMS SHALL HAVE INTEGRAL DRAINAGE SYSTEM.
- 16. MASONRY WALLS SHALL EXTEND TO UNDERSIDE OF STRUCTURE ABOVE UNLESS NOTED OTHERWISE. SEE STRUCTURAL FOR DEFLECTION REQUIREMENTS.
- 17. ALL RAIN WATER LEADERS (RWL) AND PLUMBING RISERS SHALL BE FURRED IN. FURR IN TO 200mm ABOVE
- THE FINISHED CEILING UNLESS NOTED OTHERWISE. 18. SEE ROOM FINISH SCHEDULE FOR FINISH TYPE FROM INTERIOR DESIGN DRAWING PACKAGE.
- 19. AT RECESSED LIGHTS IN EXTERIOR SOFFITS PROVIDE BOX OUTS IN STUD FRAMING TO SUIT REQUIRED CLEARANCE BETWEEN LIGHT FIXTURE AND EXTERIOR INSULATION. MAINTAIN FULL DEPTH OF INSULATION INTO BOX OUT AND ENSURE AIR BARRIER CONTINUTY. SEAL ALL PENETRATIONS.



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3	INTERNAL REVIEW	NOV 29 2022	BBA
4	SITE PLAN APPLICATION	DEC 09 2022	BBA
5	SITE PLAN APPLICATION-R1	NOV 03 2023	BBA
6	SITE PLAN APPREVISION-2	JAN 26 2024	BBA



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PROJECT:

**Proposed Courtice** Mixed-Use Building Development - BLDG.#3 (PHASE1) 1697 Durham Regional Hwy 2, Courtice,

ON L1E 2R5 RH Gay Holdings Co.

DRAWING:

**ASSEMBLIES** 



Architects Engineers

Project Managers 201-250 Water Street Whitby Ontario L1N 0G5 Tel: (905) 666-5252 Fax: (905) 666-5256 e-mail: bba@bba-archeng.com

2023-11-03 As indicated

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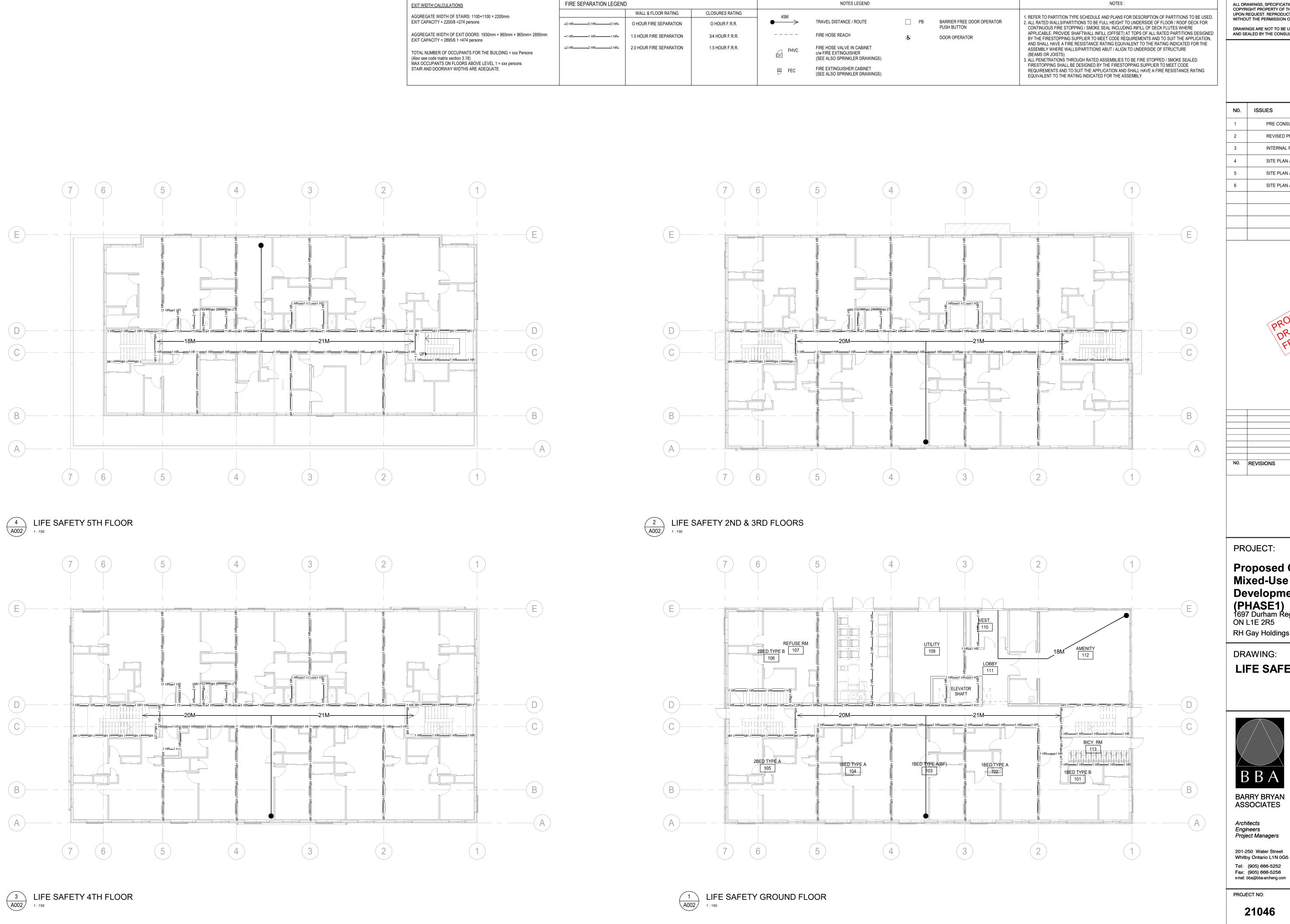
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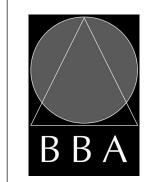
PROJECT:

**Proposed Courtice** Mixed-Use Building Development - BLDG.#3 (PHASE1) 1697 Durham Regional Hwy 2, Courtice, ON L1E 2R5

RH Gay Holdings Co.

DRAWING:

**LIFE SAFETY PLANS** 



RRY BRYAN SOCIATES	
hitects	

Engineers Project Managers 201-250 Water Street Whitby Ontario L1N 0G5

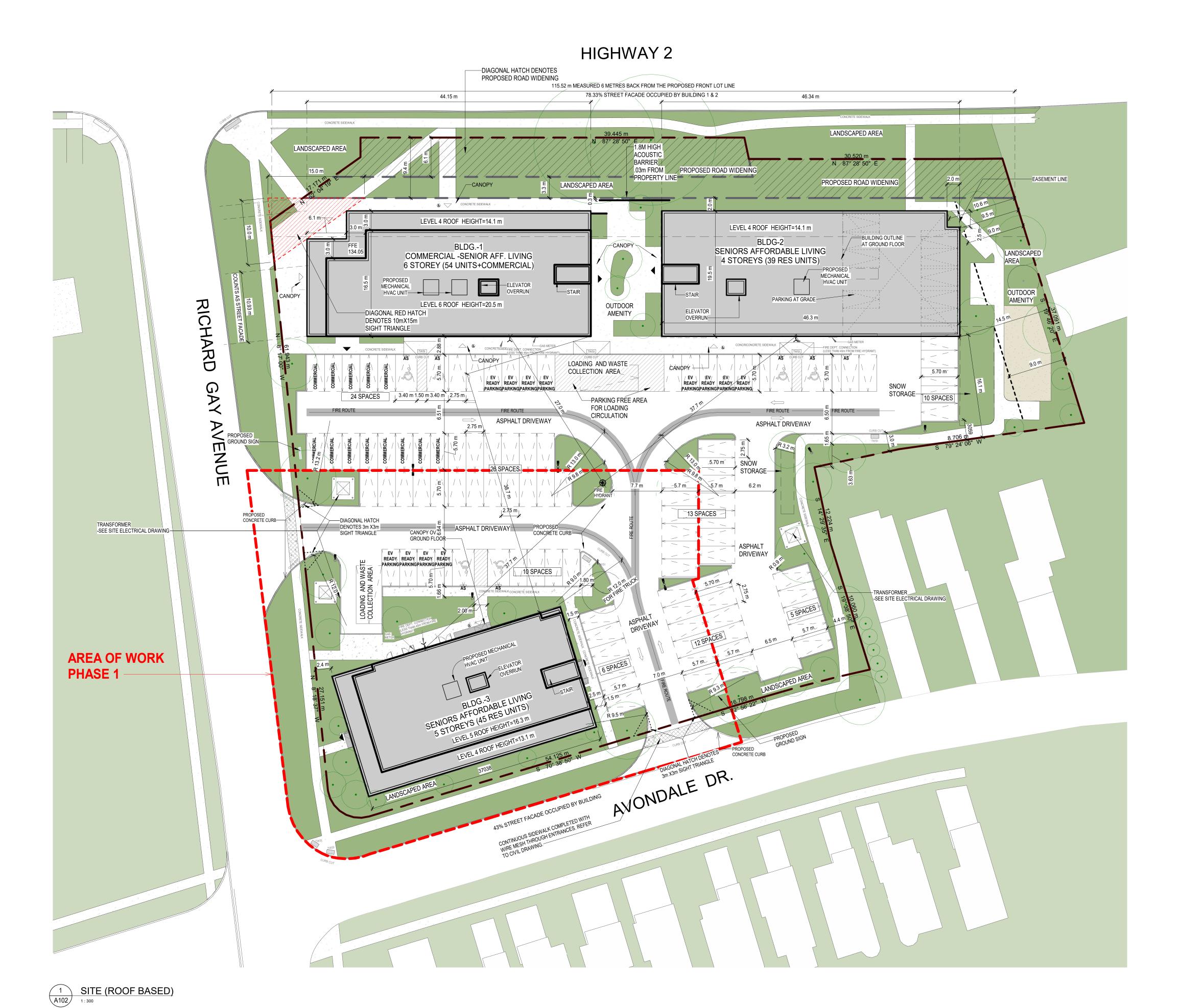
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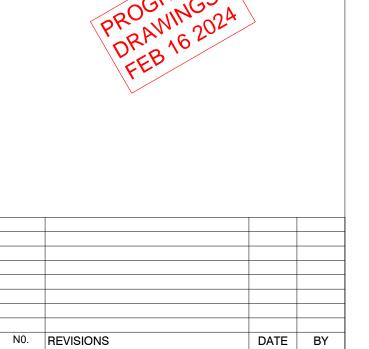


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# PROJECT:

**Proposed Courtice** Mixed-Use Building Development - BLDG.#3 (PHASE1) 1697 Durham Regional Hwy 2, Courtice, ON L1E 2R5

RH Gay Holdings Co.

### DRAWING:

## SITE PLAN-OVERALL

IG UTILITY (TBD)	181 m²	
ROUND FLOOR (RESIDENTIAL)	721 m <sup>2</sup>	
nd FLOOR (RESIDENTIAL)	721 m <sup>2</sup>	
rd FLOOR (RESIDENTIAL)	721 m <sup>2</sup>	
th FLOOR (RESIDENTIAL)	721 m <sup>2</sup>	
th FLOOR (RESIDENTIAL)	549 m <sup>2</sup>	
OTAL	3613 m <sup>2</sup>	
SUITE MIX		
BED UNIT		30
BED UNIT		15
OTAL		45
ARRIER FREE (REQUIRED) 15%		7
,		
ARRIER FREE (PROVIDED)		8
	,	4-1 BEDS
	4	l- 2 BFDS

BBA
BARRY BRY ASSOCIATE

BARRY BRYA ASSOCIATES
Architects Engineers Project Managers

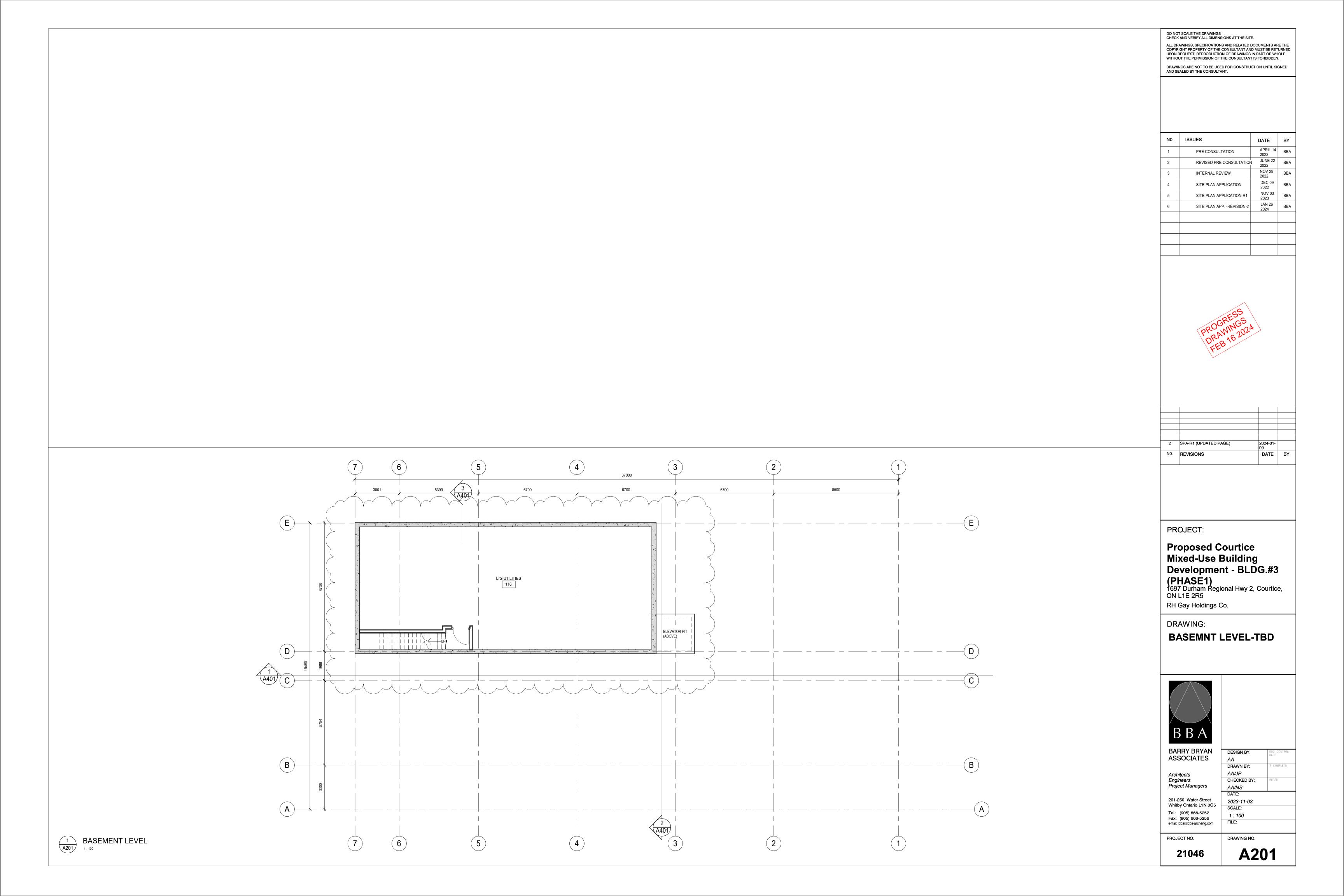
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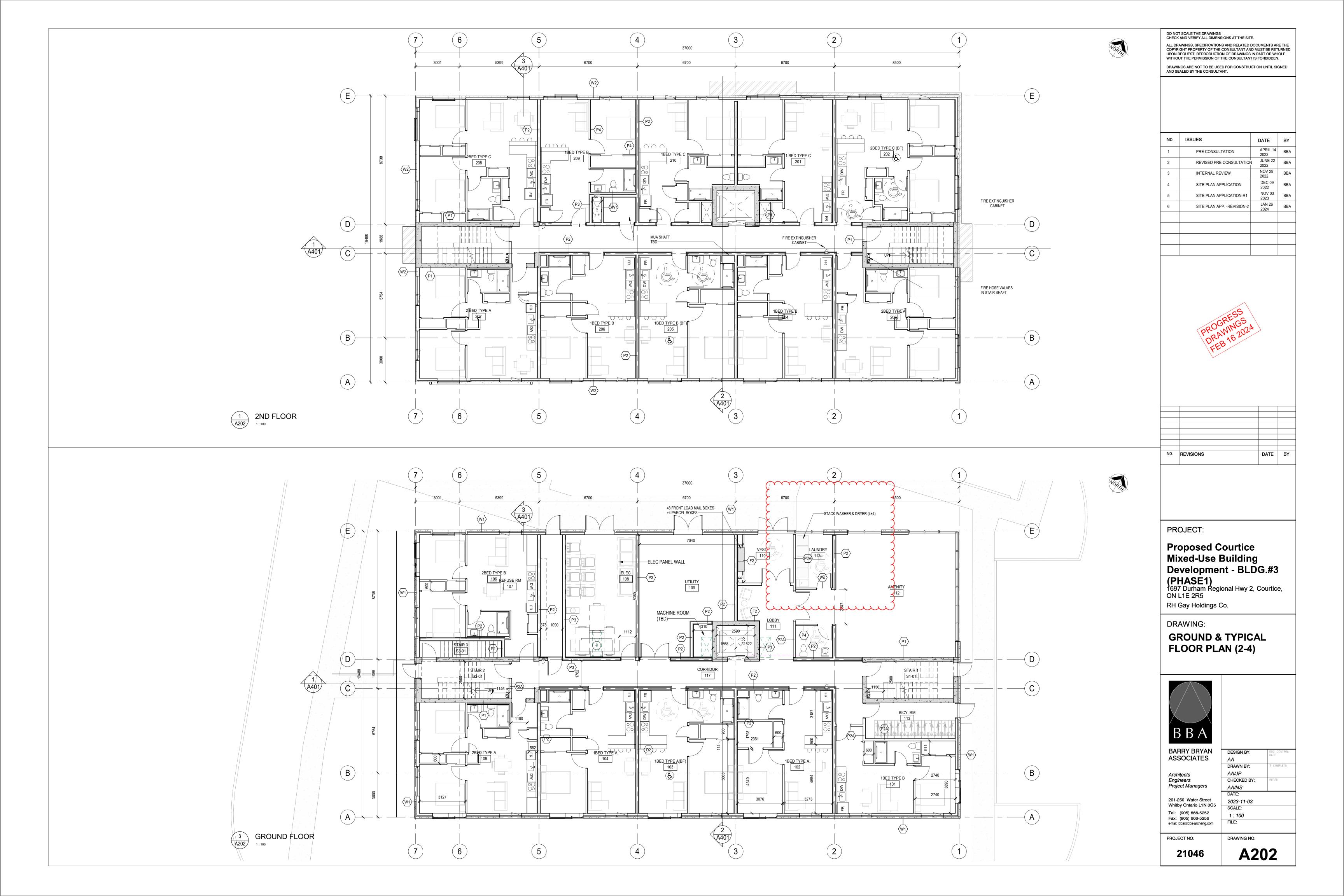
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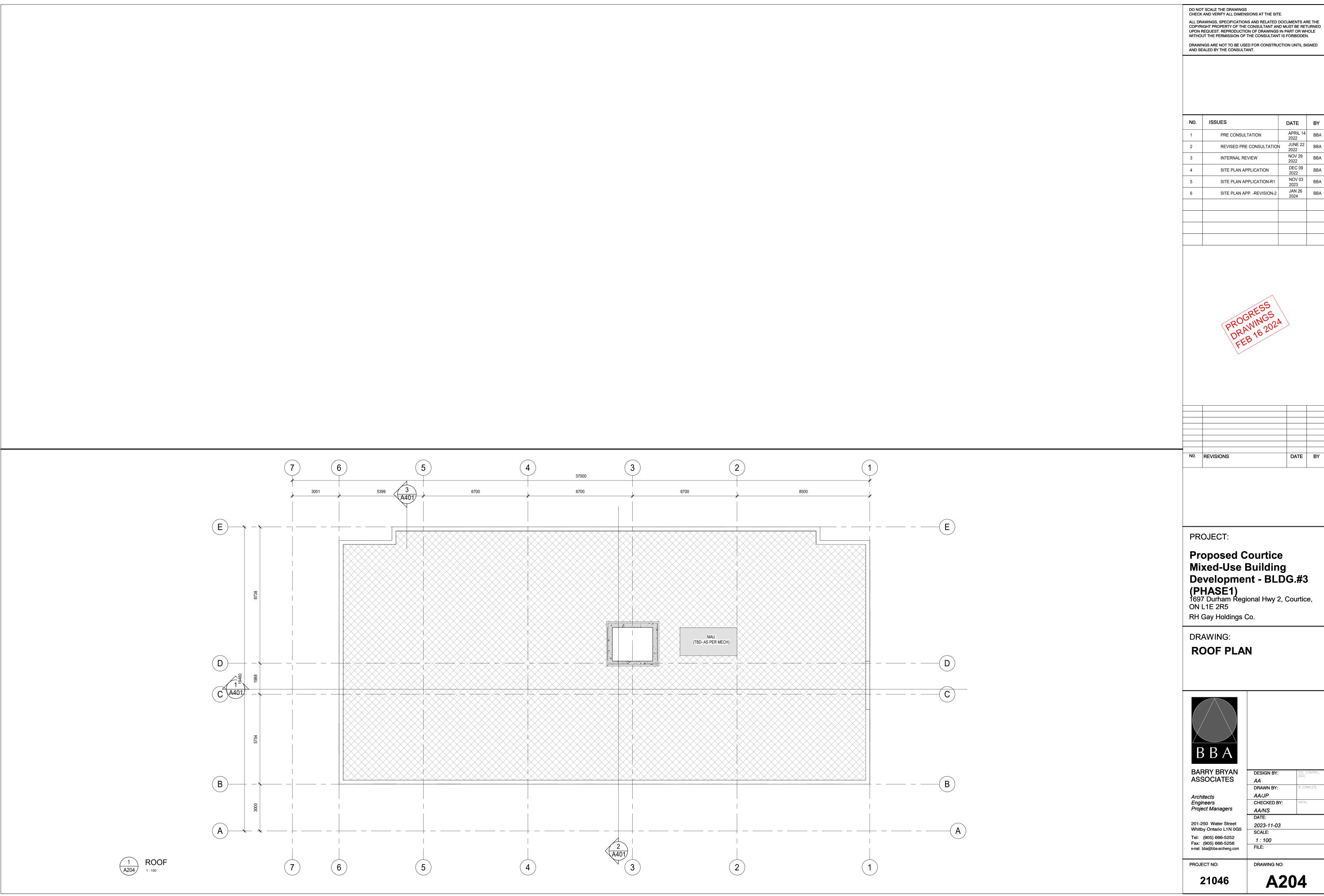
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