

Proposed Courtice Mixed-Use Building Development

1697 Durham Regional Hwy 2, Courtice, ON L1E 2R5



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A000 COVER SHEET

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NO.	ISSUES	DATE	BY
1	PRE CONSULTATION	APRIL 14 2022	BBA
2	REVISED PRE CONSULTATION	JUNE 22 2022	BBA
3	REVISED PRE CONSULTATION	NOV. 24 2022	BBA
4	INTERNAL REVIEW	NOV. 29 2022	BBA
5	COORDINATION	DEC. 02 2022	BBA
6	SITE PLAN APPLICATION	DEC. 09 2022	BBA
7	SITE PLAN APPLICATION- R1	NOV. 03 2023	BBA

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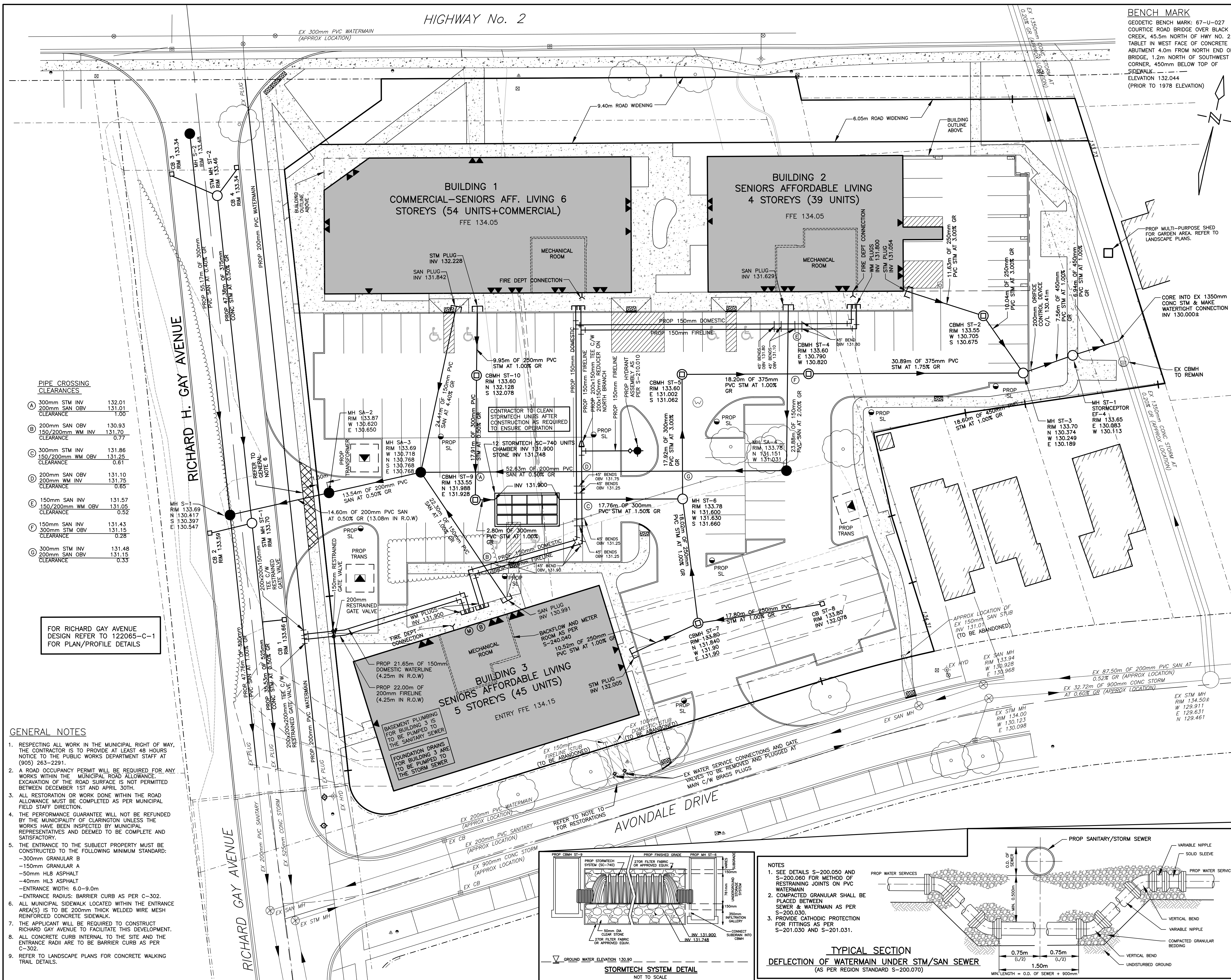
LANDSCAPE:

TROPIC DESIGN
 P: 289-251-4396
 www.tropicedesign.ca

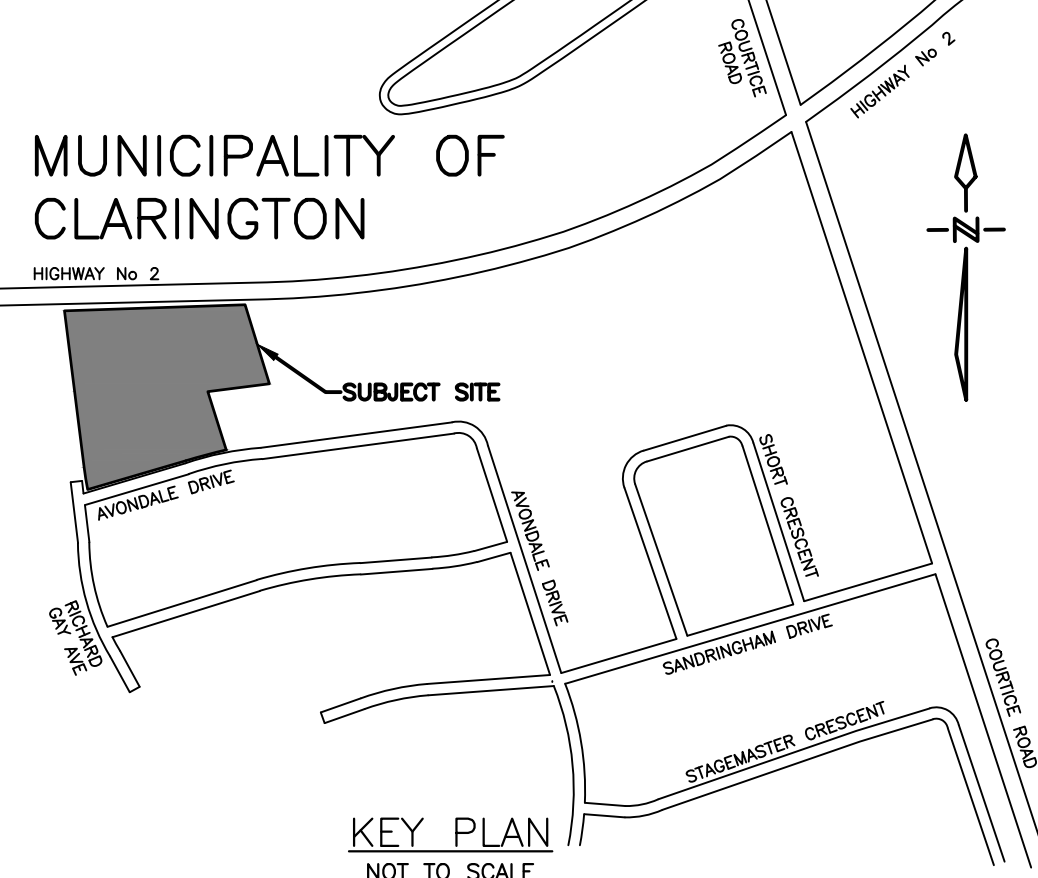
Project No. 21046

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HIGHWAY No. 2



BENCH MARK
 GEODETIC BENCH MARK: 67-U-027
 COURTYE ROAD BRIDGE OVER BLACK CREEK, 45.5m NORTH OF HWY NO. 2. TABLET IN WEST FACE OF CONCRETE ABUTMENT 4.0m FROM NORTH END OF BRIDGE, 1.2m NORTH OF SOUTHWEST CORNER, 450mm BELOW TOP OF SIDEWALK. ELEVATION 132.044 (PRIOR TO 1978 ELEVATION)



SITE SERVICING NOTES

- A ROAD OCCUPANCY PERMIT WILL BE REQUIRED FOR ANY WORKS WITHIN THE MUNICIPAL RIGHT OF WAY.
- ALL WORKS OR RESTORATION WITHIN THE MUNICIPAL RIGHT OF WAY SHALL BE COMPLETED AS PER MUNICIPALITY OF CLARINGTON FIELD STAFF DIRECTION.
- THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND SERVICES TO BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION. CONCERNED UTILITIES TO BE GIVEN ADVANCED NOTICE FOR STAKE OUT. THE CONSULTANT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITIES SHOWN ON THE DRAWINGS.
- QUANTITIES, DIMENSIONS AND ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR COMMENCING CONSTRUCTION.
- ALL SANITARY SEWER AND APPURTENANCES SHALL COMPLY WITH THE REGION OF DURHAM STANDARDS AND THE ONTARIO PLUMBING CODE.
 - SANITARY SEWER PIPES, 200mm TO BE CL DR28 PVC PIPE, CL P BEDDING
 - SANITARY MANHOLES AS PER OPSD 701.010 C/W GRATE AS PER OPSD 401.010
 - ALL TRENCHES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH REGION OF DURHAM STANDARDS.
- ALL WATER MAINS AND APPURTENANCES SHALL COMPLY WITH THE REGION OF DURHAM STANDARDS AND THE ONTARIO PLUMBING CODE.
 - ALL WATER MAINS SHALL BE CONSTRUCTED A MINIMUM OF 1.80m BELOW FINISHED GRADE
 - ALL TRENCHES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH REGION OF DURHAM STANDARDS
 - 150mm WATERMAIN AND 200mm WATERMAIN TO BE DR18 PVC PIPE, CL P BEDDING
 - PROP HYDRANT ASSEMBLY AS PER S-210.010. HYDRANTS TO BE PAINTED RED.
- ALL STORM SEWERS AND APPURTENANCES SHALL COMPLY WITH THE MUNICIPALITY OF CLARINGTON STANDARDS AND THE ONTARIO PLUMBING CODE.
 - STORM SEWER PIPE 450mm AND SMALLER SHALL BE DR35 PVC PIPE, CL P BEDDING
 - STORM SEWER MANHOLES AND CATCH BASIN MANHOLES SHALL BE AS PER OPSD 701.010
 - CATCH BASINS SHALL BE AS PER OPSD 705.010
 - MANHOLE GRATES SHALL BE AS PER OPSD 401.010
 - CATCH BASIN GRATES SHALL BE AS PER OPSD 400.020
 - ALL TRENCHES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH OPSD STANDARDS
- GENERALLY, A MINIMUM OF 0.25m SHALL BE PROVIDED BETWEEN THE OUTSIDE OF PIPE BARRELS AT THE POINT OF CROSSING FOR STORM AND SANITARY SEWERS. A MINIMUM OF 0.50m SHALL BE PROVIDED BETWEEN THE OUTSIDE OF PIPE BARRELS AT THE POINT OF CROSSING FOR ALL SEWERS CROSSING WATER MAINS.
- THE PARKING LOT SHALL CONSIST OF THE FOLLOWING UNLESS OTHERWISE APPROVED BY THE ENGINEER (SEE GRADING PLAN 122065-S0-13):

LIGHT DUTY ASPHALT	HEAVY DUTY ASPHALT
-350mm GRANULAR 'B'	-400mm GRANULAR 'B'
-150mm GRANULAR 'A'	-150mm GRANULAR 'A'
-50mm HLB ASPHALT	-90mm HLB ASPHALT (2 LIFTS)
-40mm HL3 ASPHALT	-40mm HL3 ASPHALT
-BARRIER CURB AS PER C-302	
- BOULEVARD TO BE RESTORED WITH 150mm OF TOPSOIL AND SOD

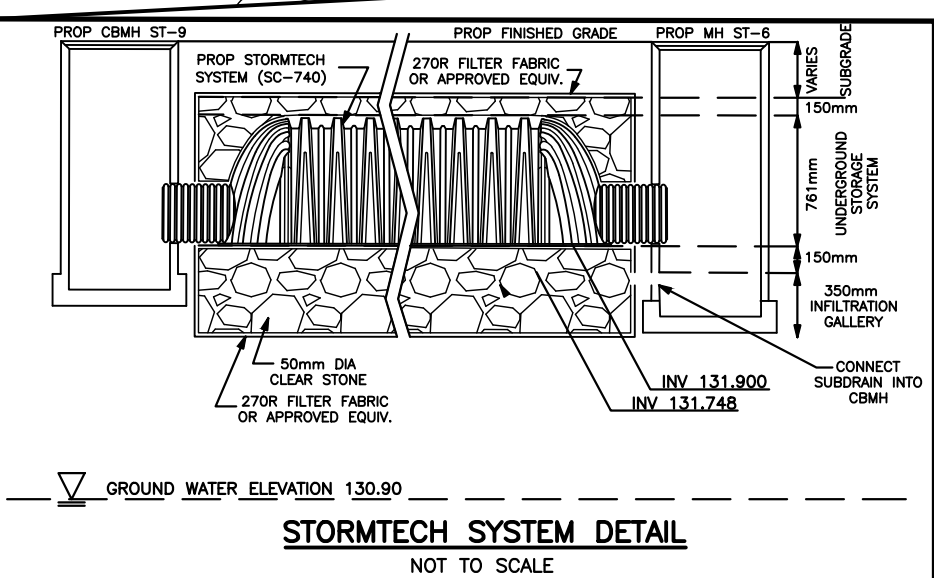
PIPE CROSSING CLEARANCES

A	300mm STM INV	132.01
	200mm SAN OBV	131.01
	CLEARANCE	1.00
B	200mm SAN OBV	130.93
	150/200mm WM INV	131.70
	CLEARANCE	0.77
C	300mm STM INV	131.86
	150/200mm WM OBV	131.25
	CLEARANCE	0.61
D	200mm SAN OBV	131.10
	200mm WM INV	131.75
	CLEARANCE	0.65
E	150mm SAN INV	131.57
	150/200mm WM OBV	131.05
	CLEARANCE	0.52
F	150mm SAN INV	131.43
	300mm STM OBV	131.15
	CLEARANCE	0.28
G	300mm STM INV	131.48
	200mm SAN OBV	131.15
	CLEARANCE	0.33

FOR RICHARD GAY AVENUE DESIGN REFER TO 122065-C-1 FOR PLAN/PROFILE DETAILS

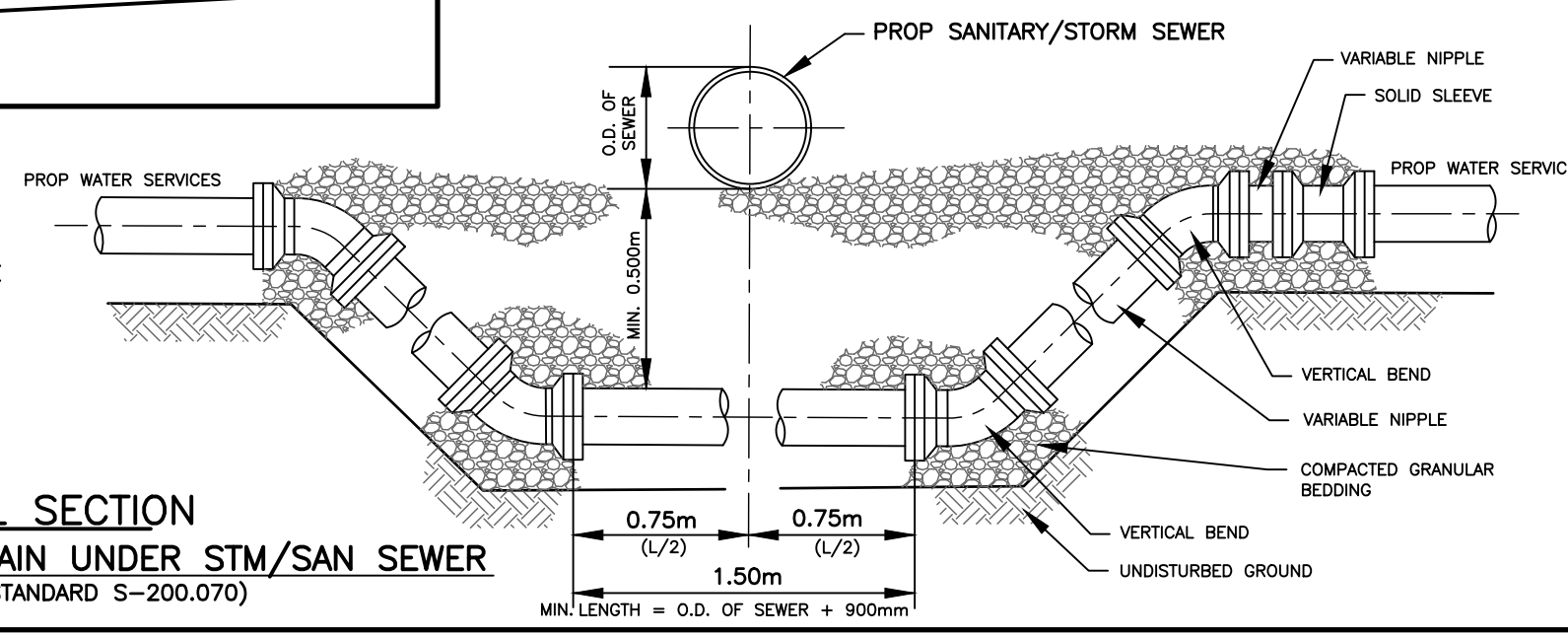
GENERAL NOTES

- RESPECTING ALL WORK IN THE MUNICIPAL RIGHT OF WAY, THE CONTRACTOR IS TO PROVIDE AT LEAST 48 HOURS NOTICE TO THE PUBLIC WORKS DEPARTMENT STAFF AT (905) 263-2291.
- A ROAD OCCUPANCY PERMIT WILL BE REQUIRED FOR ANY WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCE. EXCAVATION OF THE ROAD SURFACE IS NOT PERMITTED BETWEEN DECEMBER 1ST AND APRIL 30TH.
- ALL RESTORATION OR WORK DONE WITHIN THE ROAD ALLOWANCE MUST BE COMPLETED AS PER MUNICIPAL FIELD STAFF DIRECTION.
- THE PERFORMANCE GUARANTEE WILL NOT BE REFUNDED BY THE MUNICIPALITY OF CLARINGTON UNLESS THE WORKS HAVE BEEN INSPECTED BY MUNICIPAL REPRESENTATIVES AND DEEMED TO BE COMPLETE AND SATISFACTORY.
- THE ENTRANCE TO THE SUBJECT PROPERTY MUST BE CONSTRUCTED TO THE FOLLOWING MINIMUM STANDARD:
 - 300mm GRANULAR B
 - 150mm GRANULAR A
 - 50mm HLB ASPHALT
 - 40mm HL3 ASPHALT
 - ENTRANCE WIDTH: 6.0-9.0m
 - ENTRANCE RADIUS: BARRIER CURB AS PER C-302.
- ALL MUNICIPAL SIDEWALK LOCATED WITHIN THE ENTRANCE AREA(S) IS TO BE 200mm THICK WELDED WIRE MESH REINFORCED CONCRETE SIDEWALK.
- THE APPLICANT WILL BE REQUIRED TO CONSTRUCT RICHARD GAY AVENUE TO FACILITATE THIS DEVELOPMENT.
- ALL CONCRETE CURB INTERNAL TO THE SITE AND THE ENTRANCE RADI ARE TO BE BARRIER CURB AS PER C-302.
- REFER TO LANDSCAPE PLANS FOR CONCRETE WALKING TRAIL DETAILS.



- NOTES**
- SEE DETAILS S-200.050 AND S-200.080 FOR METHOD OF RESTRAINING JOINTS ON PVC WATERMAIN
 - COMPACTED GRANULAR SHALL BE PLACED BETWEEN SEWER & WATERMAIN AS PER S-200.030
 - PROVIDE CATHODIC PROTECTION FOR FITTINGS AS PER S-201.030 AND S-201.031.

TYPICAL SECTION DEFLECTION OF WATERMAIN UNDER STM/SAN SEWER
 (AS PER REGION STANDARD S-200.070)



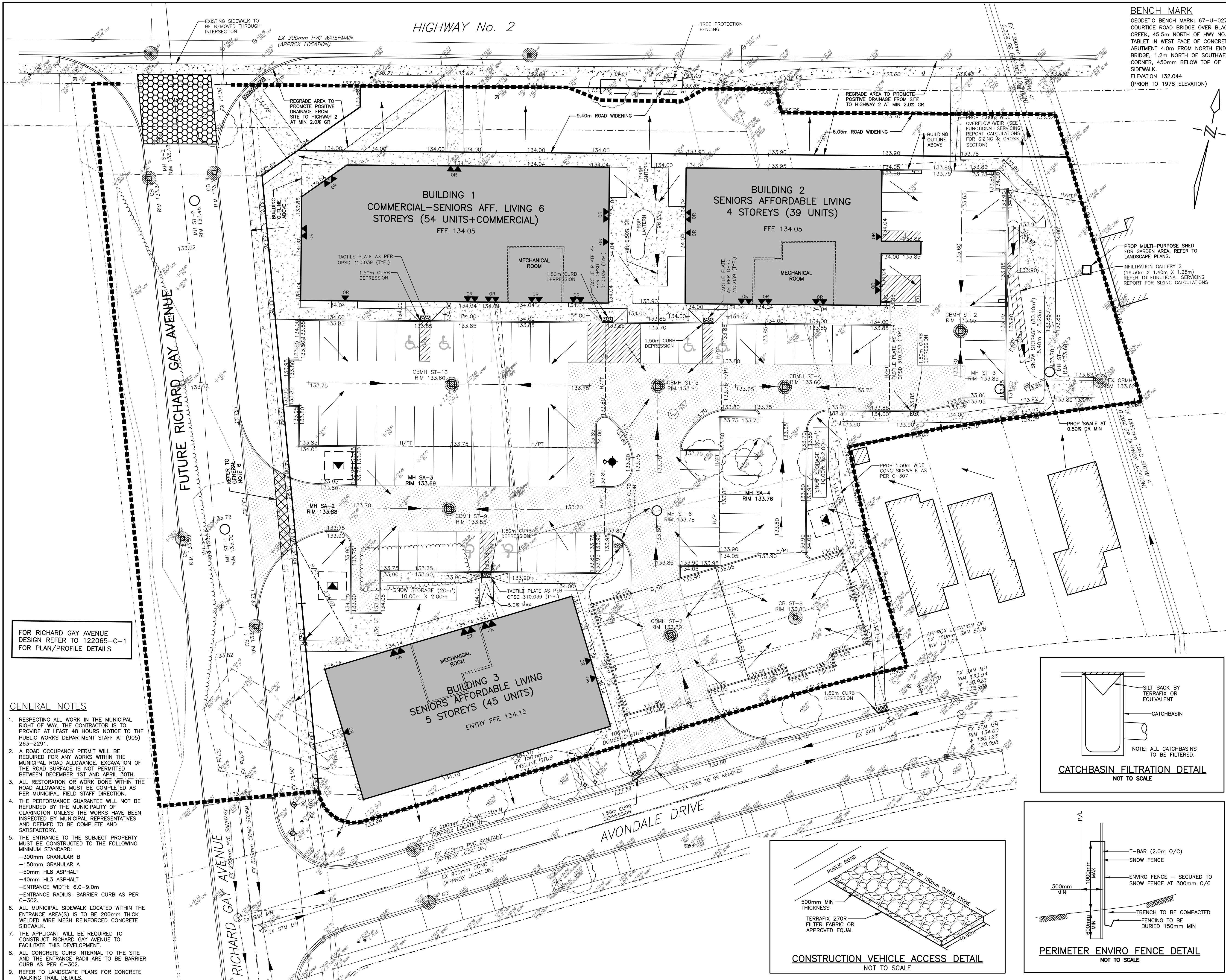
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1.	11/01/2023	REVISED AS PER 1ST SUBMISSION COMMENTS	MH

SITE SERVICING PLAN

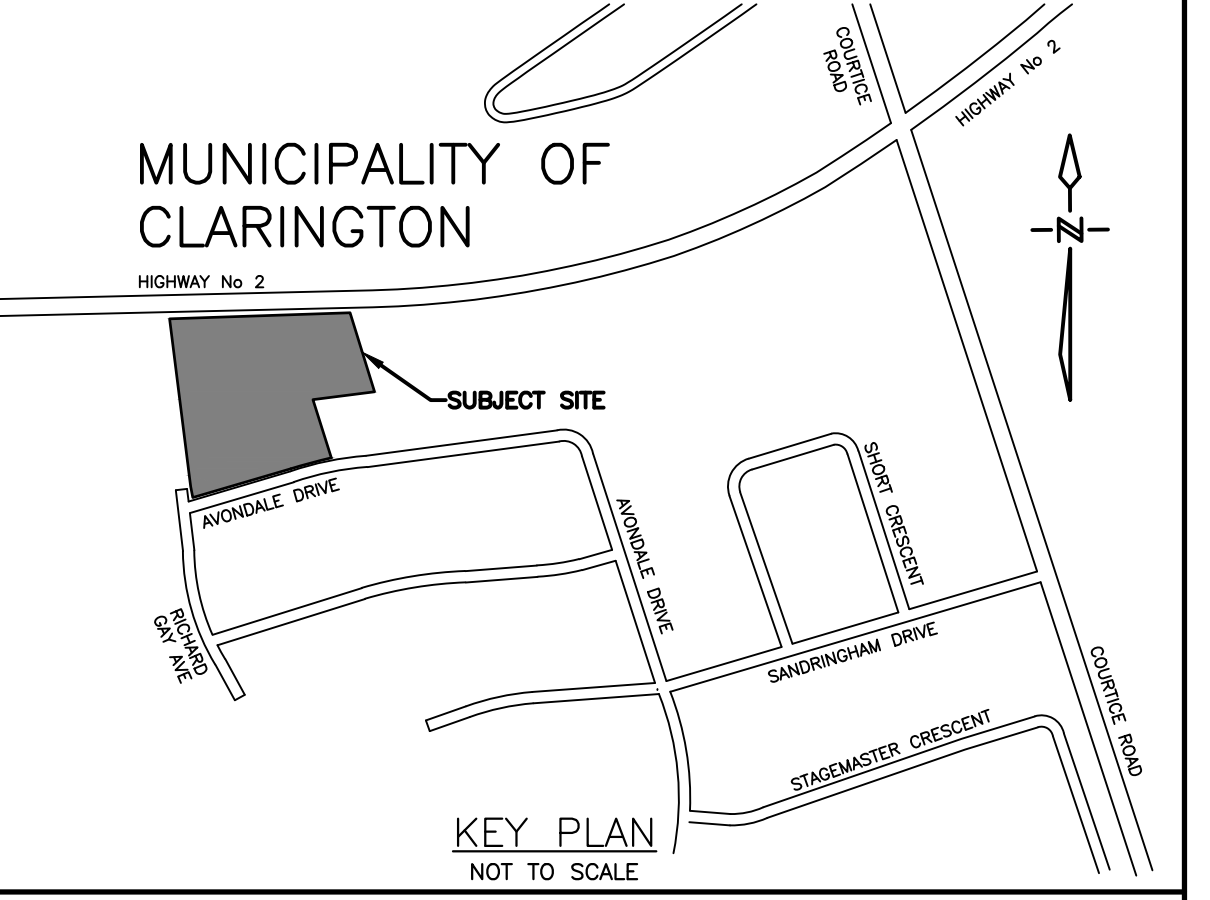
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SCALE:	1:250	PROJECT NO.	122065
DRAWN BY:	B.B.	DRAWING NO.	SS-1
DESIGN BY:	M.H.	CHECKED BY:	M.B.C.
CHECKED BY:	M.B.C.	DATE:	OCTOBER 2022



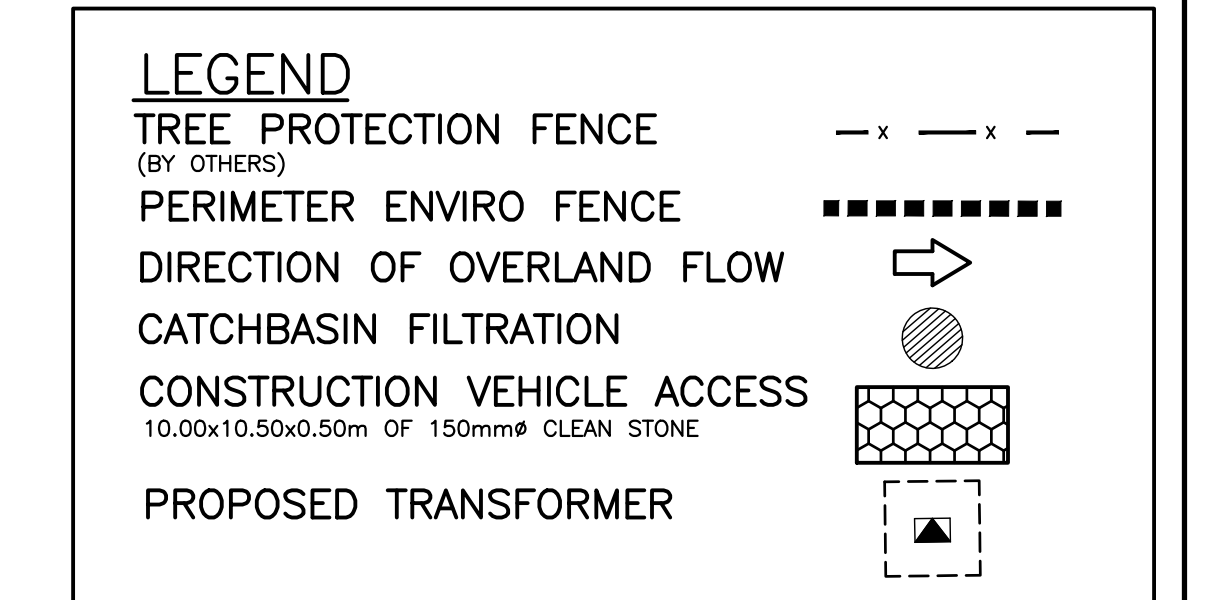


BENCH MARK
 GEODETIC BENCH MARK: 67-U-027
 COURTYARD BRIDGE OVER BLACK CREEK, 45.5m NORTH OF HWY NO. 2, TABLET IN WEST FACE OF CONCRETE ABUTMENT 4.0m FROM NORTH END OF BRIDGE, 1.2m NORTH OF SOUTHWEST CORNER, 450mm BELOW TOP OF SIDEWALK, ELEVATION 132.044 (PRIOR TO 1978 ELEVATION)



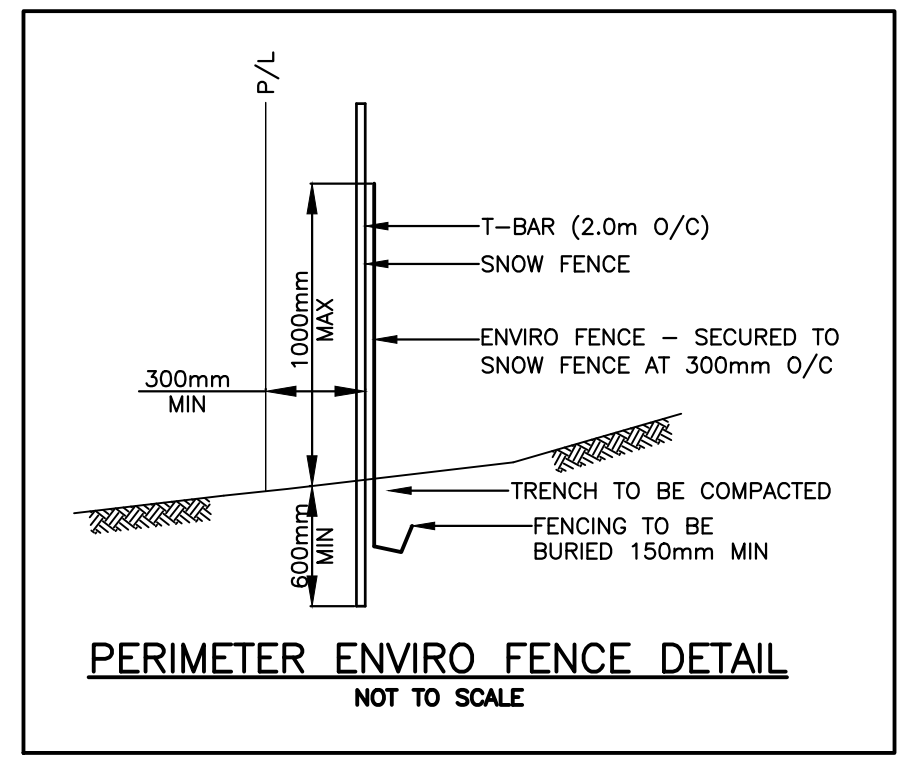
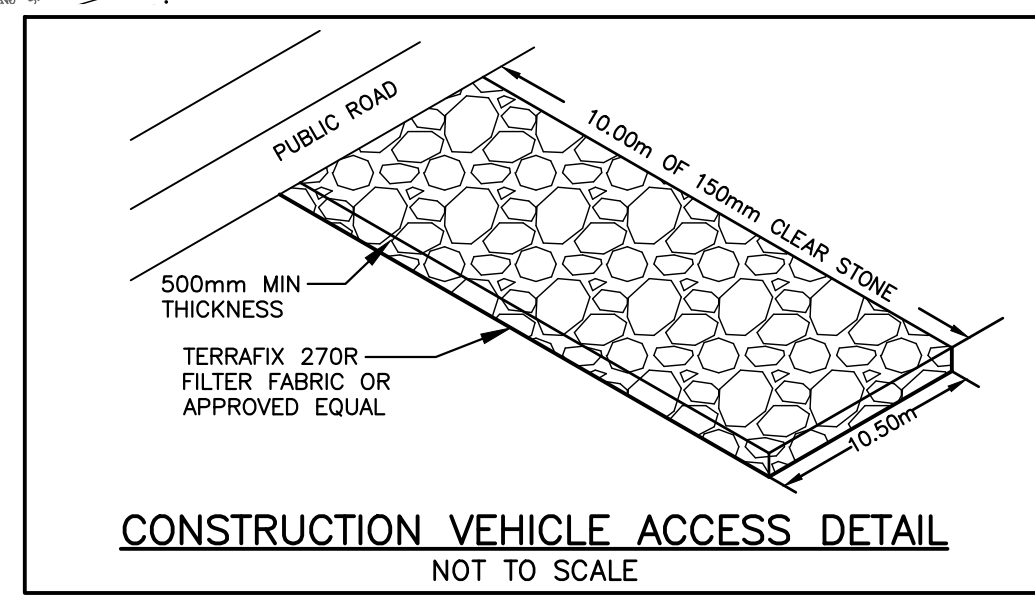
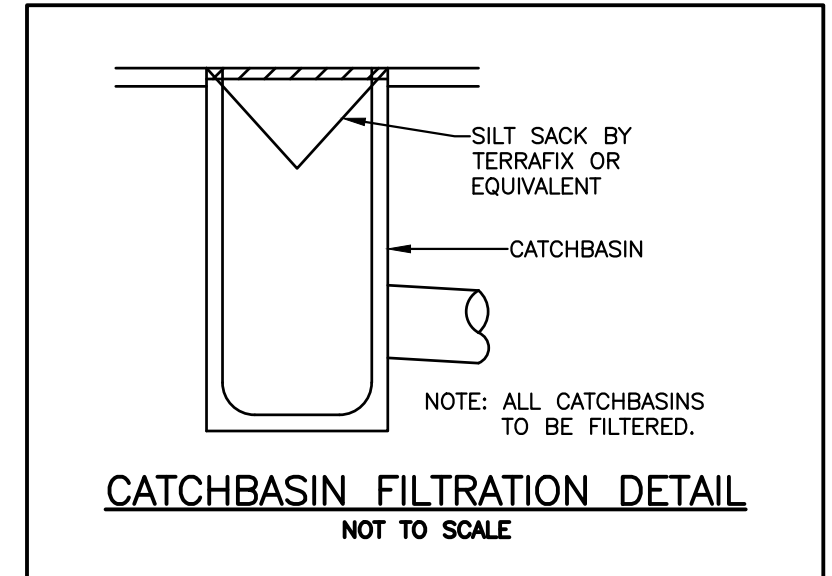
- DUST CONTROL MEASURES:**
- A. PRE-GRADING PLANNING**
1. THE SITE SERVING FOR THE SITE SHALL BE SCHEDULED SUCH THAT THE OVERALL TIME THE AREAS ARE LEFT OPEN TO WIND THAT CREATE BLOWING DUST FROM THE EARTHWORK OPERATIONS IS MINIMIZED.
 2. THE TOPSOIL STOCKPILE (IF APPLICABLE) SHALL BE STABILIZED WITHIN 30 DAYS OF STOCKPILING MATERIALS IN ACCORDANCE WITH CITY'S CRITERIA. ALL DISTURBED LANDS OUTSIDE THE PHASE OF WORK SHALL BE STABILIZED/VEGETATED.
 3. THE CONTRACTOR SHALL APPLY WATER TO HAUL ROADS AND STOCKPILES (IF APPLICABLE) BY WAY OF WATER TRUCK.
- B. WATERING (POST GRADING)**
4. WITHIN AREAS WHERE EARTHWORKS AND/OR UNDERGROUND MUNICIPAL SERVICING IS ON-GOING, WATER IS TO BE UTILIZED AT SUFFICIENT QUANTITY TO PREVENT VISIBLE EMISSIONS FROM EXTENDING MORE THAN 15m FROM THE POINT OF ORIGIN.
- C. REDUCE VEHICLE SPEED**
5. THE ON-SITE SPEED LIMIT FOR CONSTRUCTION VEHICLES SHALL BE MINIMIZED AND TO BE USED IN CONJUNCTION WITH WATERING TO PREVENT VISIBLE DUST EMISSIONS.
- D. RESTRICT ACTIVITIES DURING HIGH WIND PERIODS**
6. THE HIGH VISIBILITY OF CERTAIN WORKS AND THE CLOSE PROXIMITY AND POPULATION IMPACT SHOULD BE TAKEN INTO CONSIDERATION WHEN SCHEDULING DUST-PRODUCING WORK. APPROPRIATE DUST CONTROL MEASURES SHALL BE IN PLACE IN SUCH SITUATIONS.
- E. ROAD CLEANING**
7. SPILLAGE, EROSION OR MATERIALS "TRACKED OUT" ON A ROAD TO BE CLEANED USING MECHANICAL STREET SWEEPERS OR FLUSHER TRUCK AT LEAST BY THE END OF THE WORK DAY. HOWEVER, IF SPILLAGE EXTENDS MORE THAN 15m ALONG A PAVED PUBLIC ROADWAY, IT MUST BE CLEANED UP IMMEDIATELY.
 8. IMPORTING AND EXPORTING OF MATERIALS ON AND OFF-SITE WILL BE SHUT DOWN DURING AND FOLLOWING UNCLEMATEL WEATHER UNTIL THE ROAD SURFACES HAVE BEEN CLEANED.

- SEDIMENT CONTROL CONSTRUCTION SCHEDULE**
1. INSTALL PERIMETER ENVIRO FENCE AND CONSTRUCTION VEHICLE ACCESS.
 2. EXCAVATE PERIMETER SWALES AND SEDIMENT PONDS AS REQUIRED.
 3. STRIP SITE OF TOPSOIL AND REMOVE OFF SITE OR STOCK PILE AND PROVIDE ENVIRO FENCE AROUND BOTTOM OF PILE.
 4. INSTALL MINOR STORM SEWER SYSTEM ALONG WITH OTHER SERVICES.
 5. INSTALL CATCHBASIN FILTRATION ON ALL CATCHBASINS AND CATCHBASIN.
 6. SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED UNTIL ALL AREAS OF THE SITE HAVE BEEN STABILIZED WITH SOD OR ASPHALT.



FOR RICHARD GAY AVENUE DESIGN REFER TO 122065-C-1 FOR PLAN/PROFILE DETAILS

- GENERAL NOTES**
1. RESPECTING ALL WORK IN THE MUNICIPAL RIGHT OF WAY, THE CONTRACTOR IS TO PROVIDE AT LEAST 48 HOURS NOTICE TO THE PUBLIC WORKS DEPARTMENT STAFF AT (905) 263-2291.
 2. A ROAD OCCUPANCY PERMIT WILL BE REQUIRED FOR ANY WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCE. EXCAVATION OF THE ROAD SURFACE IS NOT PERMITTED BETWEEN DECEMBER 1ST AND APRIL 30TH.
 3. ALL RESTORATION OR WORK DONE WITHIN THE ROAD ALLOWANCE MUST BE COMPLETED AS PER MUNICIPAL FIELD STAFF DIRECTION.
 4. THE PERFORMANCE GUARANTEE WILL NOT BE REFUNDED BY THE MUNICIPALITY OF CLARINGTON UNLESS THE WORKS HAVE BEEN INSPECTED BY MUNICIPAL REPRESENTATIVES AND DEEMED TO BE COMPLETE AND SATISFACTORY.
 5. THE ENTRANCE TO THE SUBJECT PROPERTY MUST BE CONSTRUCTED TO THE FOLLOWING MINIMUM STANDARD:
 -300mm GRANULAR B
 -150mm GRANULAR A
 -50mm HL3 ASPHALT
 -40mm HL3 ASPHALT
 -ENTRANCE WIDTH: 6.0-9.0m
 -ENTRANCE RADIUS: BARRIER CURB AS PER C-302
 6. ALL MUNICIPAL SIDEWALK LOCATED WITHIN THE ENTRANCE AREA(S) IS TO BE 200mm THICK WELDED WIRE MESH REINFORCED CONCRETE SIDEWALK.
 7. THE APPLICANT WILL BE REQUIRED TO CONSTRUCT RICHARD GAY AVENUE TO FACILITATE THIS DEVELOPMENT.
 8. ALL CONCRETE CURB INTERNAL TO THE SITE AND THE ENTRANCE RADI ARE TO BE BARRIER CURB AS PER C-302.
 9. REFER TO LANDSCAPE PLANS FOR CONCRETE WALKING TRAIL DETAILS.



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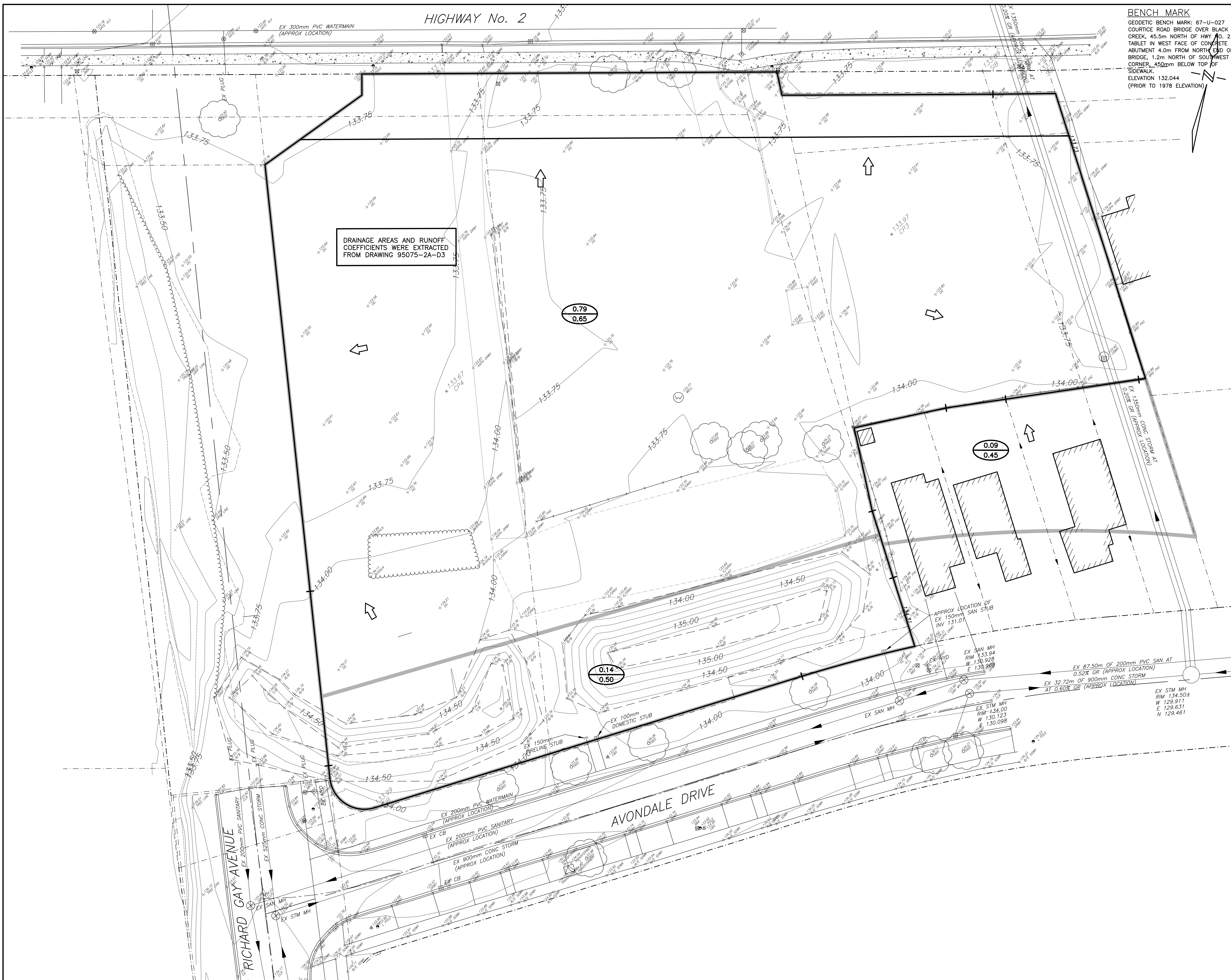
1697 HIGHWAY No 2, COURTYE, CLARINGTON

EROSION AND SEDIMENT CONTROL PLAN

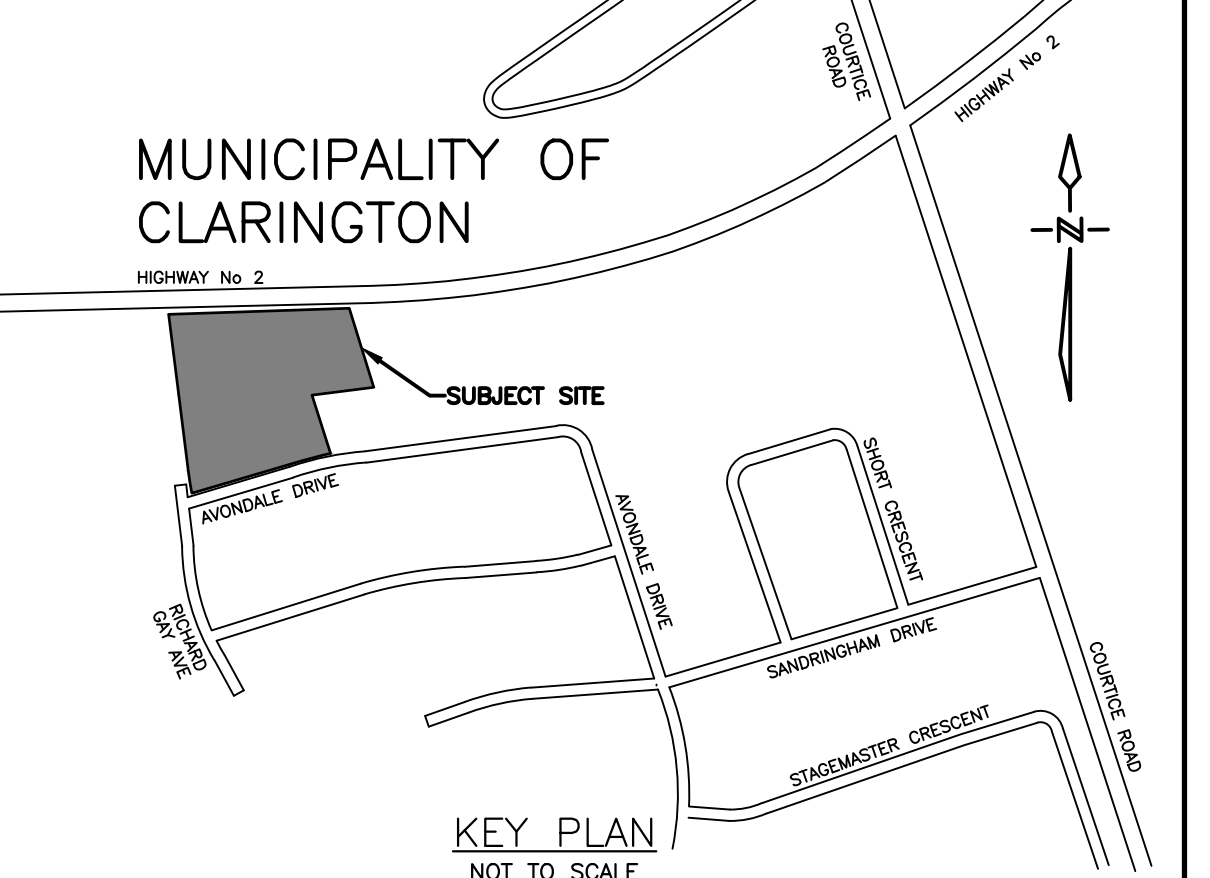
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SCALE: 1:250	PROJECT NO. 122065
DRAWN BY: B.B.	DRAWING NO. ES-1
DESIGN BY: M.H.	
CHECKED BY: M.B.C.	
DATE: OCTOBER 2022	





BENCH MARK
 GEODETIC BENCH MARK: 67-U-027
 COURTYARD BRIDGE OVER BLACK
 CREEK, 45.5m NORTH OF HWY NO. 2.
 TABLE IN WEST FACE OF CONCRETE
 ABUTMENT 4.0m FROM NORTH END OF
 BRIDGE, 1.2m NORTH OF SOUTHWEST
 CORNER, 450mm BELOW TOP OF
 SIDEWALK.
 ELEVATION 132.044
 (PRIOR TO 1978 ELEVATION)



LEGEND

- DRAINAGE BOUNDARY
- DRAINAGE AREA (ha)
- RUN-OFF COEFFICIENT
- DIRECTION OF DRAINAGE

NOTE: THIS PLAN IS FOR STORM DRAINAGE AREAS ONLY

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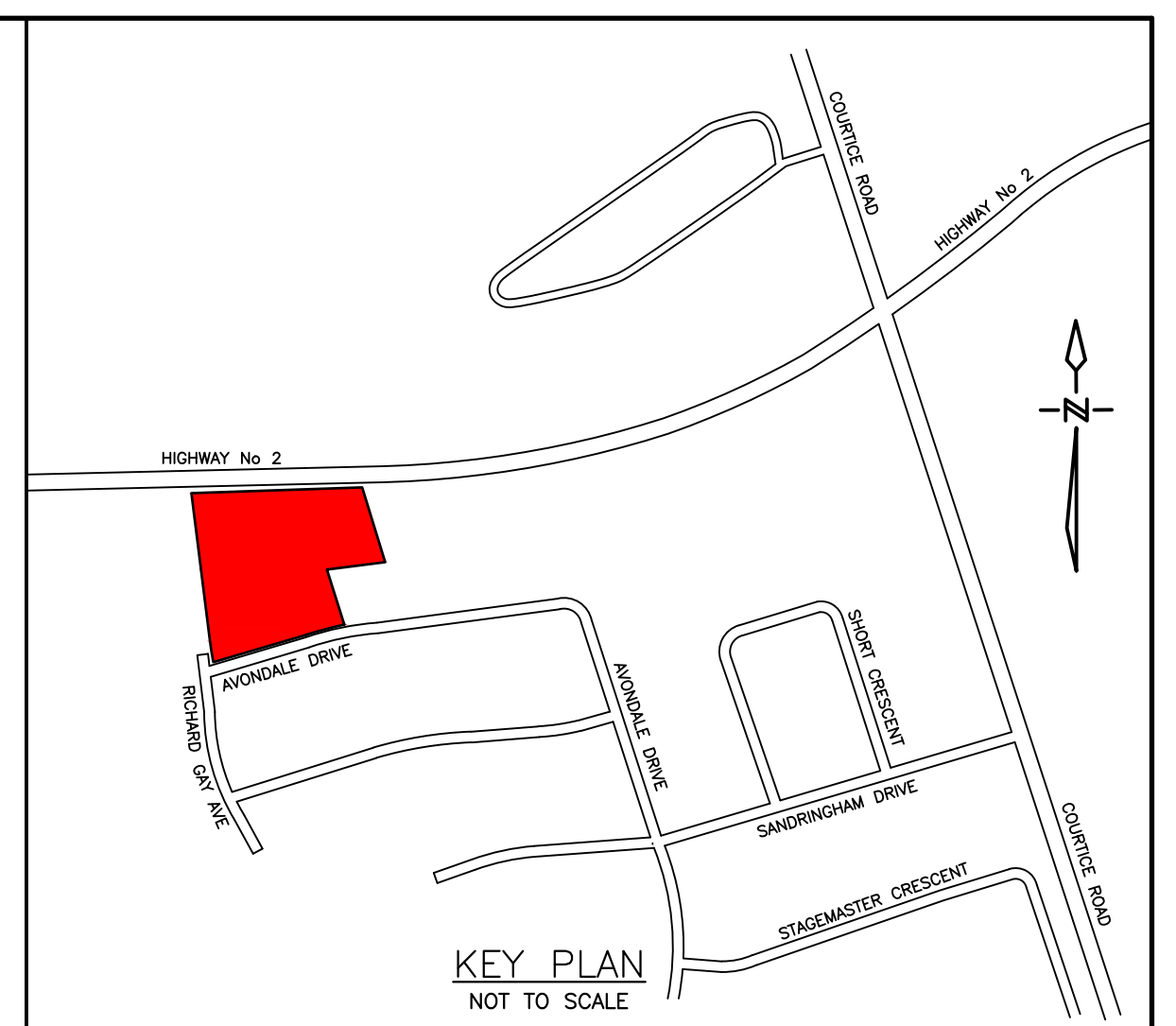
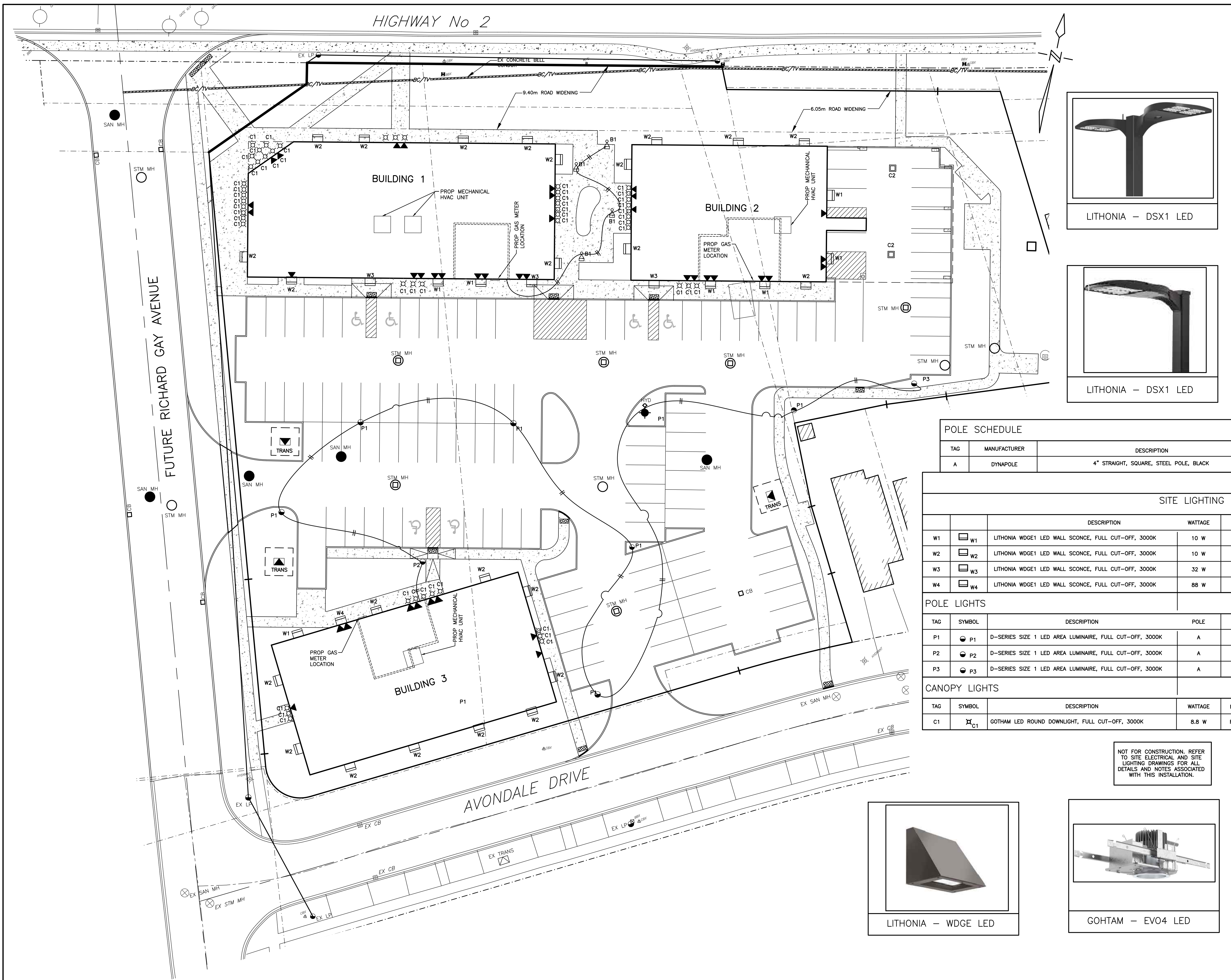
1697 HIGHWAY No. 2, COURTYARD, CLARINGTON

**PRE-DEVELOPMENT
 STORM DRAINAGE PLAN**

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	DRAWN BY: B.B.	DRAWING NO. SD-1
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X:\SHAPP\JOB FILES\122065\122065_1697 HIGHWAY 2, COURTYARD, CLARINGTON\DRAWINGS\122065-30-SITE PLAN.DWG



BENCH MARK
 GEODETIC BENCH MARK: 67-U-027
 COURTYE ROAD BRIDGE OVER BLACK CREEK, 45.5m NORTH OF HWY NO. 2.
 TABLET IN WEST FACE OF CONCRETE ABUTMENT 4.0m FROM NORTH END OF BRIDGE, 1.2m NORTH OF SOUTHWEST CORNER, 450mm BELOW TOP OF SIDEWALK.
 ELEVATION 132.044 (PRIOR TO 1978 ELEVATION)

LEGEND
 SITE TRANSFORMER
 SITE STREET LIGHT
 SITE MAILROOM LOCATION
 EX BELL PEDESTAL



LITHONIA - DSX1 LED



LITHONIA - DSX1 LED

POLE SCHEDULE

TAG	MANUFACTURER	DESCRIPTION	MODEL NUMBER	NOTES
A	DYNAPOLE	4" STRAIGHT, SQUARE, STEEL POLE, BLACK	SSS4-12	REFER TO LIGHT POLE BASE DETAIL

SITE LIGHTING SCHEDULE

TAG	SYMBOL	DESCRIPTION	WATTAGE	MODEL NUMBER	MOUNTING HEIGHT
W1	W1	LITHONIA WDG1 LED WALL SCONCE, FULL CUT-OFF, 3000K	10 W	WDG1 LED P1 30K 80CRI VF SRM DBLXD	2.75m AFG
W2	W2	LITHONIA WDG1 LED WALL SCONCE, FULL CUT-OFF, 3000K	10 W	WDG1 LED P1 30K 80CRI VF SRM DBLXD	3.66m AFG
W3	W3	LITHONIA WDG1 LED WALL SCONCE, FULL CUT-OFF, 3000K	32 W	WDG2 LED P3 30K 80CRI TFTM SRM DBLXD	3.66m AFG
W4	W4	LITHONIA WDG1 LED WALL SCONCE, FULL CUT-OFF, 3000K	88 W	WDG3 LED P4 30K 80CRI RFT SRM DBLXD	3.66m AFG

POLE LIGHTS

TAG	SYMBOL	DESCRIPTION	POLE	WATTAGE	MODEL NUMBER	MOUNTING HEIGHT
P1	P1	D-SERIES SIZE 1 LED AREA LUMINAIRE, FULL CUT-OFF, 3000K	A	51 W	DSX1 LED P1 30K 80CRI T3M MVOLT SPA DBLXD	4.57m AFG
P2	P2	D-SERIES SIZE 1 LED AREA LUMINAIRE, FULL CUT-OFF, 3000K	A	102 W	DSX1 LED P3 30K 80CRI T3M MVOLT SPA DBLXD	4.57m AFG
P3	P3	D-SERIES SIZE 1 LED AREA LUMINAIRE, FULL CUT-OFF, 3000K	A	51 W	DSX1 LED P1 30K 80CRI BLC4 MVOLT SPA DBLXD	4.57m AFG

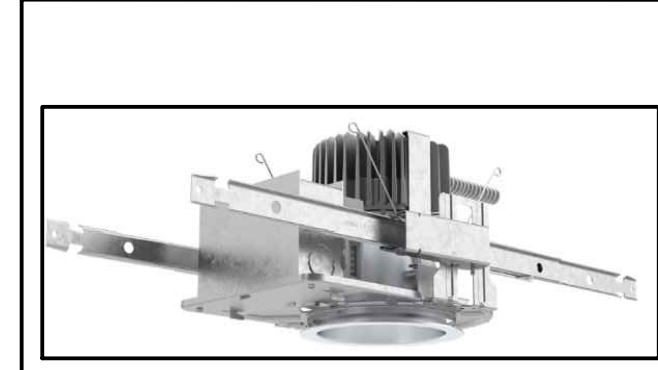
CANOPY LIGHTS

TAG	SYMBOL	DESCRIPTION	WATTAGE	MOUNTING	MODEL NUMBER
C1	C1	GOHAM LED ROUND DOWNLIGHT, FULL CUT-OFF, 3000K	8.8 W	RECESSED	EV04 30/10 AR MD LD 120 G21 NLT

NOT FOR CONSTRUCTION. REFER TO SITE ELECTRICAL AND SITE LIGHTING DRAWINGS FOR ALL DETAILS AND NOTES ASSOCIATED WITH THIS INSTALLATION.



LITHONIA - WDG1 LED



GOHAM - EV04 LED

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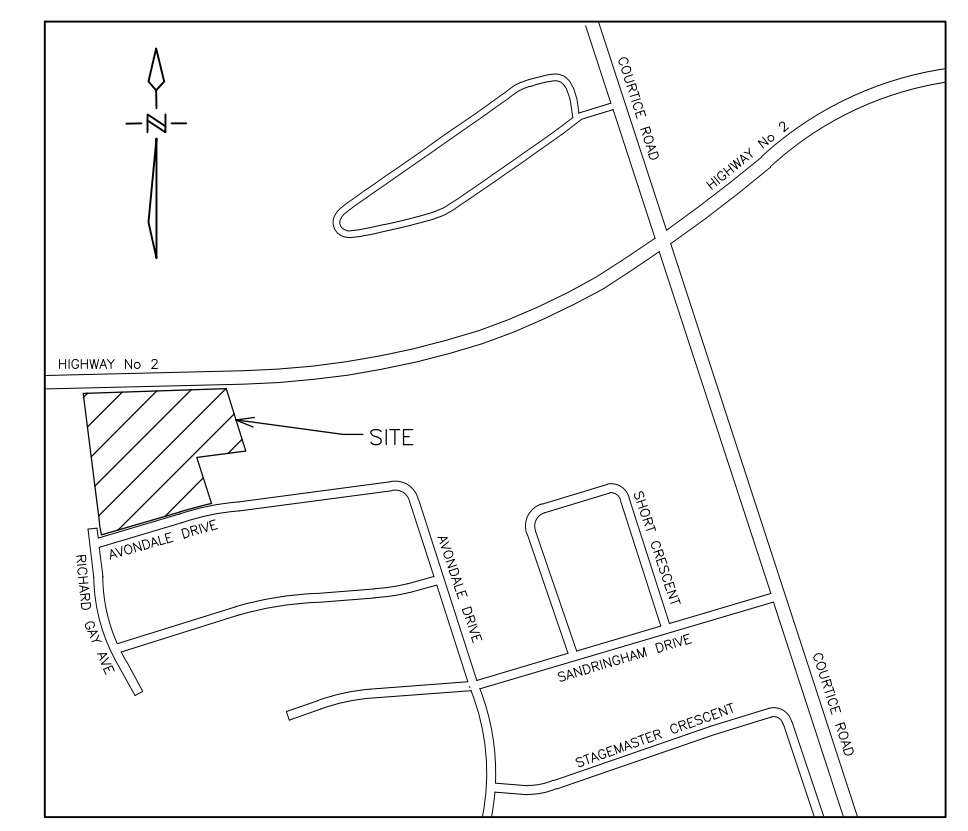
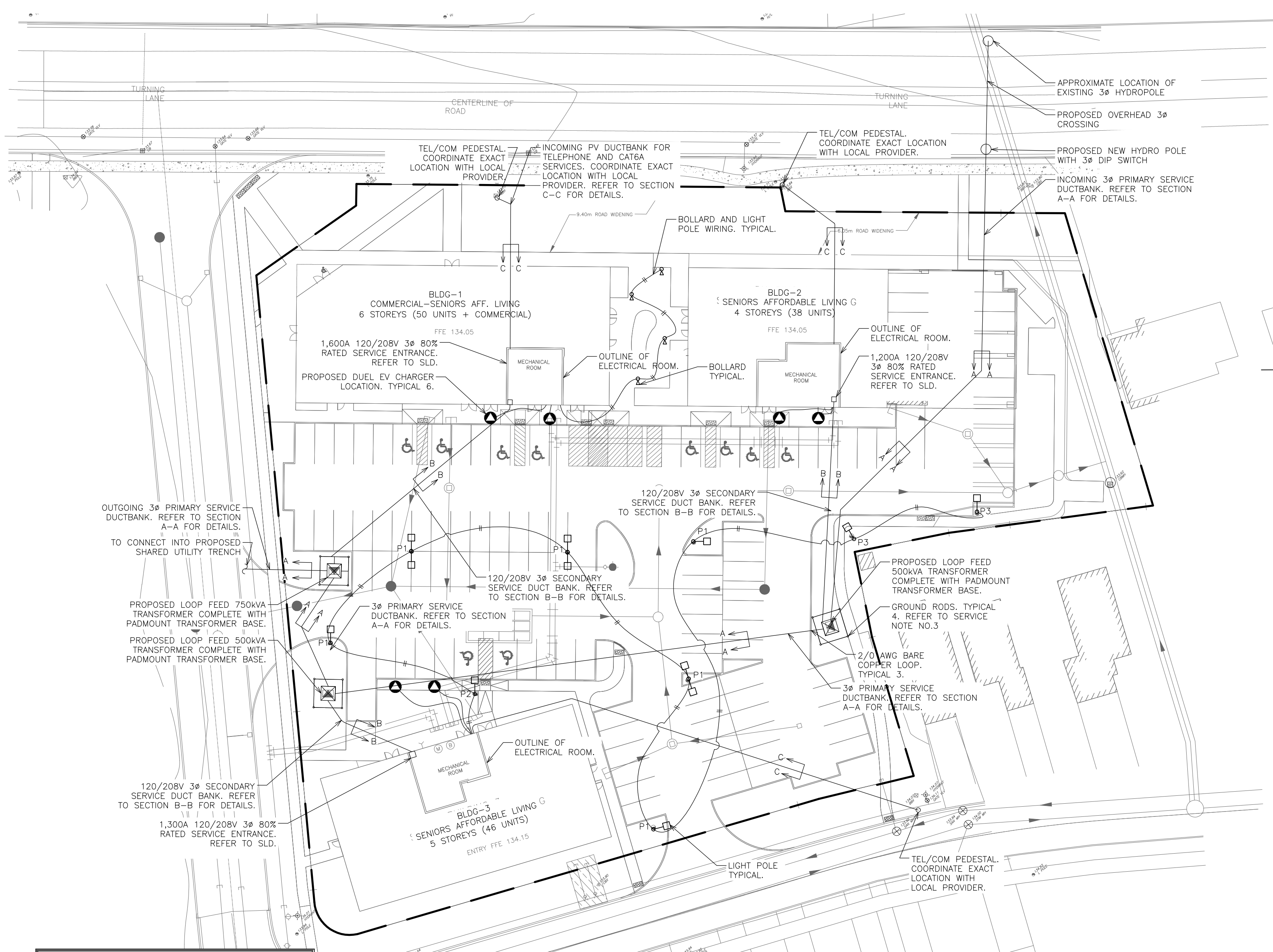
UTILITY COORDINATION PLAN

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DRAWN BY: M.J.H.	DRAWING NO. UC-1
DESIGN BY: M.J.H.	
CHECKED BY: M.B.C.	
DATE: OCTOBER 2023	

02/17/2023 12:00 PM FILE: 122065_122065_1697 HIGHWAY 2 - COURTYCE/CLARINGTON DRAWINGS/122065-UCP PLANNING



GENERAL REQUIREMENTS FOR SITE ELECTRICAL WORK

- ALL EQUIPMENT MUST BE APPROVED BY AN ACCREDITED APPROVAL AGENCY, OR ACCEPTED THROUGH FIELD EVALUATION OR BY AN INSPECTOR UNDER THE PROVISION OF RULE 2-024 OF THE CURRENT ONTARIO ELECTRICAL SAFETY CODE.
- AT EACH DISTRIBUTION POINT, CIRCUIT BREAKERS, FUSES AND SWITCHES SHALL BE MARKED, ADJACENT THERETO, IN A CONSPICUOUS AND LEGIBLE MANNER TO INDICATE CLEARLY WHICH INSTALLATION OR PORTION OF INSTALLATION THEY PROTECT OR CONTROL AND THE MAXIMUM RATING OF OVERCURRENT DEVICE THAT IS PERMITTED. RULE 2-100(3).
- RACEWAYS ENTERING A BUILDING AND FORMING PART OF AN UNDERGROUND SERVICE SHALL BE SEALED AND SHALL:
 - ENTER THE BUILDING ABOVE GROUND WHERE PRACTICABLE; OR
 - BE SUITABLY DRAINED; OR
 - BE INSTALLED IN SUCH A WAY THAT MOISTURE AND GAS WILL NOT ENTER THE BUILDING. RULE 6-300(6).
- WHERE WARNING TAPE IS USED TO COMPLY WITH RULE 12-012(11) AS SHOWN ON DRAWING SE-1, THE TAPE MUST BE BURIED APPROXIMATELY HALFWAY BETWEEN THE INSTALLATION AND GRADE LEVEL, COVERING THE WIDTH OF THE RACEWAYS OR CABLES INSTALLED.
- A MINIMUM WORKING SPACE OF 1m WITH SECURE FOOTING SHALL BE PROVIDED AND MAINTAINED ABOUT ELECTRICAL EQUIPMENT SUCH AS SWITCHBOARDS, PANELBOARDS, CONTROL PANELS, AND MOTOR CONTROL CENTRES WHICH ARE ENCLOSED IN METAL. RULE 2-308.
- ALL OVERCURRENT PROTECTION SHALL BE CAPABLE OF INTERRUPTING THE AVAILABLE FAULT CURRENT. RULE 14-012.
- EVERY PANELBOARD SHALL BE PROTECTED ON THE SUPPLY SIDE BY OVERCURRENT DEVICES HAVING A RATING NOT GREATER THAN THAT OF PANELBOARD. RULE 14-606(1)
- THE RATING OR SETTING OF OVERCURRENT DEVICES SHALL NOT EXCEED THE ALLOWABLE CAPACITY OF THE CONDUCTORS THAT THEY PROTECT. RULE 14-104.
- RULE 14-102 REQUIRES GROUND FAULT PROTECTION ON GROUNDED CIRCUITS MORE THAN 150 VOLTS TO GROUND AND 1000 AMPERES OR MORE. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR AND SWITCHGEAR MANUFACTURER TO CO-ORDINATE THE GROUND FAULT SENSING METHOD WITH EACH PARTICULAR GROUNDING ARRANGEMENT.

SERVICE SIZE CALCULATIONS:
BUILDING 1 - COMMERCIAL/SENIORS AFF. LIVING

TOTAL ESTIMATED DEMAND	456,706W
SERVICE SIZE =	1,268A @ 120/208V 3φ OR 1,600A @ 80% (FUSED MAIN)

SERVICE SIZE CALCULATIONS:
BUILDING 2 - SENIORS AFF. LIVING

TOTAL ESTIMATED DEMAND	333,006W
SERVICE SIZE =	925A @ 120/208V 3φ OR 1,200A @ 80% (FUSED MAIN)

SERVICE SIZE CALCULATIONS:
BUILDING 3 - SENIORS AFF. LIVING

TOTAL ESTIMATED DEMAND	358,906W
SERVICE SIZE =	1,011A @ 120/208V 3φ OR 1,300A @ 80% (FUSED MAIN AT 1,250A)

- NOTES:**
- TENDERING OF THESE DOCUMENTS IS DONE UNDER THE MUTUAL UNDERSTANDING THAT ALL CONTRACTORS ARE EXPERIENCED AND LICENSED IN THE WORKS BEING PROVIDED AND THAT ALL COMPONENTS OF A FULLY FUNCTIONING SYSTEM WILL BE INCLUDED WHETHER SHOWN OR NOT SHOWN BUT IMPLIED FOR A COMPLETE SYSTEM.
 - ALL DETAILS SHOWN ARE SCHEMATIC BY NATURE AND ARE TO BE USED FOR SCOPE OF WORK PURPOSES ONLY. COORDINATE WITH ALL TRADES AND MANUFACTURERS BEST PRACTICES AND DIRECTIONS.
 - CONTRACTOR TO COORDINATE EXACT LENGTH OF SECONDARY RUNS ON SITE AND PROVIDE CONDUCTORS TO SUIT. CONTRACTOR TO PROVIDE CONDUCTOR SIZES C/W LENGTH OF RUN TO ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
 - ELECTRICAL SCOPE OF WORK: THE CONTRACTOR IS ASSUMED TO BE OF MASTER ELECTRICIAN EXPERIENCE AND SHALL PROVIDE ANY APPLICABLE SINGLE LINE DIAGRAMS, PANEL SCHEDULES AND CIRCUIT PLAN DESIGNS REQUIRED TO PROVIDE A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM. THIS PRICE SHALL BE INCLUDED IN THE CONTRACTORS BASE BID PRICE. NO CLAIM FOR EXTRA PAYMENT WILL BE ALLOWED FOR FAILURE TO INCLUDE THIS COST INTO THE BASE BID. BIDDERS SHALL ACCEPT SOLE RESPONSIBILITY FOR ANY ERROR OR NEGLECT IN PRICING THE ABOVE ITEMS IN THERE BID.
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1.	ISSUED FOR SPA	DEC 07	A.L. G.V.W.O

1697 DURHAM REGIONAL HIGHWAY 2, COURTYARD
RICHARD H. GAY HOLDINGS

**SITE SERVICING
SITE ELECTRICAL**

D.G. Biddle & Associates Limited
consulting engineers and planners

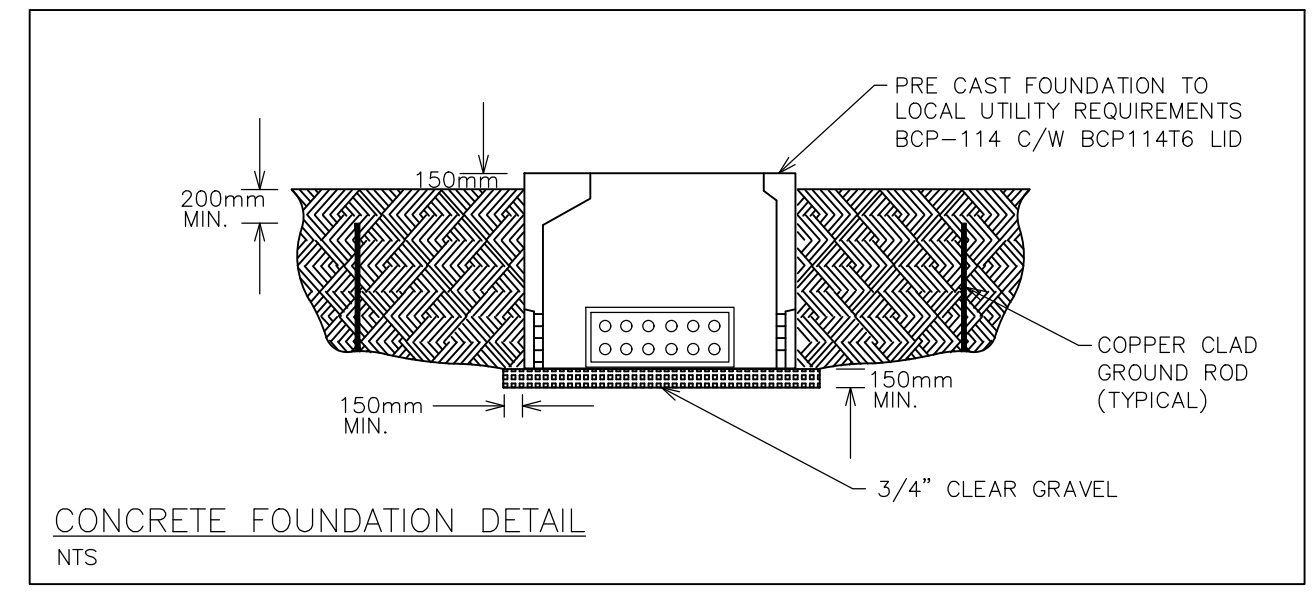
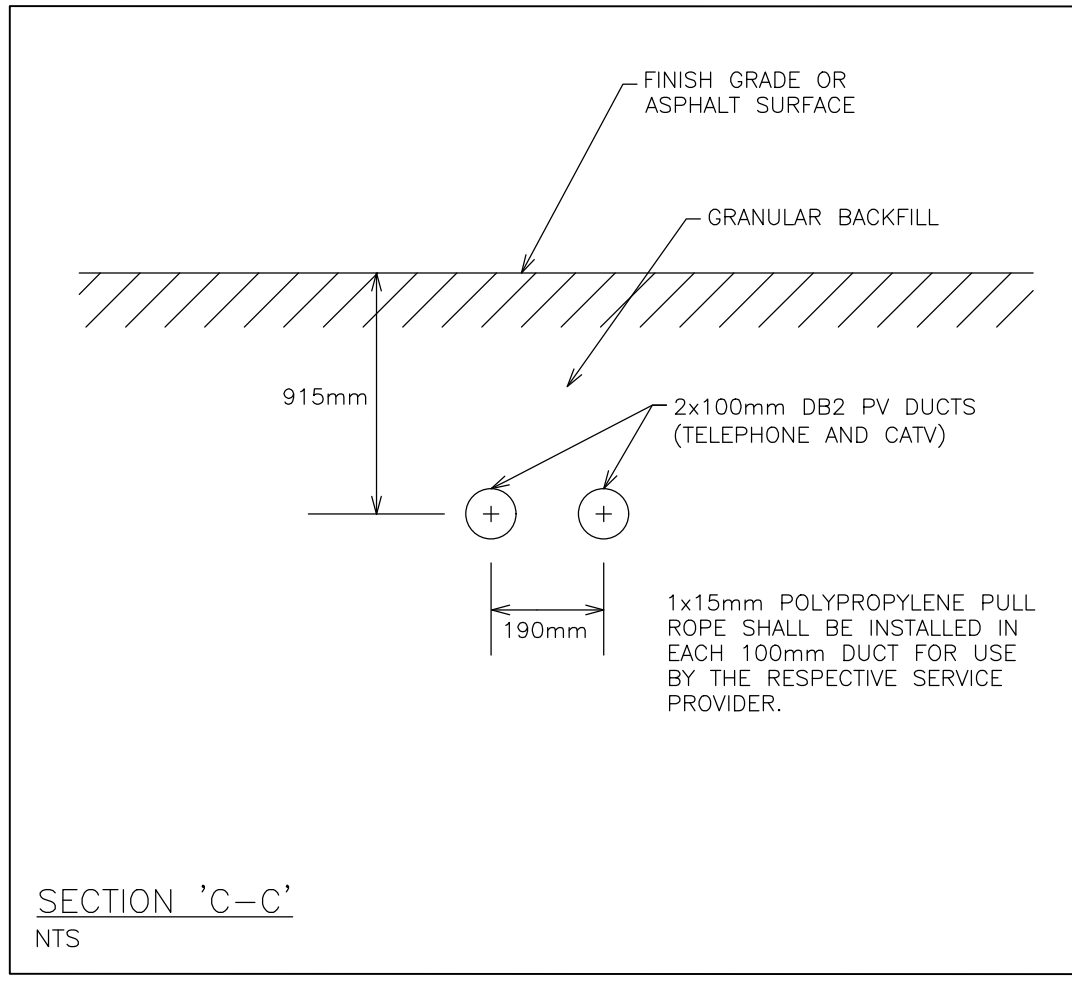
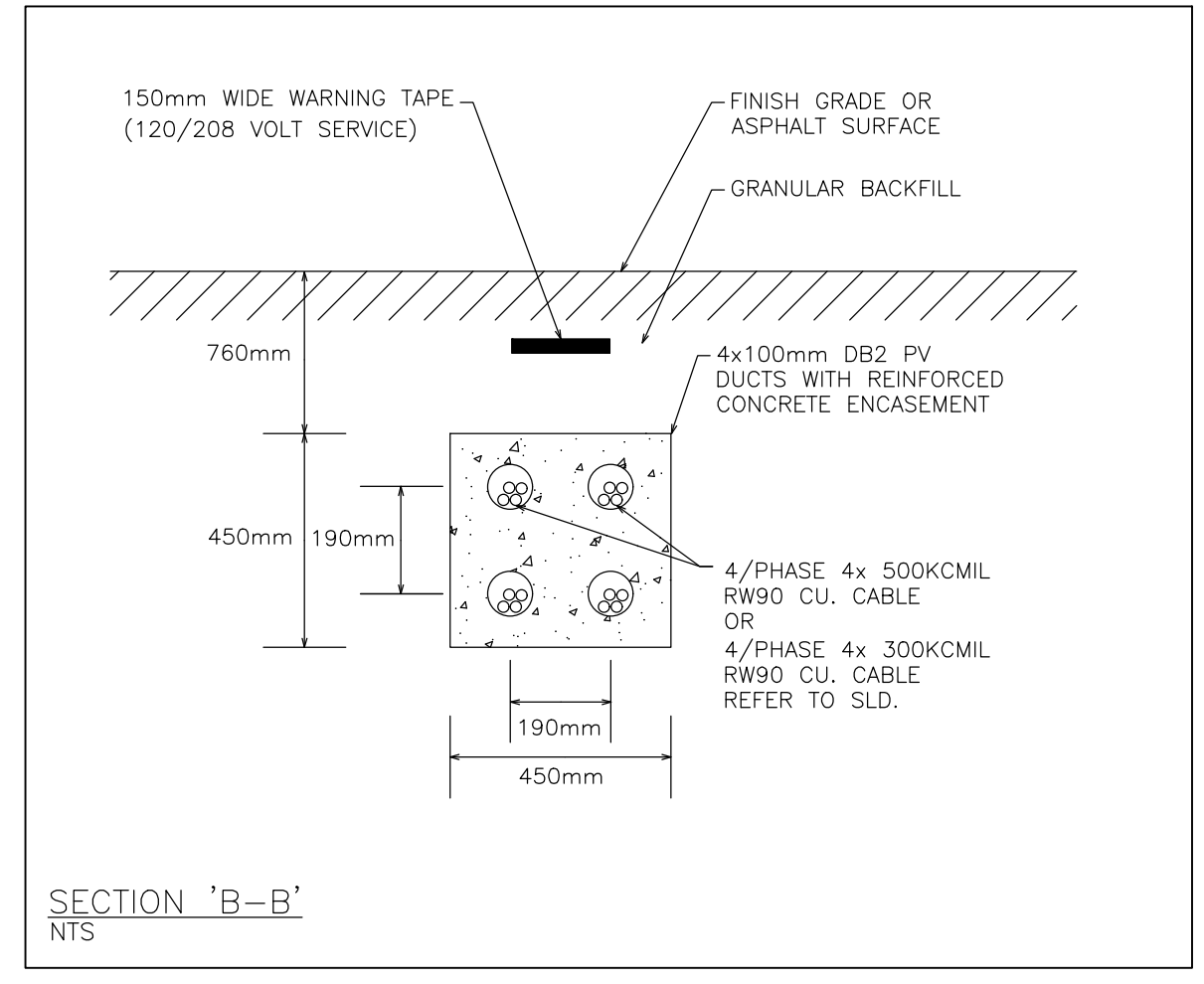
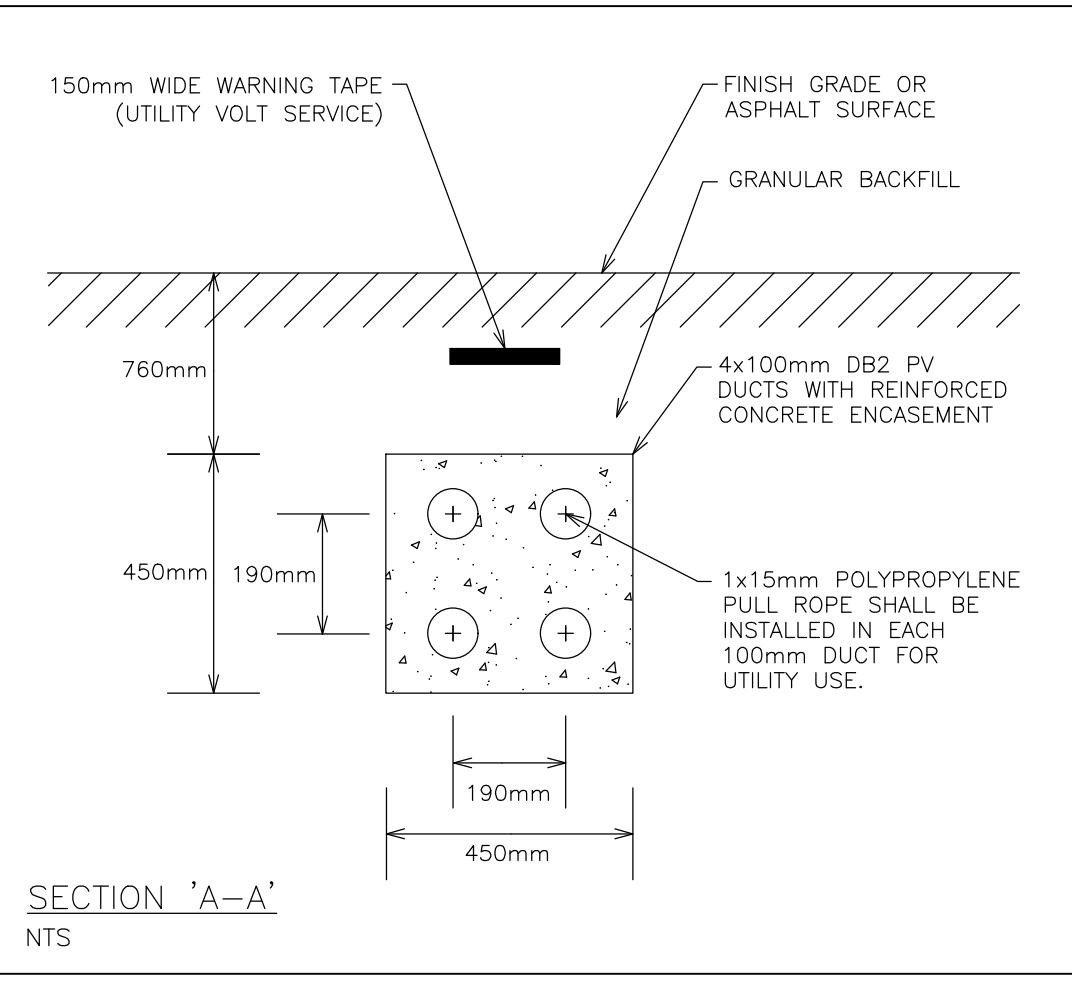
96 KING STREET EAST • OSHAWA, ON L1H 1B6
PHONE (905) 576-8500 • FAX (905) 576-9730
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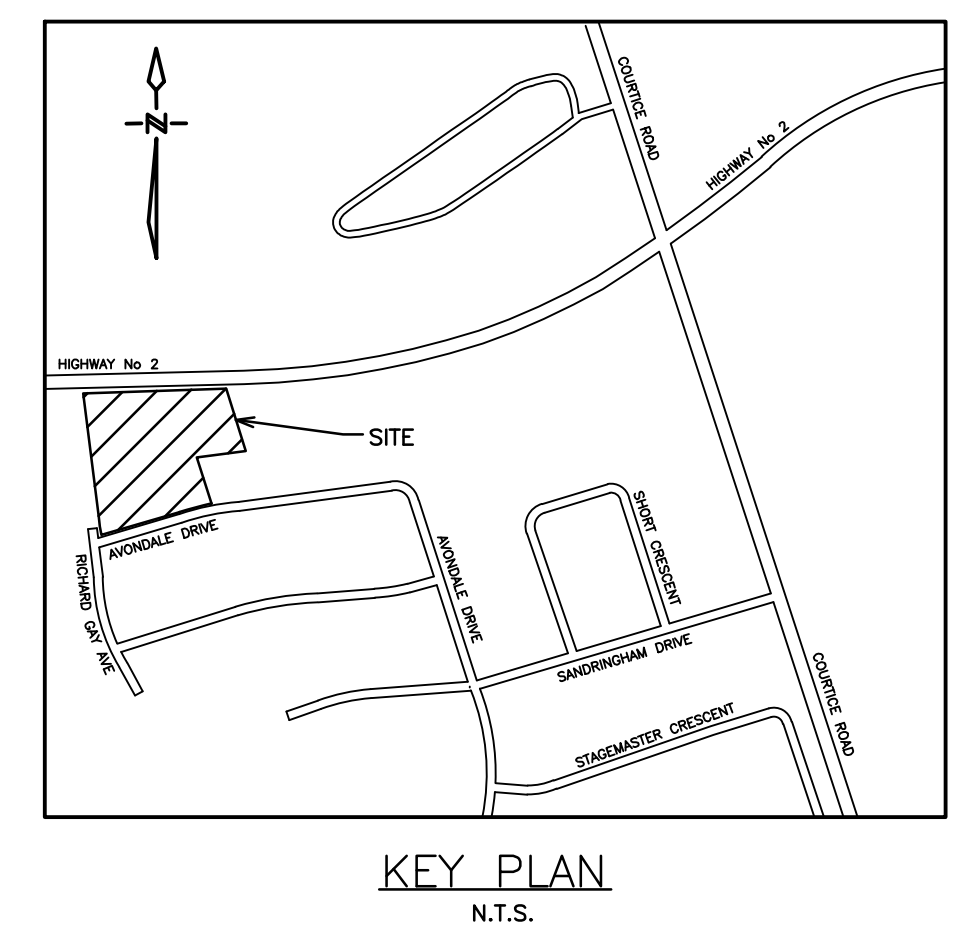
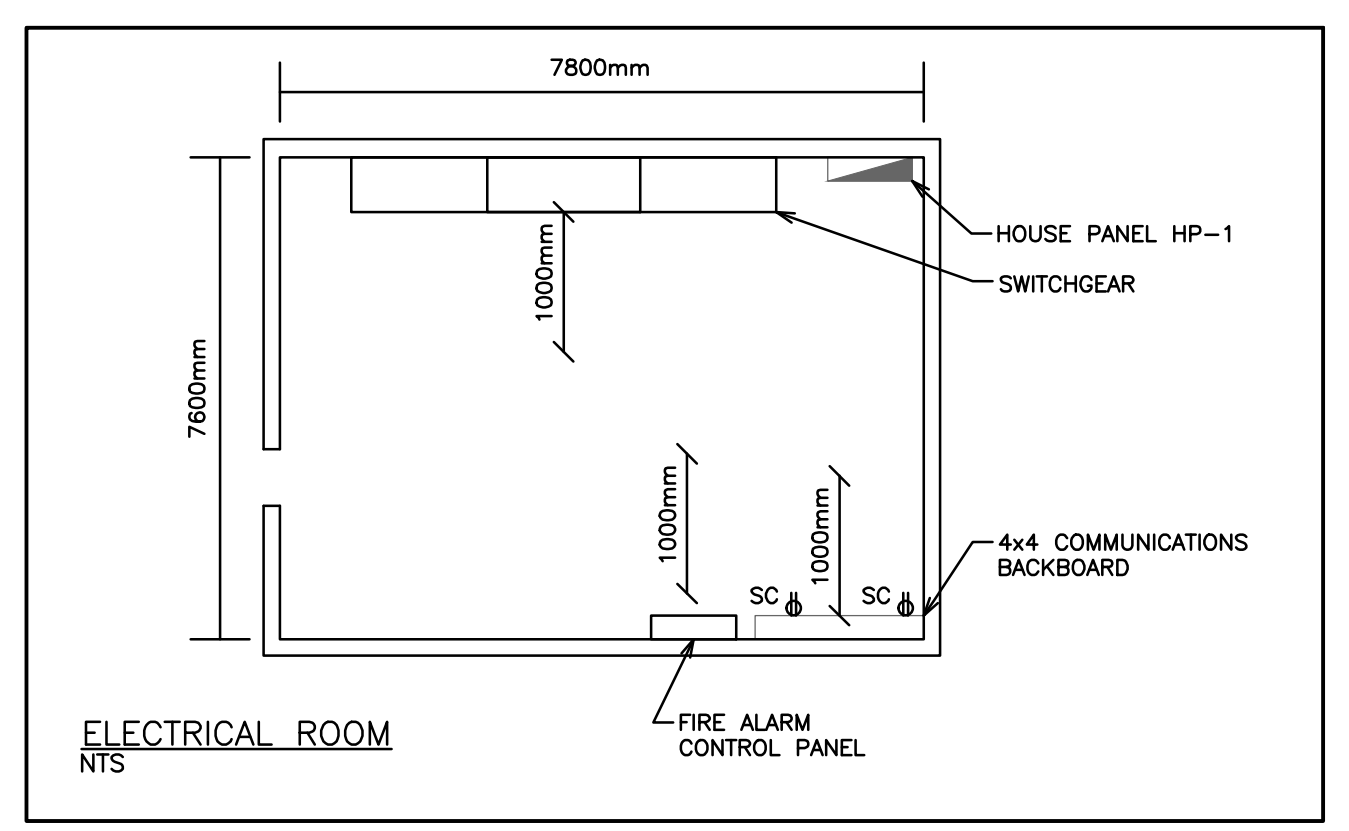
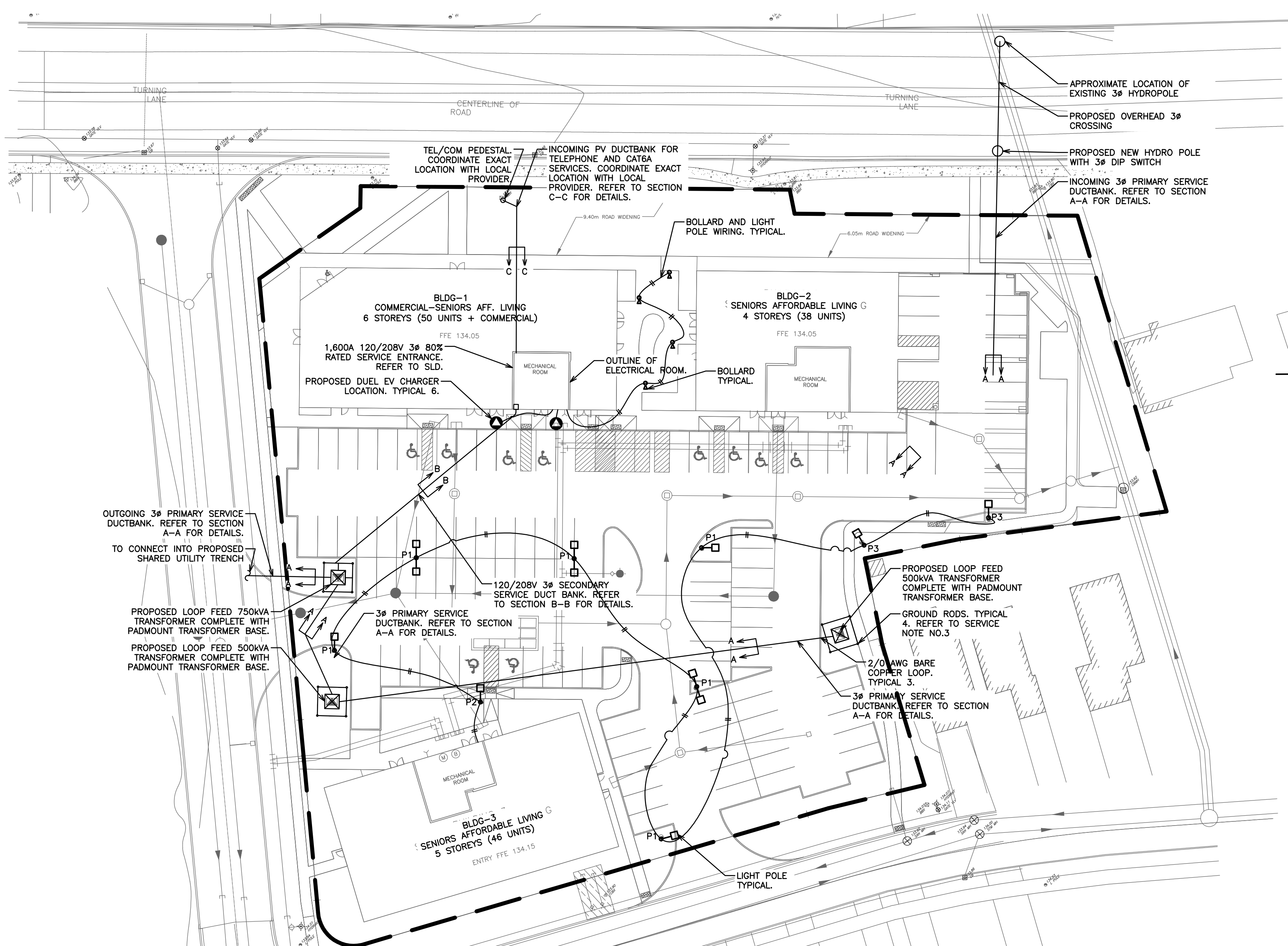
G.V.W. OSBORNE
100136545
Nov 2, 2023
PROVINCE OF ONTARIO

SCALE:	1:400	PROJECT NO.	122065
DRAWN BY:	A.L.	DRAWING NO.	SE-1
DESIGN BY:	A.L.	CHECKED BY:	G.V.W.O
CHECKED BY:	G.V.W.O	DATE:	OCTOBER 2023
DATE:	OCTOBER 2023	CAD FILE:	122065 SE
		PLOT DATE:	11/01/2023
		SUBMISSION:	SPA

NOT FOR CONSTRUCTION. REFER TO OFFER TO CONNECT BY HYDRO ONE DISTRIBUTION INC. FOR ALL DETAILS AND NOTES ASSOCIATED WITH THIS INSTALLATION.

- TELECOMMUNICATIONS SERVICE NOTES:**
- A MINIMUM SEPERATION FROM POWER CONDUITS OF NOT LESS THAN 100mm OF CONCRETE (2500 P-S-I) OR 300mm OF WELL TAPPED EARTH IS REQUIRED.
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SERVICE SIZE CALCULATIONS:

BUILDING 1 - COMMERCIAL/SENIORS AFF. LIVING

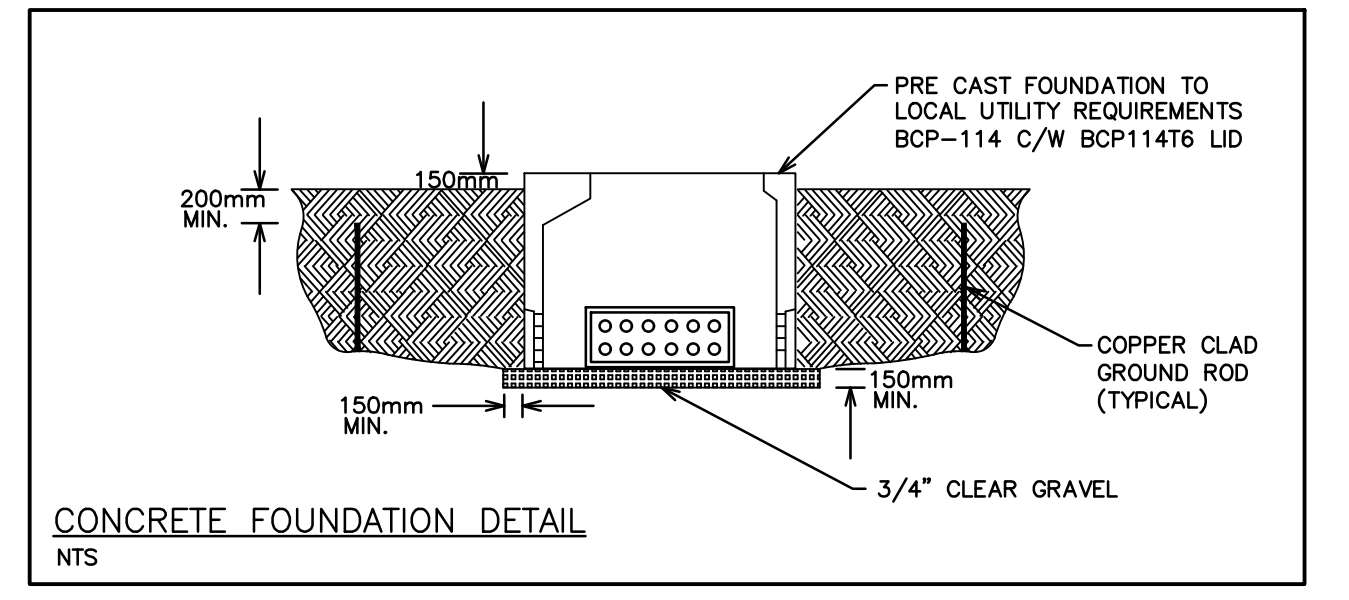
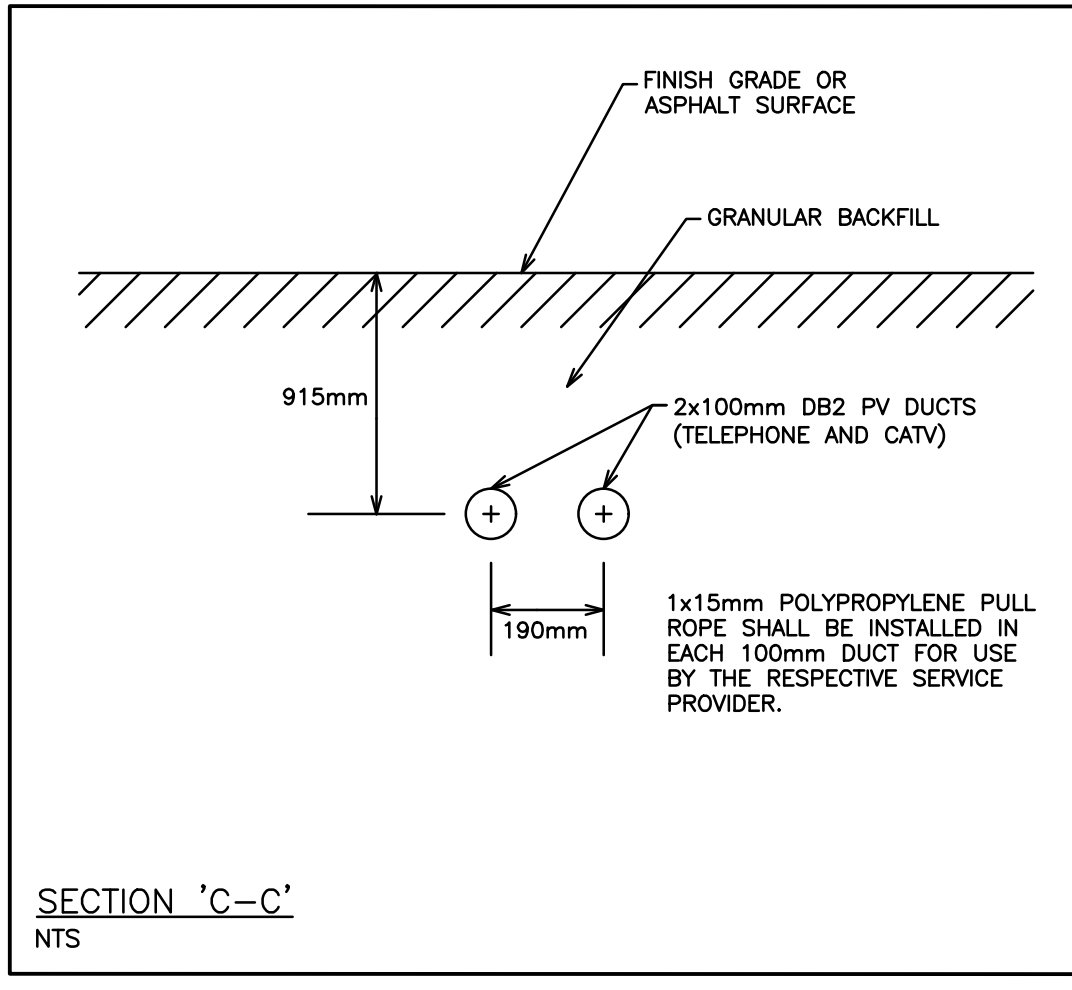
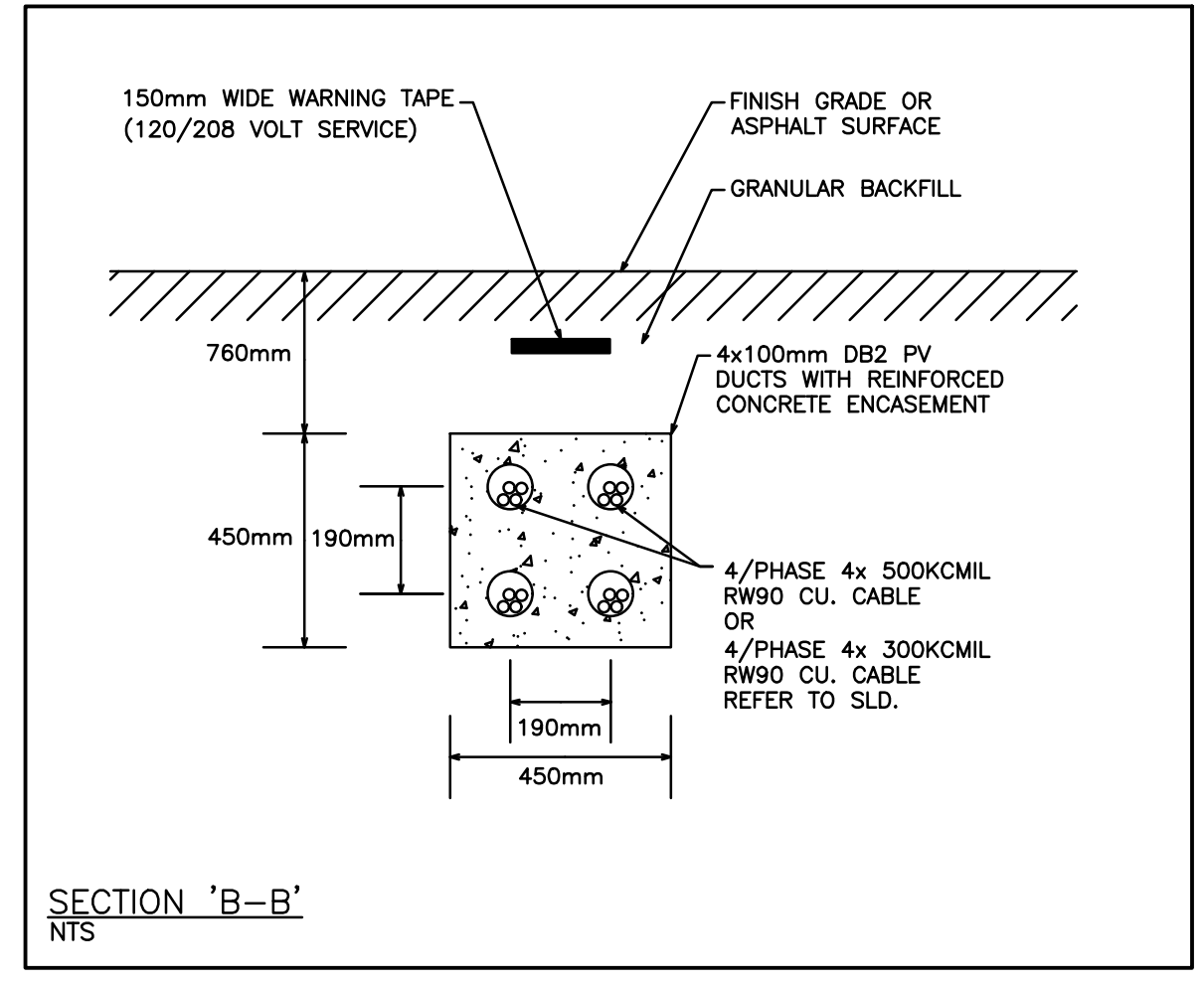
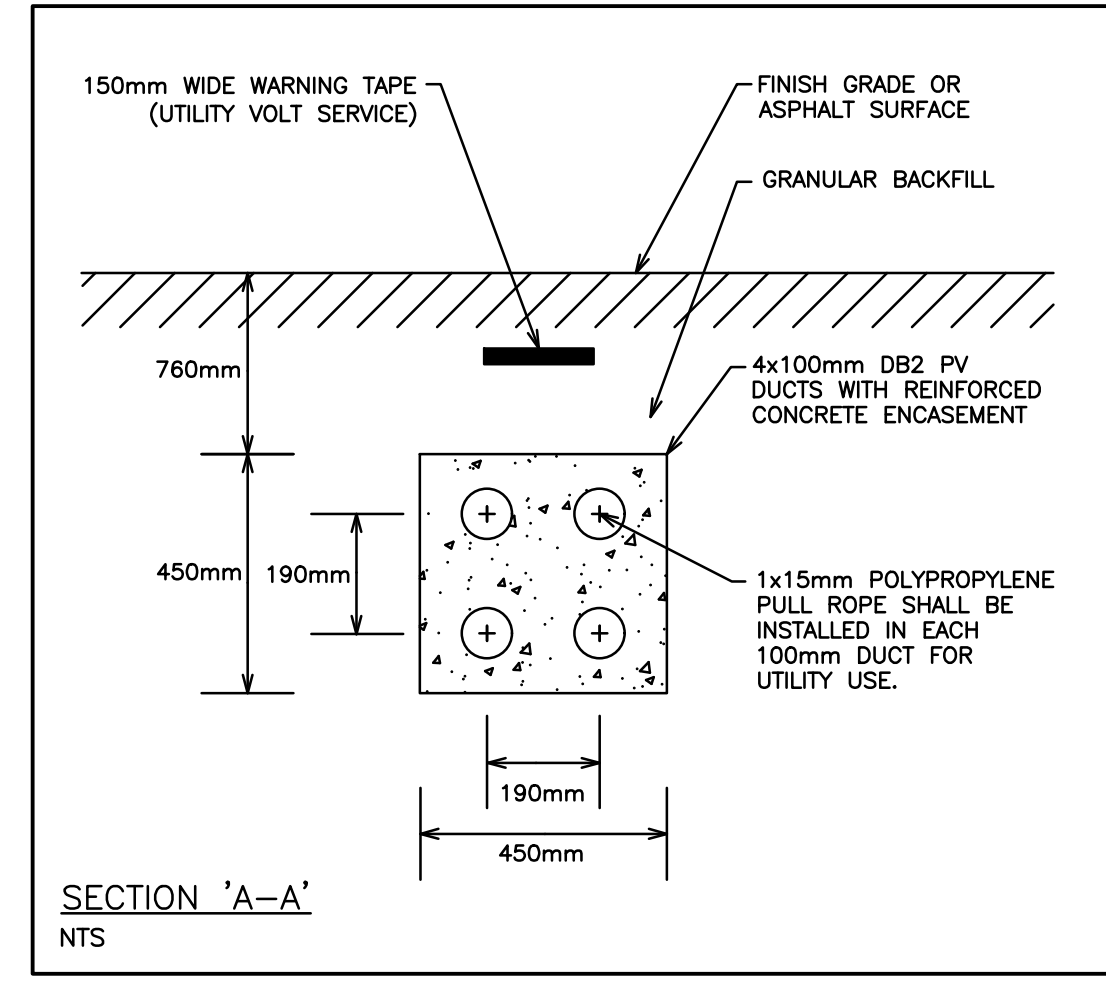
ESTIMATED SERVICE DEMAND	
TYPICAL 2-BEDROOM TENANT SUITES	
FIRST 45m ²	3,500W
SECOND 45m ²	1,500W
ELECTRIC RANGE	6,000W
DISHWASHER	1,500W
ELECTRIC WATER HEATER (25x4,500W)	1,125W
ELECTRIC CLOTHES DRYER/WASHER	2,500W
AIR HANDLING UNIT	17,125W
UNIT ELECTRICAL DEMAND	14,625W
UNIT ELECTRICAL DEMAND LESS A/C	14,625W
SERVICE SIZE 17,125W = 48A (60A PANEL)	
208Vx3ϕ	
COMMERCIAL SPACE 101	
ELECTRICAL DEMAND (493m ² x25W/m ²)	12,325W
MISCELLANEOUS	40,000W
TOTAL ESTIMATED DEMAND	52,325W
SERVICE SIZE 52,325W = 146A (200A PANEL)	
208Vx3ϕ	
AMMENITY SPACE 108	
ELECTRICAL DEMAND (128m ² x25W/m ²)	3,200W
MISCELLANEOUS	20,000W
TOTAL ESTIMATED DEMAND	23,200W
SERVICE SIZE 23,200W = 65A (100A PANEL)	
208Vx3ϕ	
AMMENITY SPACE 109	
ELECTRICAL DEMAND (109m ² x25W/m ²)	2,725W
MISCELLANEOUS	20,000W
TOTAL ESTIMATED DEMAND	22,725W
SERVICE SIZE 22,725W = 64A (100A PANEL)	
208Vx3ϕ	
ESTIMATED SUITES DEMAND	
1 SUITES (14,625Wx1.0x1)	14,625W
2 SUITES (14,625Wx0.65x2)	19,013W
2 SUITES (14,625Wx0.40x2)	11,700W
15 SUITES (14,625Wx0.25x15)	54,844W
30 SUITES (14,625Wx0.10x30)	43,875W
AIR HANDLING UNITS (2,500Wx50)	125,000W
SUITES TOTAL	269,056W
ESTIMATED BUILDING DEMAND	
ELEVATOR LOADS (72,000Wx0.75)	54,000W
GARBAGE TRISORTER (7,200Wx0.75)	5,400W
BUILDING MISCELLANEOUS (30,000W)	30,000W
TOTAL ESTIMATED DEMAND	456,706W
SERVICE SIZE = 1,268A @ 120/208V 3ϕ	
OR	
1,600A @ 80% (FUSED MAIN)	

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FAULT CURRENT CALCULATION (BUILDING#1):
 ASSUMING A SYSTEM X/R RATIO OF 3.8 ON THE 13.8KV LINE AND A 750KVA UTILITY TRANSFORMER (X% = 5.8), A 3-PHASE FAULT ON THE MAIN SWITCHBOARD AS PER ANSI C-37, IS ESTIMATED TO BE 27.1KA. THE MAIN DISCONNECT SHALL BE SIZED ACCORDINGLY. THE 1600A MAIN BREAKER SHALL BE BRACED FOR NO LESS THAN 61.2KA.

TELECOMMUNICATIONS SERVICE NOTES:

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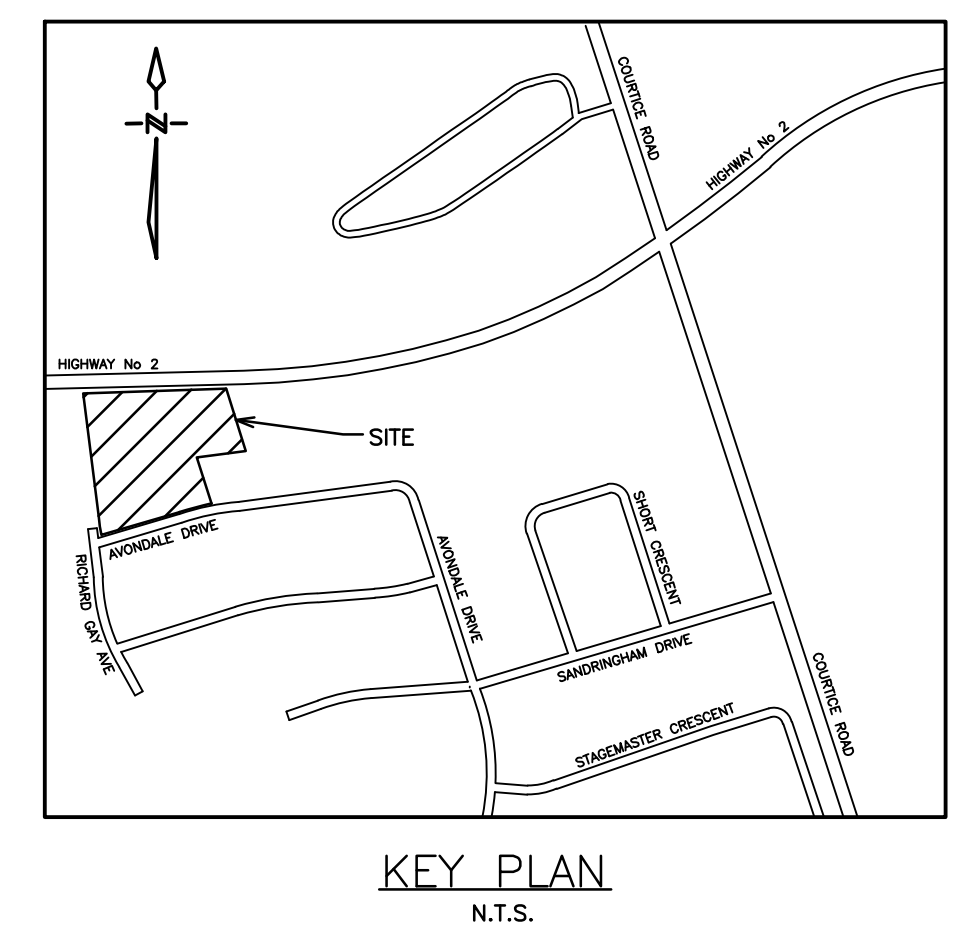
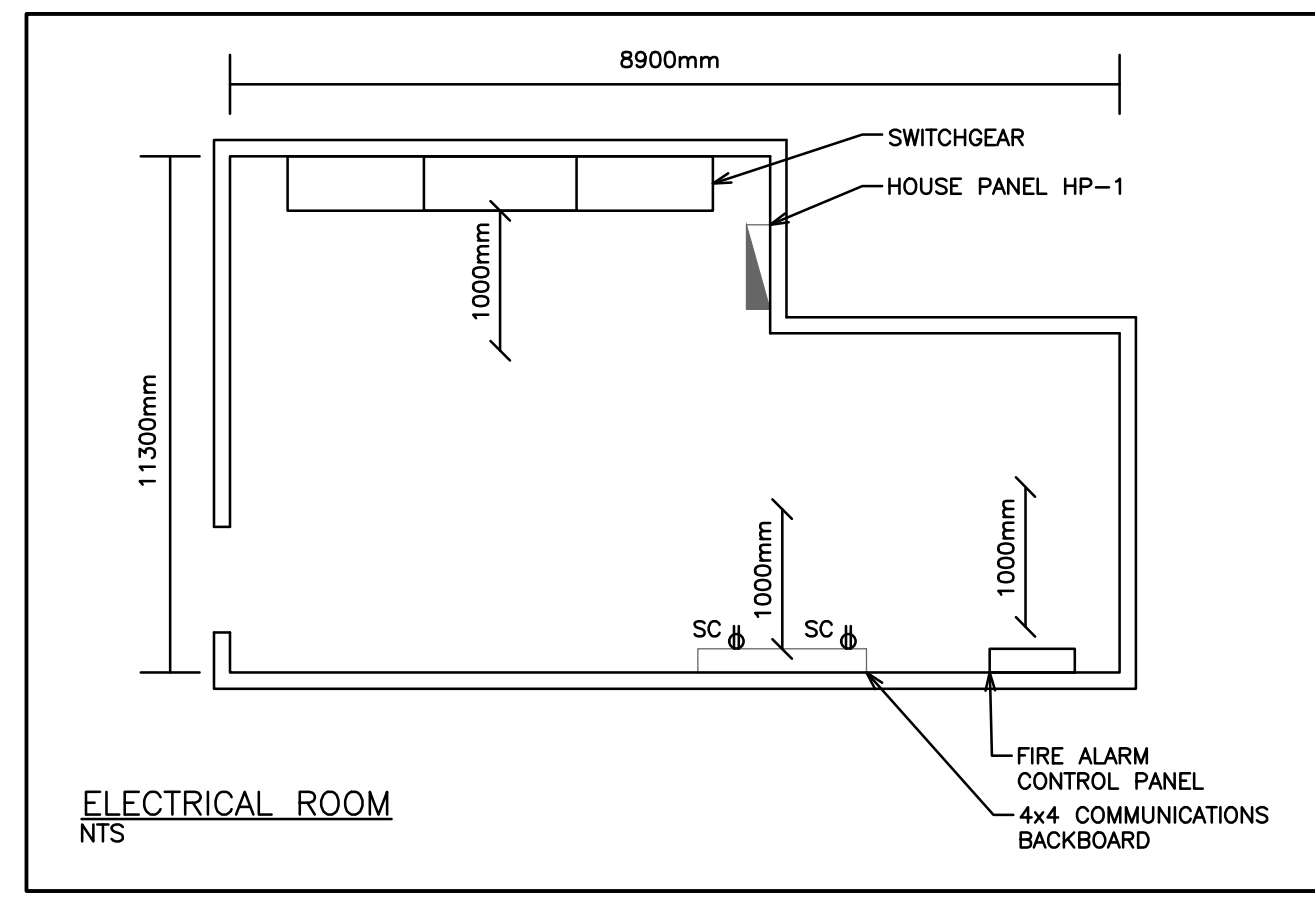
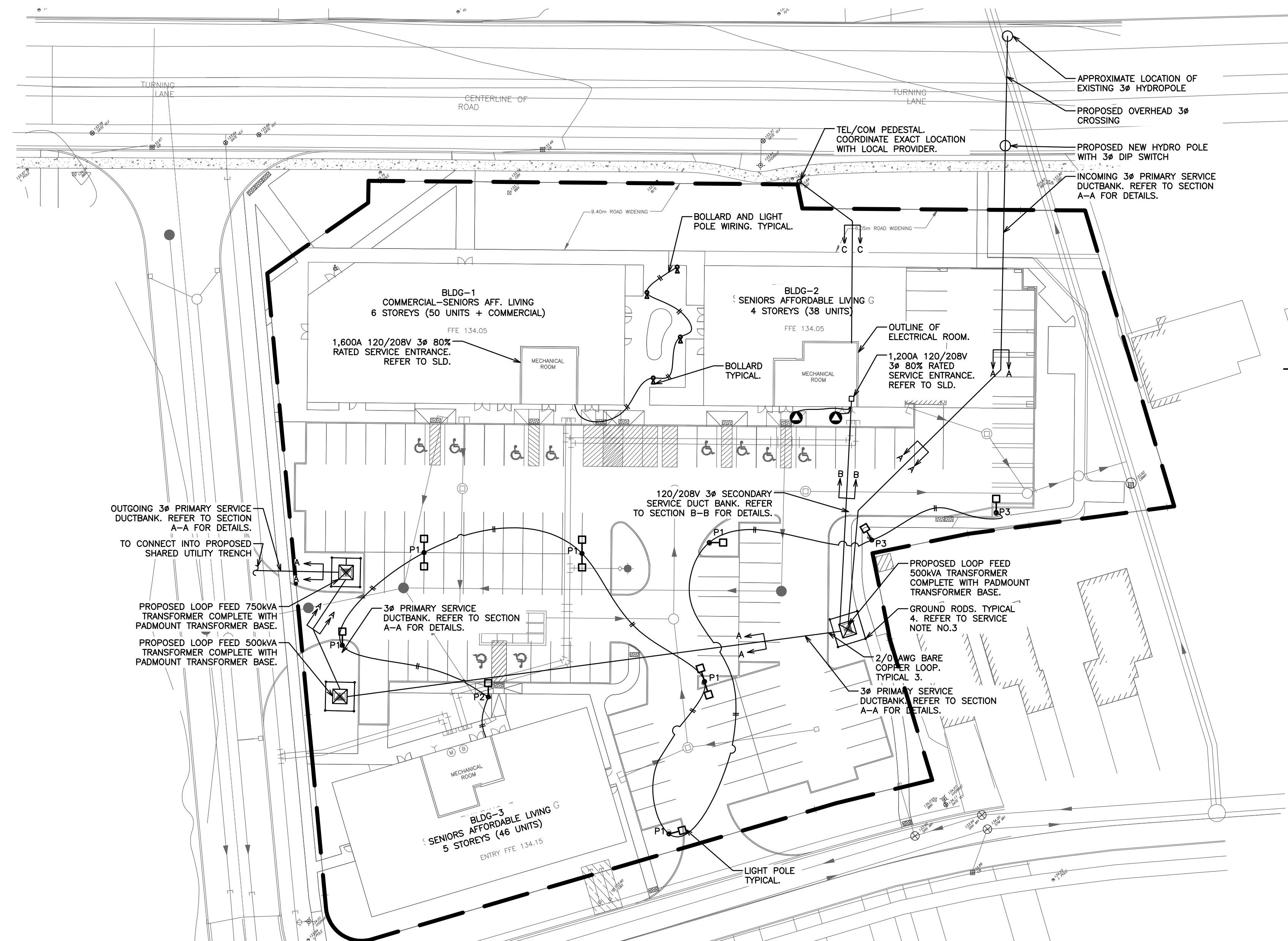
SITE SERVICING - BLD 1
SITE ELECTRICAL

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 consulting engineers and planners

96 KING STREET EAST • OSHAWA, ON L1H 1B6
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SCALE: 1:400
 DRAWN BY: A.L.
 DESIGN BY: A.L.
 CHECKED BY: G.V.W.O
 DATE: OCTOBER 2023

PROJECT NO. 122065
 DRAWING NO. SE-2
 CAD FILE: 122065 SE
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SERVICE SIZE CALCULATIONS:
BUILDING 2 - SENIORS AFF. LIVING

ESTIMATED SERVICE DEMAND	
TYPICAL 2-BEDROOM TENANT SUITES	
FIRST 45m ²	3,500W
SECOND 45m ²	1,500W
ELECTRIC RANGE	6,000W
DISHWASHER	1,500W
ELECTRIC WATER HEATER (25% x 4,500W)	1,125W
ELECTRIC CLOTHES DRYER/WASHER	1,000W
AIR HANDLING UNIT	2,500W
UNIT ELECTRICAL DEMAND	17,125W
UNIT ELECTRICAL DEMAND LESS A/C	14,625W
SERVICE SIZE 17,125W = 48A (60A PANEL) 208Vx3Ø	

AMMENITY SPACE	
ELECTRICAL DEMAND (30m ² x25W/m ²)	750W
MISCELLANEOUS	15,000W
TOTAL ESTIMATED DEMAND	15,750W
SERVICE SIZE 15,750W = 44A (60A PANEL) 208Vx3Ø	

ESTIMATED SUITES DEMAND	
1 SUITES (13,625w x 1.0x1)	13,625W
2 SUITES (13,625w x 0.65x2)	17,713W
2 SUITES (13,625w x 0.40x2)	10,900W
15 SUITES (13,625w x 0.25x15)	51,094W
18 SUITES (13,625w x 0.10x18)	24,525W
AIR HANDLING UNITS (2,500w x 38)	95,000W
SUITES TOTAL	212,856W

ESTIMATED BUILDING DEMAND	
LAUNDRY ROOM	15,000W
ELEVATOR LOADS (72,000w x 0.75)	54,000W
GARBAGE TRISSORTER (7,200w x 0.75)	5,400W
BUILDING MISCELLANEOUS (20,000W)	36,000W
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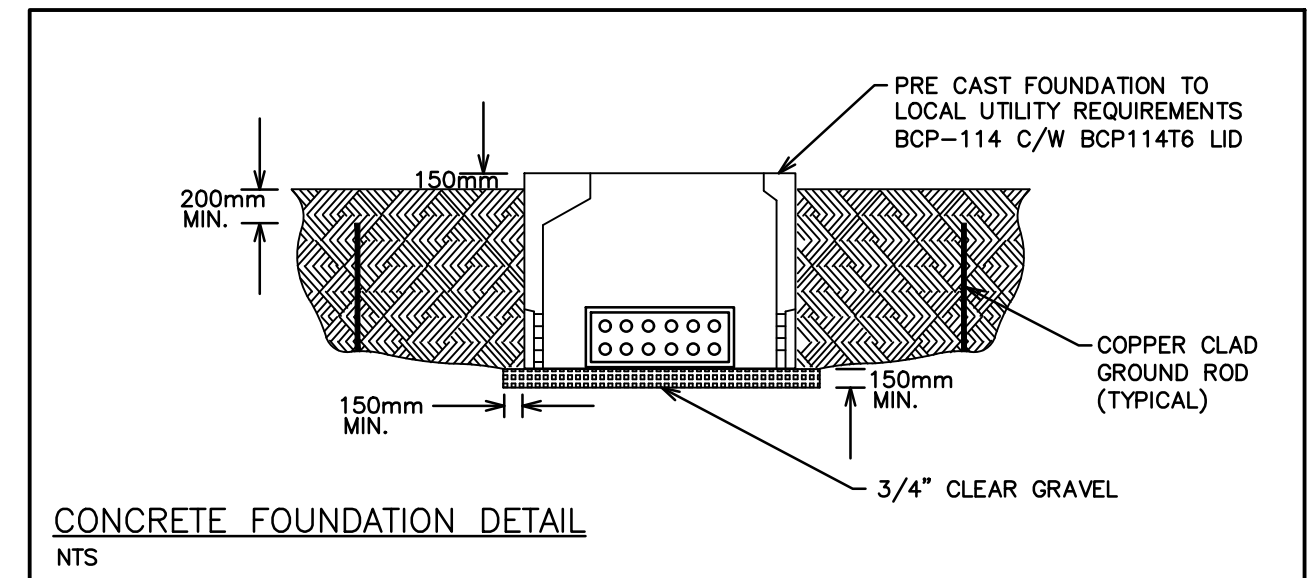
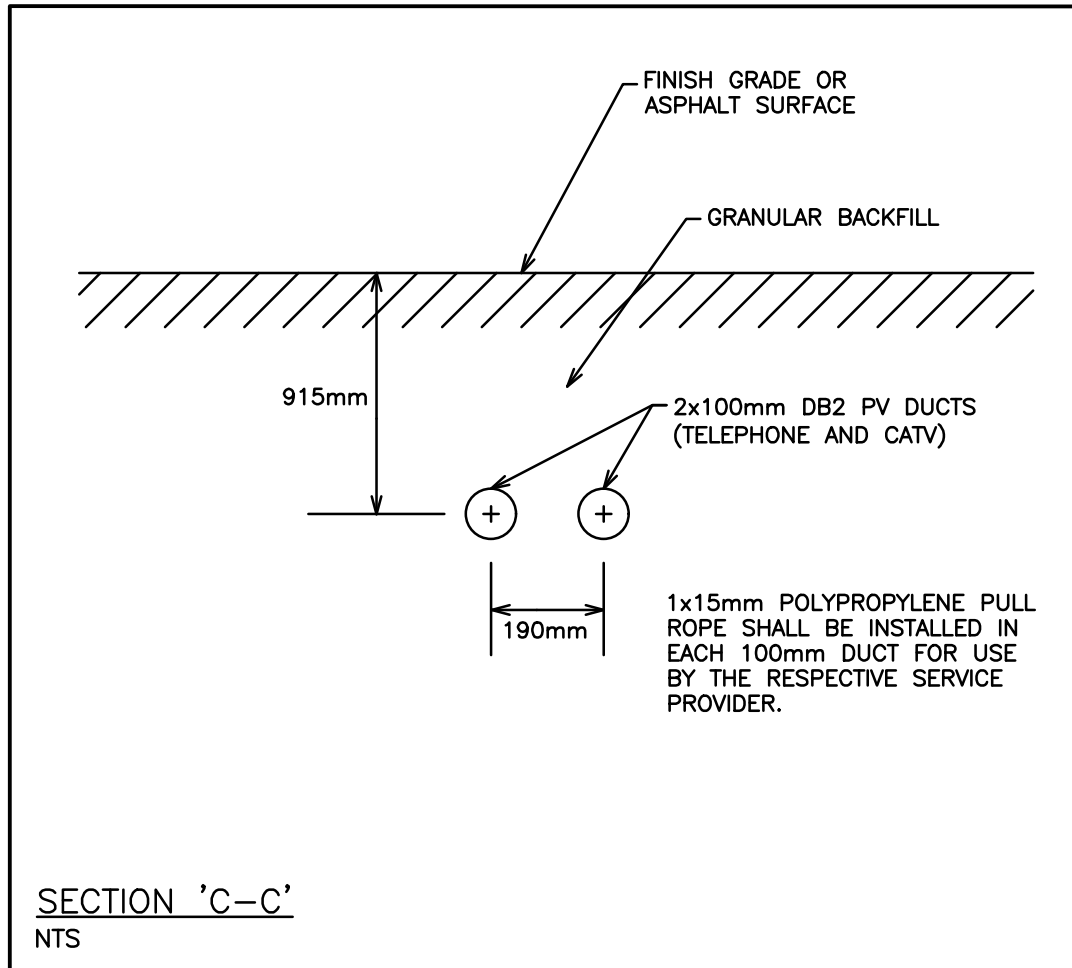
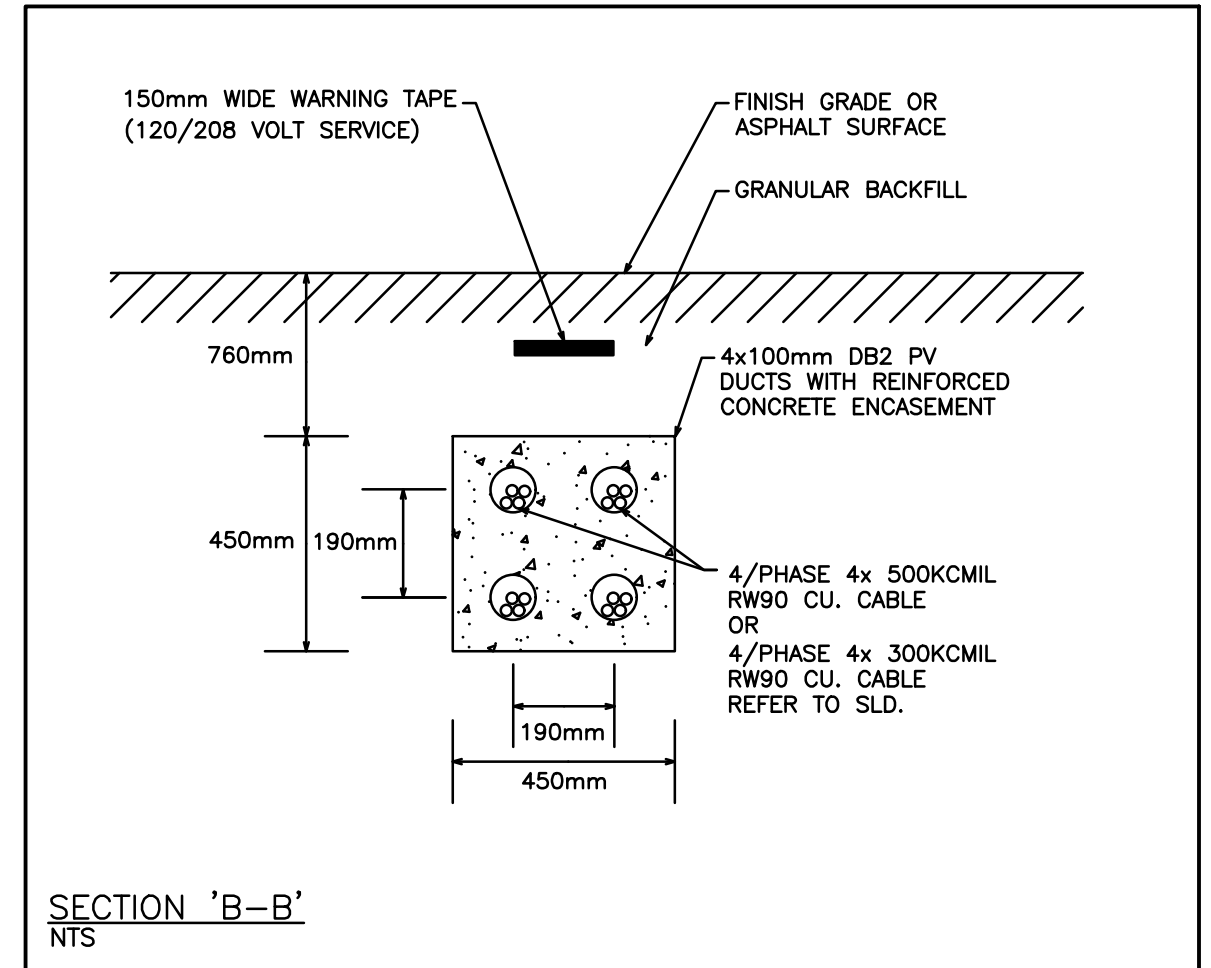
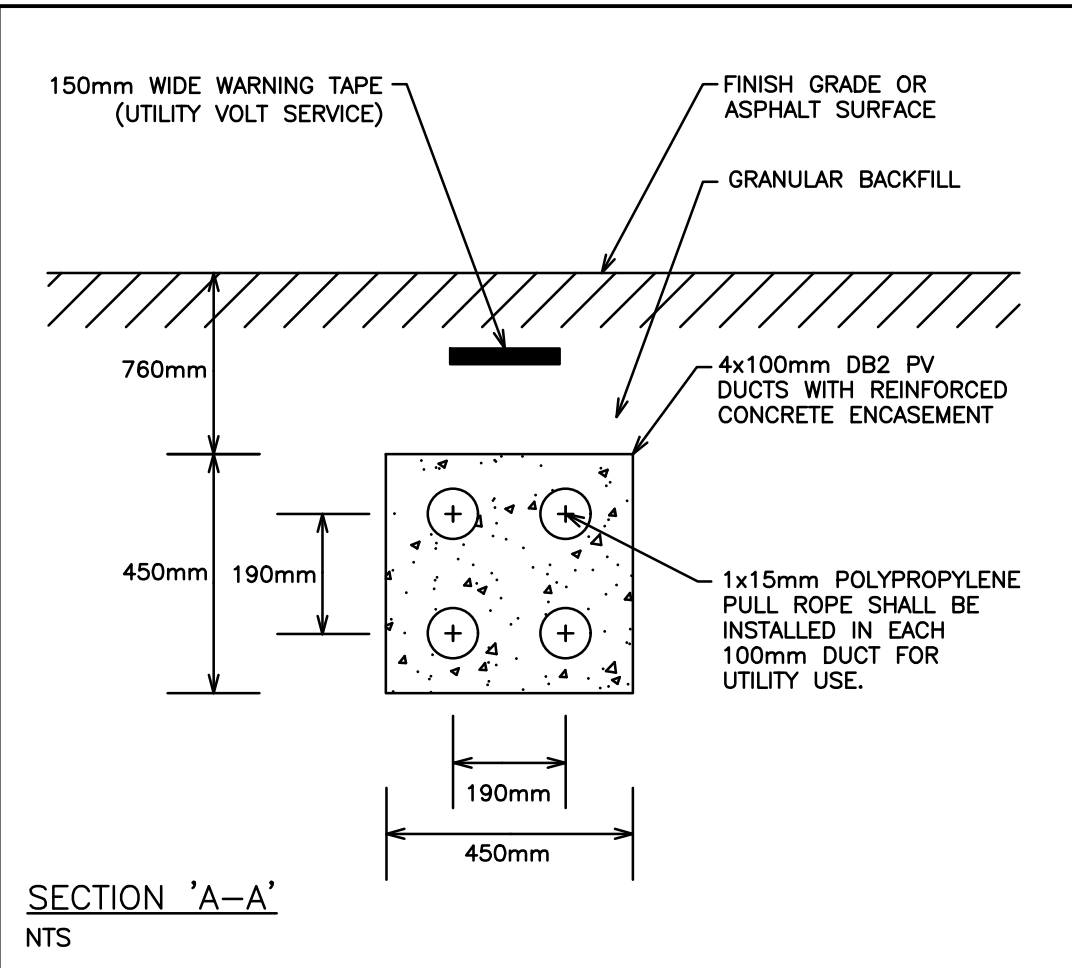
SCALE: 1:400 PROJECT NO. 122065
DRAWN BY: A.L. DRAWING NO. SE-3
DESIGN BY: A.L.
CHECKED BY: G.V.W.O. CAD FILE: 122065 SE
DATE: OCTOBER 2023 PLOT DATE: 11/01/2023 SUBMISSION: SPA

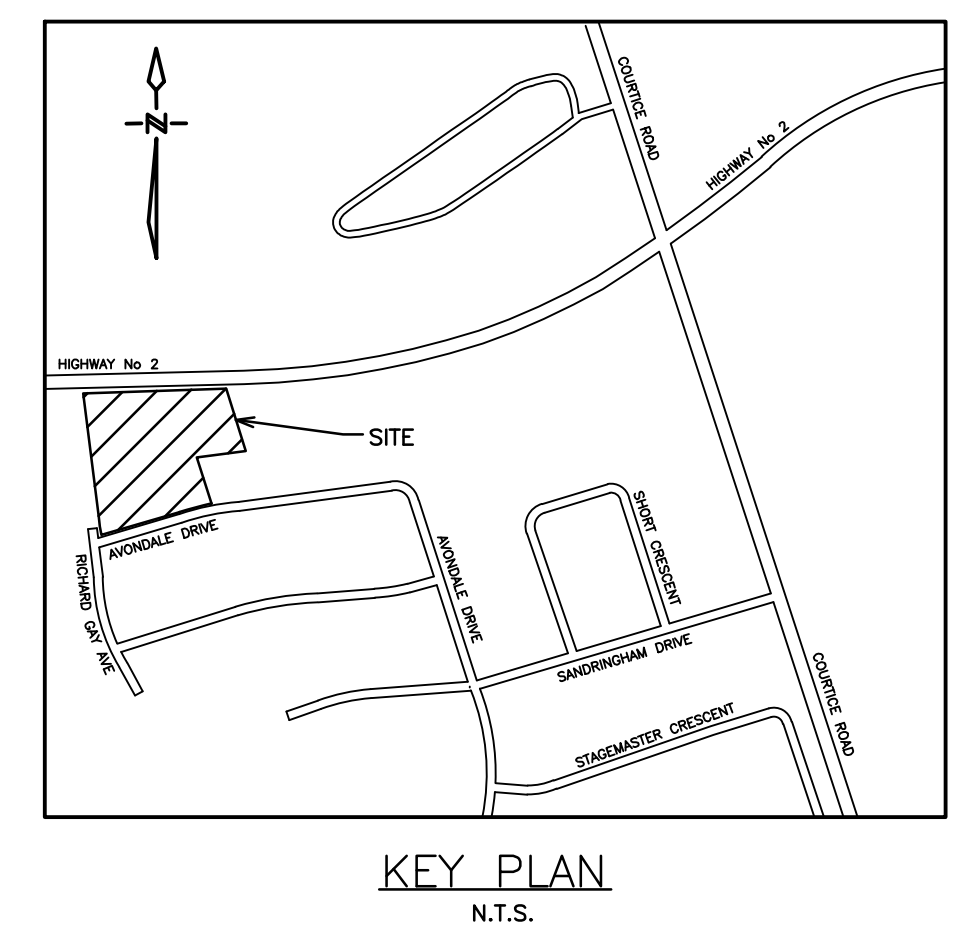
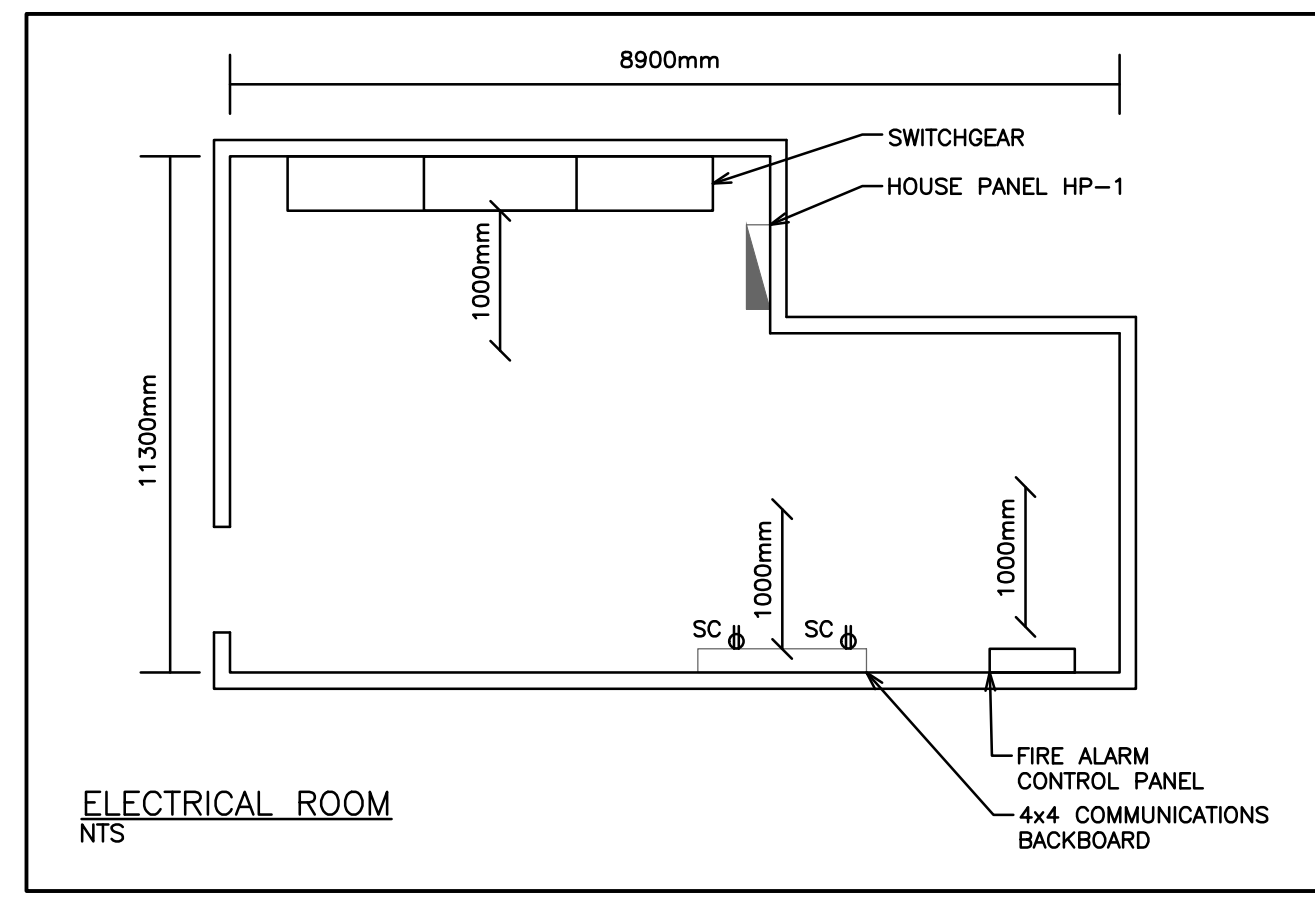
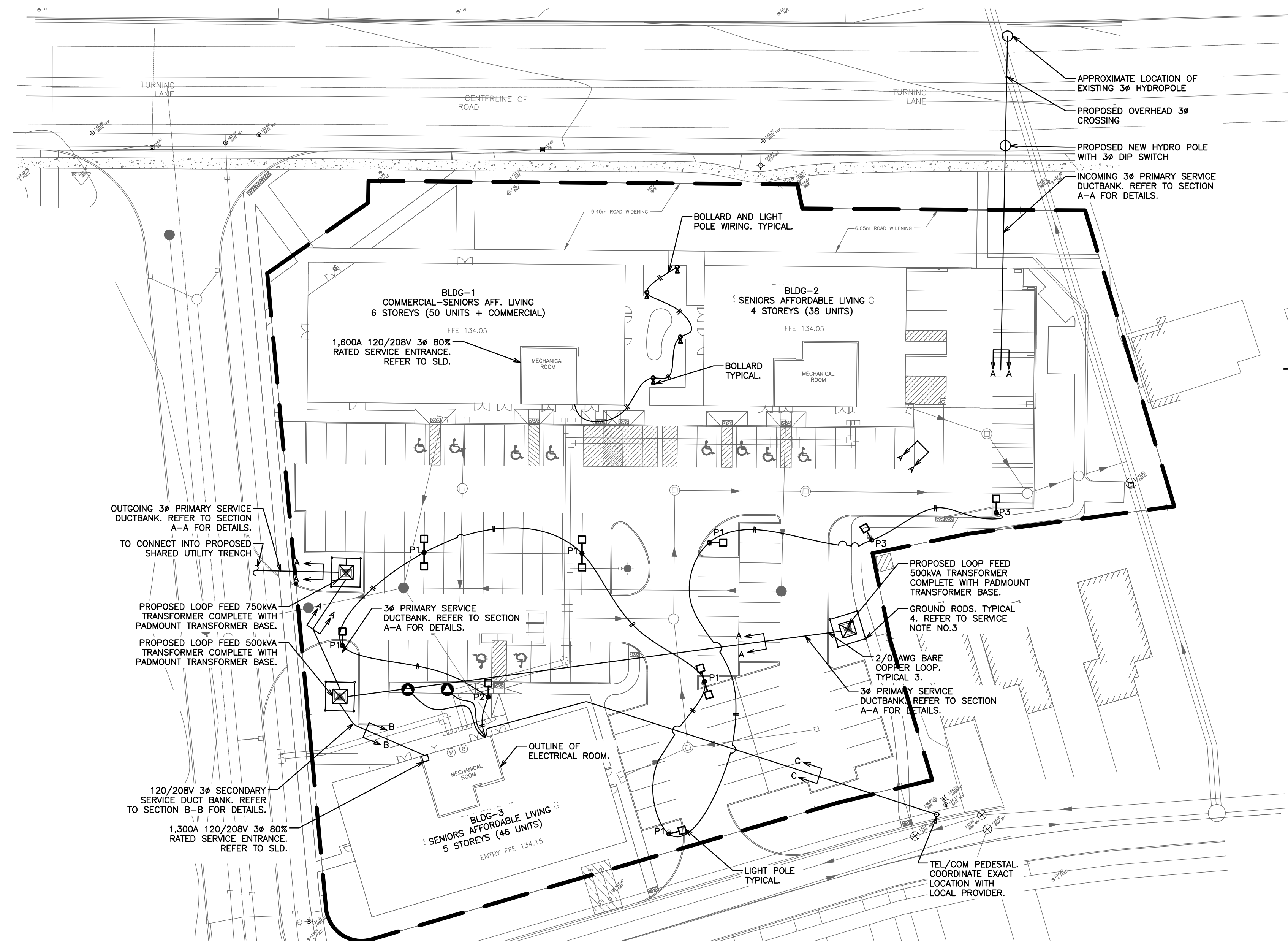
NOT FOR CONSTRUCTION. REFER TO OFFER TO CONNECT BY HYDRO ONE DISTRIBUTION INC. FOR ALL DETAILS AND NOTES ASSOCIATED WITH THIS INSTALLATION.

FAULT CURRENT CALCULATION:
ASSUMING A SYSTEM X/R RATIO OF 3.8 ON THE 13.8KV LINE AND A 500KVA UTILITY TRANSFORMER (%Z = 3.8), A 3-PHASE FAULT ON THE MAIN SWITCHBOARD AS PER ANSI C-37, IS ESTIMATED TO BE 31.6KA. THE MAIN DISCONNECT SHALL BE SIZED ACCORDINGLY. THE 1200A MAIN BREAKER SHALL BE BRACED FOR NO LESS THAN 63.3KA.

TELECOMMUNICATIONS SERVICE NOTES:

- A MINIMUM SEPERATION FROM POWER CONDUITS OF NOT LESS THAN 100mm OF CONCRETE (2500 P-S-I) OR 300mm OF WELL TAPPED EARTH IS REQUIRED.
- PULL ROPE MUST BE PROVIDED FOR ALL CONDUIT RUNS AND THE ENDS OF CONDUITS MUST BE CLEARLY MARKED (STAKED) AT THE PROPERTY LINE.





GENERAL REQUIREMENTS FOR SITE ELECTRICAL WORK

- ALL EQUIPMENT MUST BE APPROVED BY AN ACCREDITED APPROVAL AGENCY, OR ACCEPTED THROUGH FIELD EVALUATION OR BY AN INSPECTOR UNDER THE PROVISION OF RULE 2-024 OF THE CURRENT ONTARIO ELECTRICAL SAFETY CODE.
- AT EACH DISTRIBUTION POINT, CIRCUIT BREAKERS, FUSES AND SWITCHES SHALL BE MARKED, ADJACENT THERETO, IN A CONSPICUOUS AND LEGIBLE MANNER TO INDICATE CLEARLY WHICH INSTALLATION OR PORTION OF INSTALLATION THEY PROTECT OR CONTROL AND THE MAXIMUM RATING OF OVERCURRENT DEVICE THAT IS PERMITTED. RULE 2-100(3).
- RACEWAYS ENTERING A BUILDING AND FORMING PART OF AN UNDERGROUND SERVICE SHALL BE SEALED AND SHALL:
 - ENTER THE BUILDING ABOVE GROUND WHERE PRACTICABLE; OR
 - BE SUITABLY DRAINED; OR
 - BE INSTALLED IN SUCH A WAY THAT MOISTURE AND GAS WILL NOT ENTER THE BUILDING. RULE 6-300(6).
- WHERE WARNING TAPE IS USED TO COMPLY WITH RULE 12-012(11) AS SHOWN ON DRAWING SE-1, THE TAPE MUST BE BURIED APPROXIMATELY HALFWAY BETWEEN THE INSTALLATION AND GRADE LEVEL, COVERING THE WIDTH OF THE RACEWAYS OR CABLES INSTALLED.
- A MINIMUM WORKING SPACE OF 1m WITH SECURE FOOTING SHALL BE PROVIDED AND MAINTAINED ABOUT ELECTRICAL EQUIPMENT SUCH AS SWITCHBOARDS, PANELBOARDS, CONTROL PANELS, AND MOTOR CONTROL CENTRES WHICH ARE ENCLOSED IN METAL. RULE 2-308.
- ALL OVERCURRENT PROTECTION SHALL BE CAPABLE OF INTERRUPTING THE AVAILABLE FAULT CURRENT. RULE 14-012.
- EVERY PANELBOARD SHALL BE PROTECTED ON THE SUPPLY SIDE BY OVERCURRENT DEVICES HAVING A RATING NOT GREATER THAN THAT OF PANELBOARD. RULE 14-606(1).
- THE RATING OR SETTING OF OVERCURRENT DEVICES SHALL NOT EXCEED THE ALLOWABLE CAPACITY OF THE CONDUCTORS THAT THEY PROTECT. RULE 14-104.
- RULE 14-102 REQUIRES GROUND FAULT PROTECTION ON GROUNDED CIRCUITS MORE THAN 150 VOLTS TO GROUND AND 1000 AMPERES OR MORE. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR AND SWITCHGEAR MANUFACTURER TO CO-ORDINATE THE GROUND FAULT SENSING METHOD WITH EACH PARTICULAR GROUNDING ARRANGEMENT.

- NOTES:**
- TENDERING OF THESE DOCUMENTS IS DONE UNDER THE MUTUAL UNDERSTANDING THAT ALL CONTRACTORS ARE EXPERIENCED AND LICENSED IN THE WORKS BEING PROVIDED AND THAT ALL COMPONENTS OF A FULLY FUNCTIONING SYSTEM WILL BE INCLUDED WHETHER SHOWN OR NOT SHOWN BUT IMPLIED FOR A COMPLETE SYSTEM.
 - ALL DETAILS SHOWN ARE SCHEMATIC BY NATURE AND ARE TO BE USED FOR SCOPE OF WORK PURPOSES ONLY. COORDINATE WITH ALL TRADES AND MANUFACTURERS BEST PRACTICES AND DIRECTIONS.
 - CONTRACTOR TO COORDINATE EXACT LENGTH OF SECONDARY RUNS ON SITE AND PROVIDE CONDUCTORS TO SUIT. CONTRACTOR TO PROVIDE CONDUCTOR SIZES C/W LENGTH OF RUN TO ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
 - ELECTRICAL SCOPE OF WORK: THE CONTRACTOR IS ASSUMED TO BE OF MASTER ELECTRICIAN EXPERIENCE AND SHALL PROVIDE ANY APPLICABLE SINGLE LINE DIAGRAMS, PANEL SCHEDULES AND CIRCUIT PLAN DESIGNS REQUIRED TO PROVIDE A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM. THIS PRICE SHALL BE INCLUDED IN THE CONTRACTORS BASE BID PRICE. NO CLAIM FOR EXTRA PAYMENT WILL BE ALLOWED FOR FAILURE TO INCLUDE THIS COST INTO THE BASE BID. BIDDERS SHALL ACCEPT SOLE RESPONSIBILITY FOR ANY ERROR OR NEGLECT IN PRICING THE ABOVE ITEMS IN THERE BID.
 - COORDINATE ALL INCOMING SERVICES WITH LIGHTING POLES, CONDUITS, GAS AND SITE SERVICES AS PER RELATED CIVIL DRAWINGS TO BE ACQUIRED BY CONTRACTOR.
 - REFER TO DRAWING SSI-1 FOR SITE LIGHTING SCHEDULE AND DETAILS. COORDINATE ALL INCOMING SERVICES WITH LIGHTING POLES, CONDUITS, GAS AND SITE SERVICES AS PER RELATED CIVIL DRAWINGS TO BE ACQUIRED BY CONTRACTOR.
 - CONFIRM THE FOLLOWING INSTRUCTIONS WITH LOCAL AUTHORITY PRIOR TO COMMENCEMENT OF WORK.
 - THE ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL A PRECAST CONCRETE FOUNDATION, BASE AND LID EQUAL TO BROOKLIN CONCRETE PRODUCTS CAT.NOS. BCP-114, BCP-114B AND BCP-114T6. THE BASE SHALL BE INSTALLED ON A 150mm BED OF 19mm CLEAR GRAVEL SET ON LEVEL UNDISTURBED OR COMPACTED EARTH. THE GRAVEL BED SHALL EXTEND 150mm BEYOND THE EDGES OF THE PRECAST CONCRETE BASE. THE SURFACE AREA AROUND THE TOP OF THE PRECAST CONCRETE FOUNDATION SHALL BE RESTORED TO THE ORIGINAL SITE CONDITION.
 - A CONTINUOUS LENGTH OF 2/0 AWG STRANDED COPPER GROUND WIRE SHALL BE INSTALLED A MINIMUM OF 400mm BELOW GRADE AROUND THE PRECAST CONCRETE FOUNDATION AND CONNECT TO FOUR (4) 19mm X 300mm GALVANIZED STEEL GROUND RODS BY FIVE (5) BURNDY CAT. NO. GRC3426 GROUND ROD CONNECTORS. TWO (2) 10'-0" COILS OF 2/0 AWG GROUND WIRE SHALL BE LEFT ABOVE THE PRECAST CONCRETE LID FOR CONNECTION TO THE PADMOUNT TRANSFORMER.
 - ELECTRICAL CONTRACTOR TO PROVIDE ALL GROUNDINGS, CABLE LUGS, ETC. TRANSFORMER AND FINAL CONNECTIONS BY LOCAL UTILITY.

SERVICE SIZE CALCULATIONS:
BUILDING 3 - SENIORS AFF. LIVING

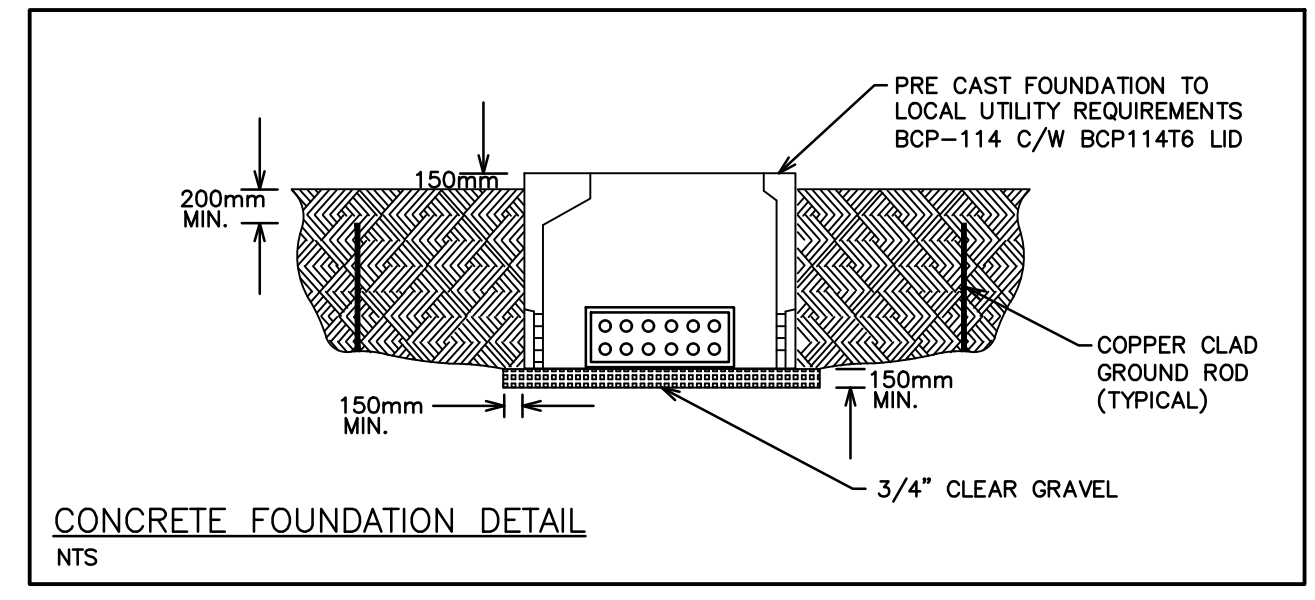
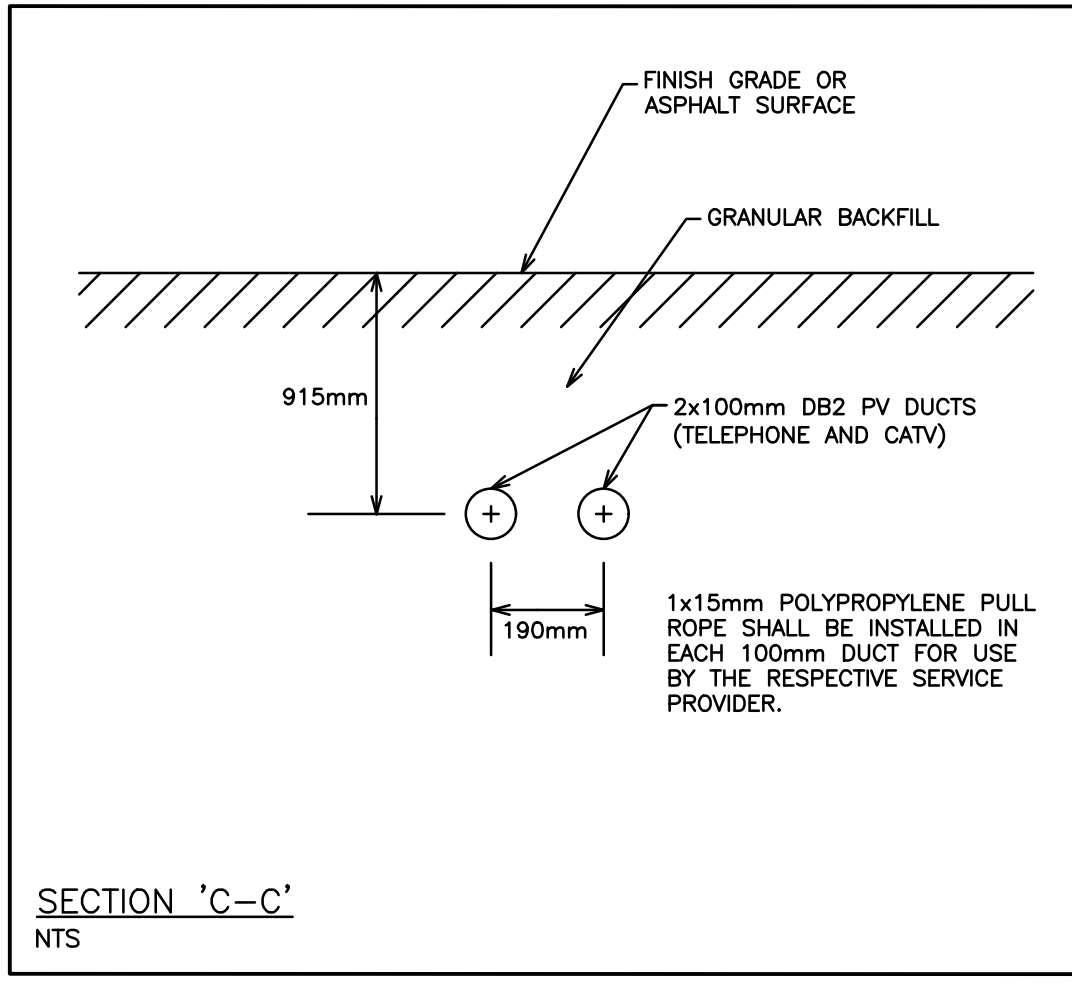
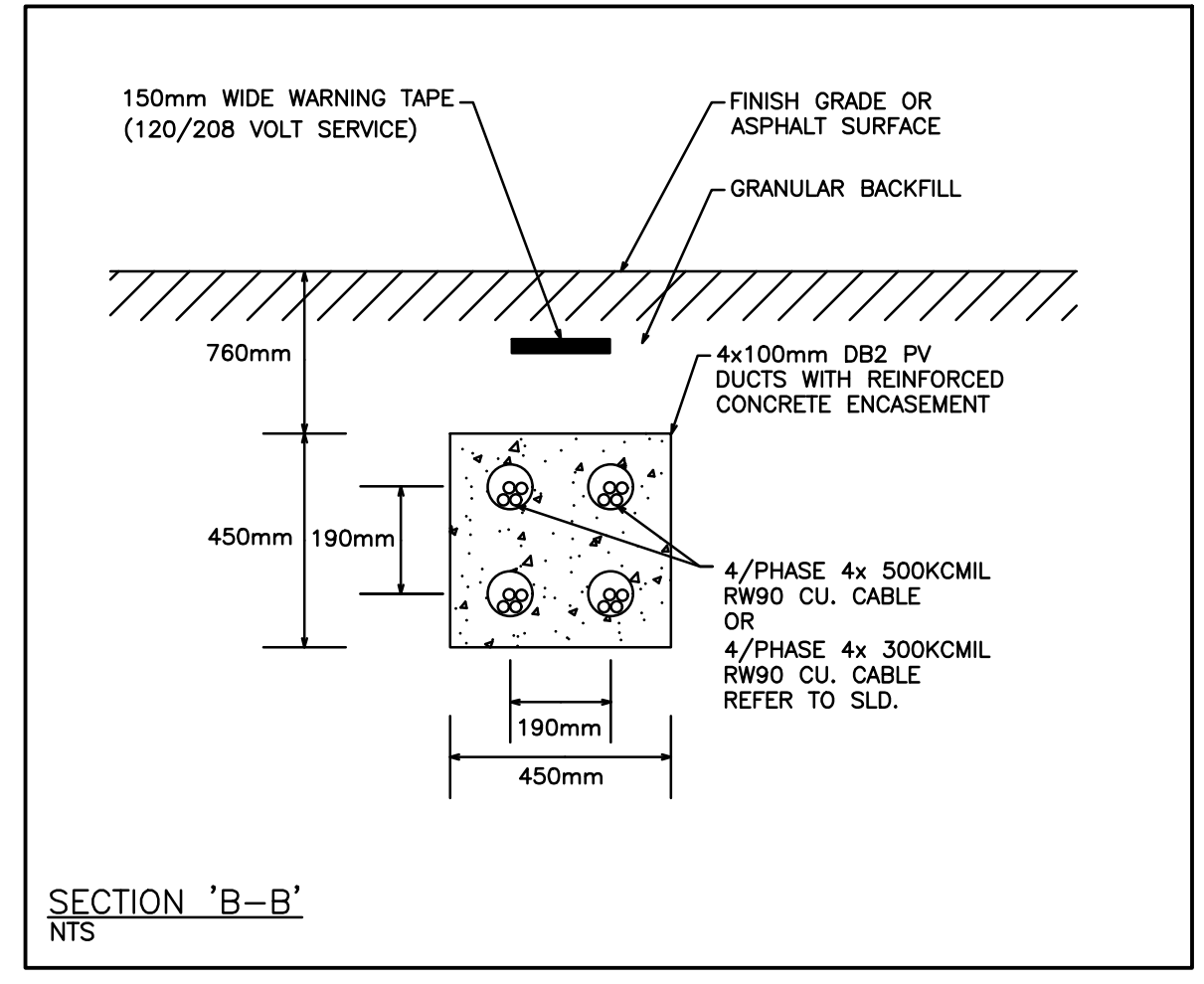
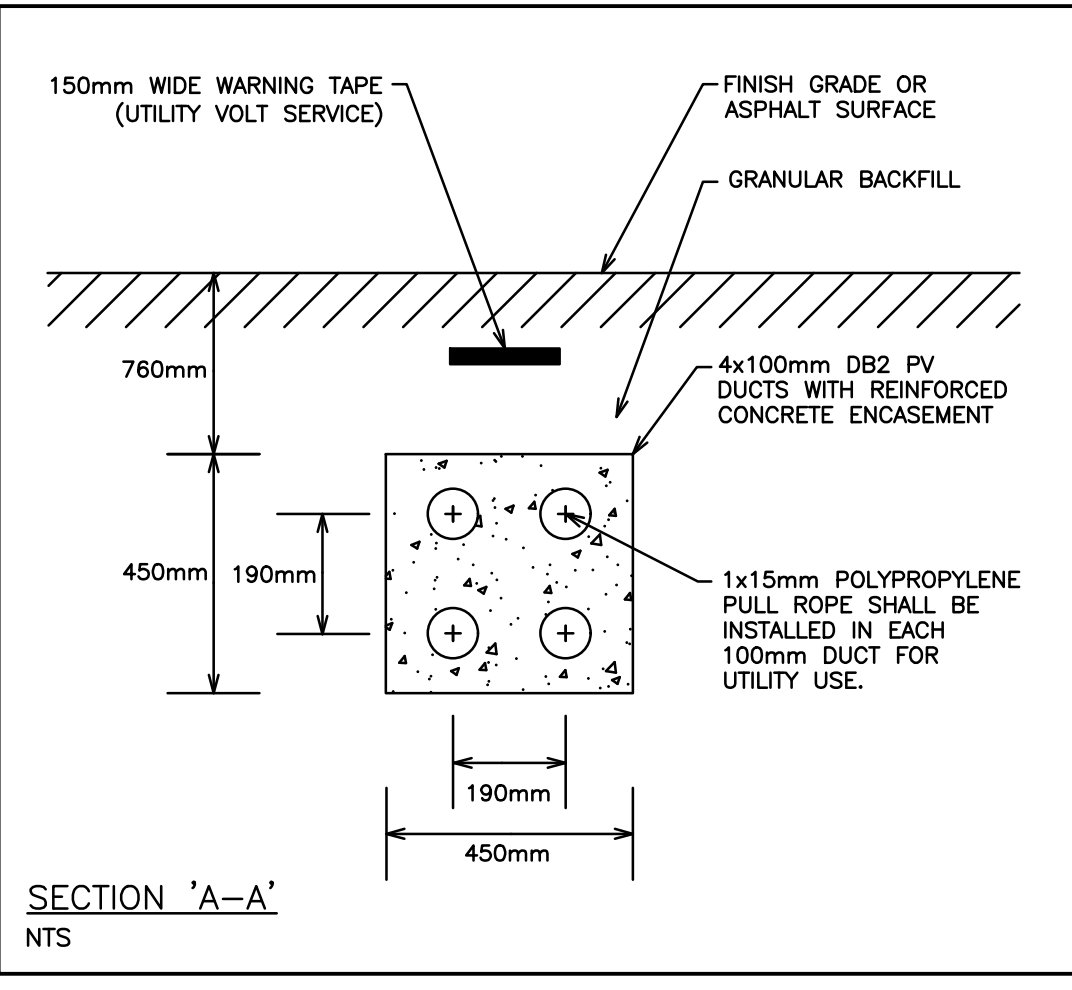
ESTIMATED SERVICE DEMAND		TYPICAL 2-BEDROOM TENANT SUITES	
FIRST 45m ²	3,500W	1 SUITES (13,625x1.0x1)	13,625W
SECOND 45m ²	1,500W	2 SUITES (13,625x0.65x2)	17,13W
ELECTRIC RANGE	6,000W	2 SUITES (13,625x0.40x2)	10,900W
DISHWASHER	1,500W	15 SUITES (13,625x0.25x15)	51,094W
ELECTRIC WATER HEATER (25%x4.500W)	1,125W	26 SUITES (13,625x0.10x26)	35,425W
ELECTRIC CLOTHES DRYER/WASHER	1,000W	AIR HANDLING UNITS (2,500Wx46)	115,000W
AIR HANDLING UNIT	2,500W	SUITES TOTAL	243,756W
UNIT ELECTRICAL DEMAND	16,125W		
UNIT ELECTRICAL DEMAND LESS A/C	13,625W		
SERVICE SIZE 17,125W = 45A (60A PANEL)			
208Vx3Ø			
AMMENITY SPACE			
ELECTRICAL DEMAND (30m ² x25W/m ²)	750W		
MISCELLANEOUS	15,000W		
TOTAL ESTIMATED DEMAND	15,750W		
SERVICE SIZE 15,750W = 44A (60A PANEL)			
208Vx3Ø			
ESTIMATED SUITES DEMAND			
1 SUITES (13,625x1.0x1)	13,625W		
2 SUITES (13,625x0.65x2)	17,13W		
2 SUITES (13,625x0.40x2)	10,900W		
15 SUITES (13,625x0.25x15)	51,094W		
26 SUITES (13,625x0.10x26)	35,425W		
AIR HANDLING UNITS (2,500Wx46)	115,000W		
SUITES TOTAL	243,756W		
ESTIMATED BUILDING DEMAND			
LAUNDRY ROOM	15,000W		
ELEVATOR LOADS (72,000Wx0.75)	54,000W		
GARBAGE TRISSORTER (7,200Wx0.75)	5,400W		
BUILDING MISCELLANEOUS (20,000W)	25,000W		
TOTAL ESTIMATED DEMAND	358,906W		
SERVICE SIZE = 1,011A @ 120/208V 3Ø			
OR			
1,300A @ 80% (FUSED MAIN AT 1,250A)			

NOT FOR CONSTRUCTION. REFER TO OFFER TO CONNECT BY HYDRO ONE DISTRIBUTION INC. FOR ALL DETAILS AND NOTES ASSOCIATED WITH THIS INSTALLATION.

FAULT CURRENT CALCULATION:
ASSUMING A SYSTEM X/R RATIO OF 3.8 ON THE 13.8KV LINE AND A 500KVA UTILITY TRANSFORMER (X_Z = 3.8), A 3-PHASE FAULT ON THE MAIN SWITCHBOARD AS PER ANSI C-37, IS ESTIMATED TO BE 34.2KA. THE MAIN DISCONNECT SHALL BE SIZED ACCORDINGLY. THE 1250A MAIN BREAKER SHALL BE BRACED FOR NO LESS THAN 63.3KA.

TELECOMMUNICATIONS SERVICE NOTES:

- A MINIMUM SEPERATION FROM POWER CONDUITS OF NOT LESS THAN 100mm OF CONCRETE (2500 P-S-I) OR 300mm OF WELL TAPPED EARTH IS REQUIRED.
- PULL ROPE MUST BE PROVIDED FOR ALL CONDUIT RUNS AND THE ENDS OF CONDUITS MUST BE CLEARLY MARKED (STAKED) AT THE PROPERTY LINE.



NO.	REVISION	DATE	BY	APPROVED
2.	RE-ISSUED FOR SPA	NOV 01	B.P.	G.V.W.O
1.	ISSUED FOR SPA	DEC 07	A.L.	G.V.W.O

1697 DURHAM REGIONAL HIGHWAY 2, COURTYARD
RICHARD H. GAY HOLDINGS

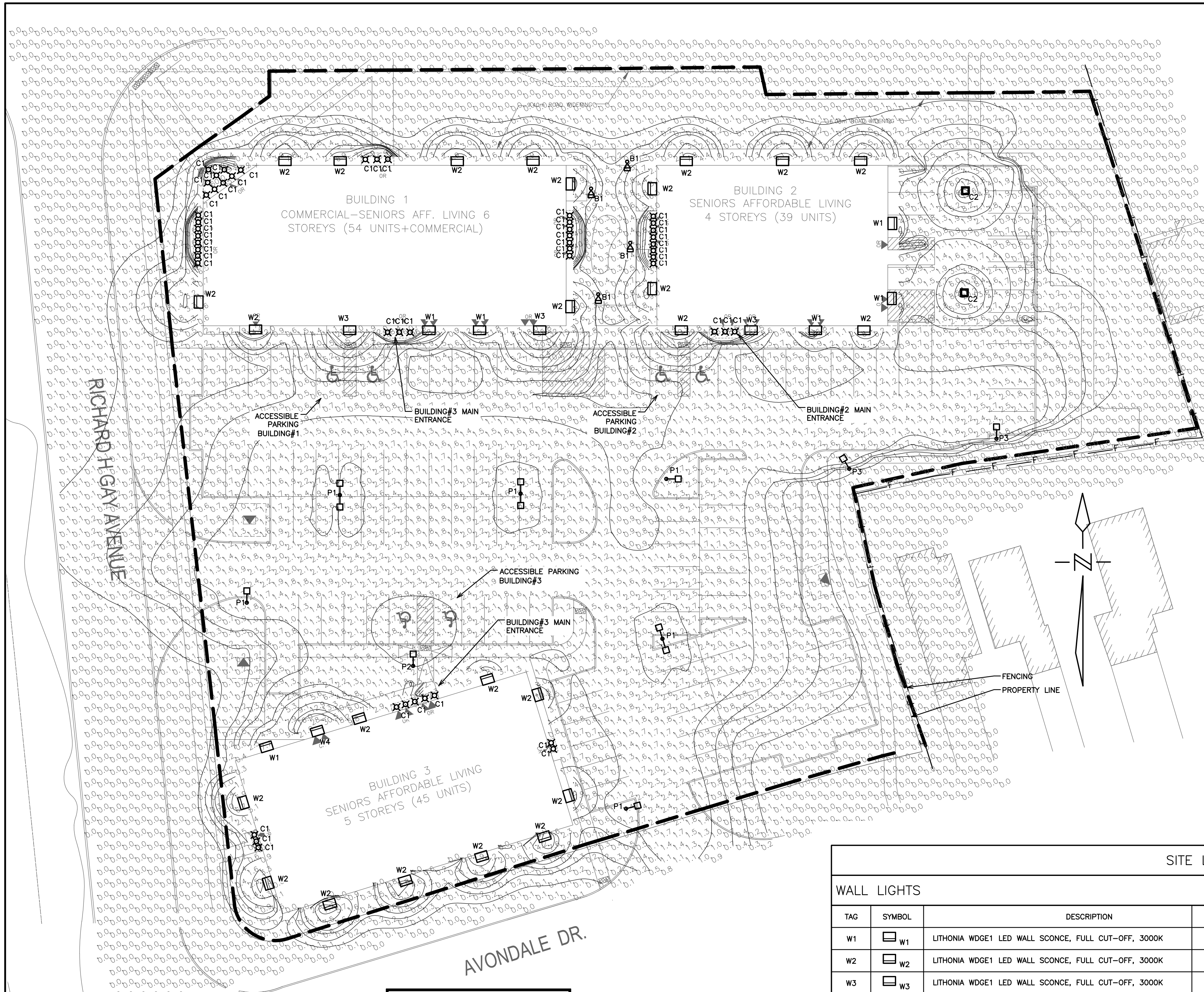
SITE SERVICING - BLD 3
SITE ELECTRICAL

D.G. Biddle & Associates Limited
consulting engineers and planners

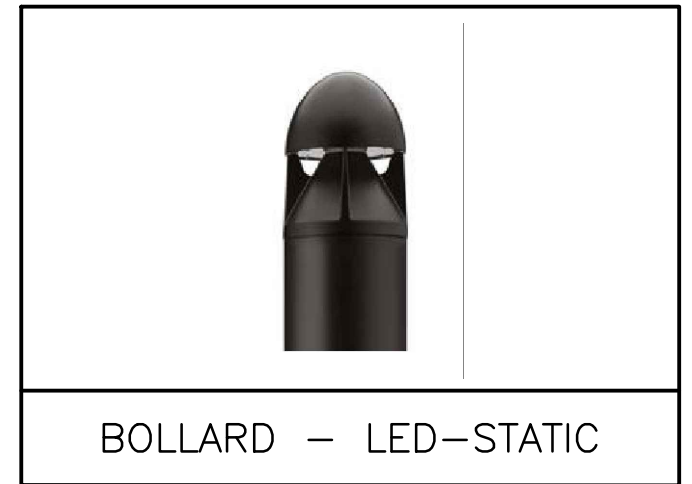
96 KING STREET EAST • OSHAWA, ON L1H 1B6
PHONE (905) 576-8500 • FAX (905) 576-9730
INFO@DGBIDDLE.COM

SCALE: 1:400
PROJECT NO. 122065
DRAWING NO. SE-4
DRAWN BY: A.L.
DESIGN BY: A.L.
CHECKED BY: G.V.W.O
DATE: OCTOBER 2023

CAD FILE: 122065 SE
PLOT DATE: 11/01/2023
SUBMISSION: SPA



PHOTOMETRIC VALUES
MODELED AT 1.5m ABOVE
FINISHED GRADE.

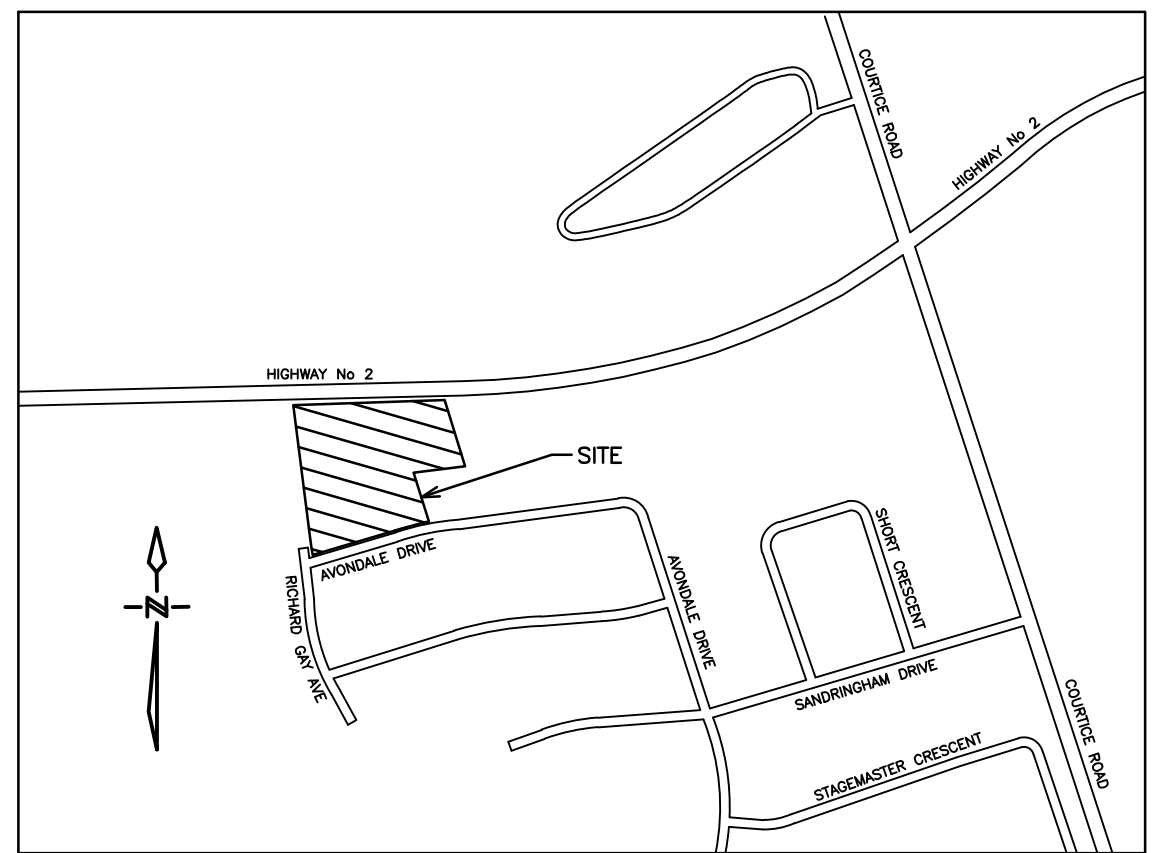
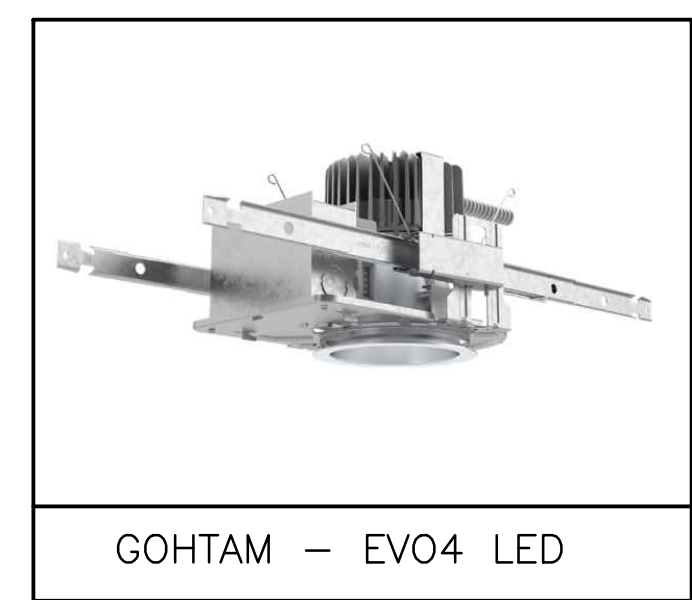


LEGEND

	CANOPY LIGHTS
	POLE LIGHTS
	GARAGE LIGHTS
	BOLLARD LIGHTS
	WALL LIGHTS
	PHOTOMETRIC VALUES (SHOWN IN FOOTCANDLES)
	ISOMETRIC LIGHT CURVES

POLE SCHEDULE

TAG	MANUFACTURER	DESCRIPTION	HEIGHT	MODEL NUMBER	NOTES
A	DYNAPOLE	4" STRAIGHT, SQUARE, STEEL POLE, BLACK	6 m	SS4-20	REFER TO LIGHT POLE BASE DETAIL



PRELIMINARY
NOT FOR CONSTRUCTION

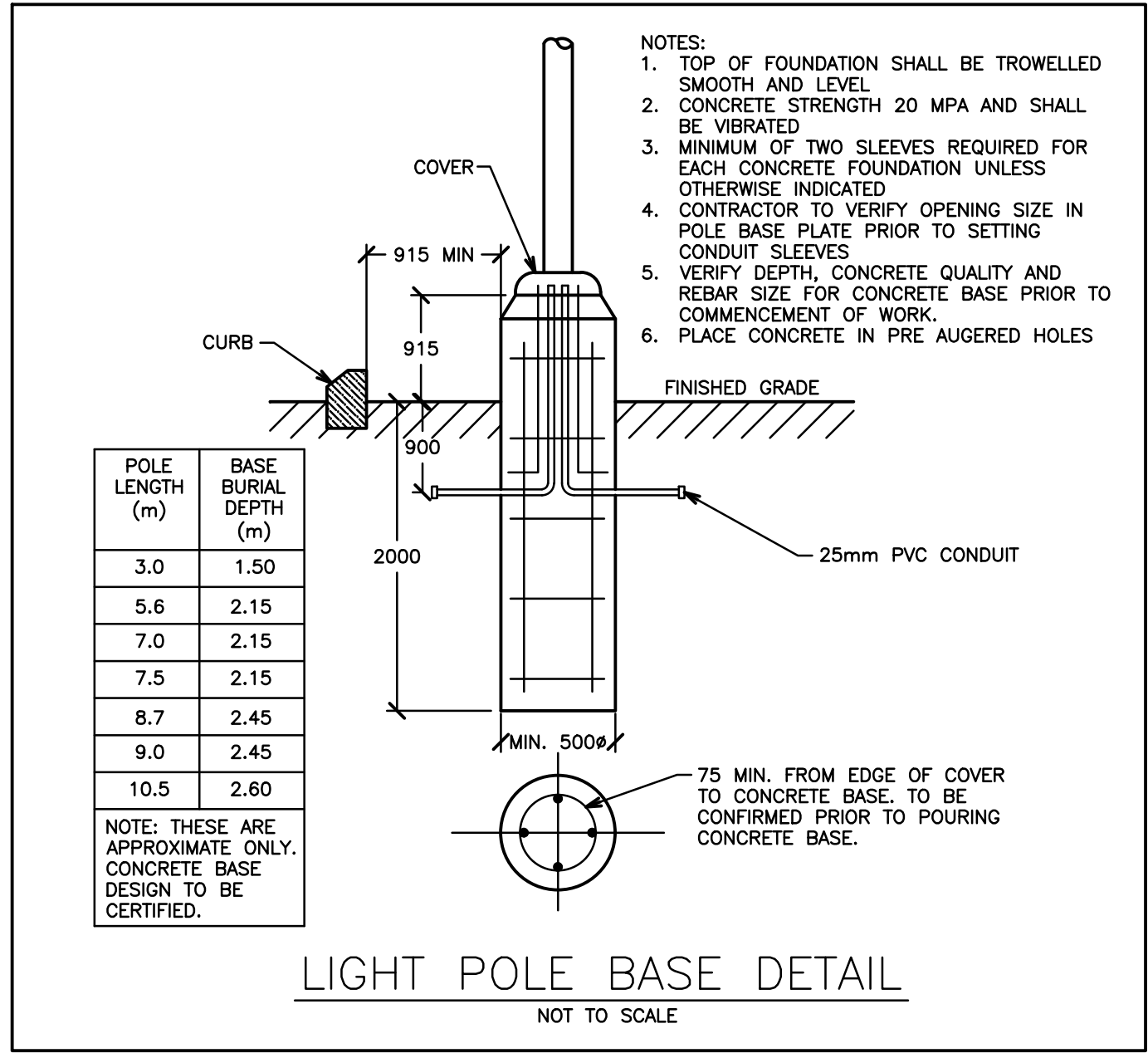
STANDARD ABBREVIATIONS

AFG	ABOVE FINISHED GRADE
CTE	CONNECT TO EXISTING
C/W	COMPLETE WITH

NUMERIC SUMMARY

LOCATION	AVERAGE	MAXIMUM	MINIMUM	AVG/MIN	MAX/MIN
ACCESSIBLE PARKING BUILDING#1	3.30	10.60	0.50	6.60	21.20
ACCESSIBLE PARKING BUILDING#2	3.24	9.60	0.60	5.40	16.00
ACCESSIBLE PARKING BUILDING#3	3.94	4.60	3.10	1.27	1.48
GENERAL PARKING	1.55	10.60	0.00	N.A.	N.A.
BUILDING#1 MAIN ENTRANCE	93.77	96.90	88.40	1.06	1.10
BUILDING#2 MAIN ENTRANCE	97.33	98.60	96.10	1.01	1.03
BUILDING#3 MAIN ENTRANCE	122.11	171.85	22.30	5.48	7.71

- SITE LIGHTING NOTES**
- ALL NEW OUTSIDE LIGHTS TO BE CONTROLLED BY BUILDING PHOTOCELL AT HIGH LEVEL AND TIME SWITCH. COORDINATE CONTROLS AND POWER REQUIREMENTS WITH BUILDING DISTRIBUTION DRAWINGS.
 - THIS DRAWING INDICATES ALL PROPOSED OUTDOOR LIGHTING FIXTURES FOR THIS PROPOSED DEVELOPMENT. THE LIGHTING DESIGN IS IN ACCORDANCE WITH THE APPLICABLE LIGHTING ZONE AS ESTABLISHED BY THE PLANNING DEPARTMENT, AND DESIGNED WITH AN AVERAGE TO MINIMUM RATIO IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY GUIDELINES. THIS LIGHTING DESIGN WILL NOT CREATE ANY OBJECTIONABLE GLARE FOR ADJACENT PROPERTIES.
 - CONTRACTOR TO BE RESPONSIBLE FOR LOCATION OF ALL EXISTING UNDERGROUND & OVERHEAD UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCE NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT. THE CONSULTANT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF EXISTING UTILITIES AS INDICATED ON THIS DRAWING.
 - CONTRACTOR TO REVIEW LIGHT FIXTURE SHOP DRAWINGS WITH CLIENT AND ENGINEER PRIOR TO COMMENCEMENT OF WORK FOR FINAL APPROVAL.
 - FINAL LOCATIONS OF WALL MOUNTED LIGHTING TO BE APPROVED BY ARCHITECT AND OWNER PRIOR TO COMMENCEMENT OF WORK.
 - PHOTOMETRIC VALUES ARE SHOWN IN FOOTCANDLES WITH ISOMETRIC LIGHT CURVES
 - ALL LIGHT FIXTURES TO BE FULL CUT-OFF, DOWNLIGHTING ONLY, DARK SKY COMPLIANT.



SITE LIGHTING SCHEDULE

WALL LIGHTS

TAG	SYMBOL	DESCRIPTION	WATTAGE	MODEL NUMBER	MOUNTING HEIGHT
W1		LITHONIA WdGE1 LED WALL SCONCE, FULL CUT-OFF, 3000K	10 W	WdGE1 LED P1 30K 80CRI VF SRM DBLXD	2.75m AFG
W2		LITHONIA WdGE1 LED WALL SCONCE, FULL CUT-OFF, 3000K	10 W	WdGE1 LED P1 30K 80CRI VF SRM DBLXD	3.66m AFG
W3		LITHONIA WdGE1 LED WALL SCONCE, FULL CUT-OFF, 3000K	71 W	WdGE3 LED P3 30K 70CRI R4 SRM DBLXD	3.66m AFG
W4		LITHONIA WdGE1 LED WALL SCONCE, FULL CUT-OFF, 3000K	88 W	WdGE3 LED P4 30K 80CRI RFT SRM DBLXD	3.66m AFG

POLE LIGHTS

TAG	SYMBOL	DESCRIPTION	POLE	WATTAGE	MODEL NUMBER	MOUNTING HEIGHT
P1		D-SERIES SIZE 1 LED AREA LUMINAIRE, FULL CUT-OFF, 3000K	A	51 W	DSX1 LED P1 30K 80CRI T3M MVOLT SPA DBLXD	7.00m AFG
P2		D-SERIES SIZE 1 LED AREA LUMINAIRE, FULL CUT-OFF, 3000K	A	104 W	DSX1 LED P3 30K 80CRI T3M MVOLT SPA DBLXD	7.00m AFG
P3		D-SERIES SIZE 1 LED AREA LUMINAIRE, FULL CUT-OFF, 3000K	A	51 W	DSX1 LED P1 30K 80CRI BLC4 MVOLT SPA DBLXD	7.00m AFG

CANOPY & GARAGE LIGHTS

TAG	SYMBOL	DESCRIPTION	WATTAGE	MOUNTING	MODEL NUMBER
C1		GOTHAM LED ROUND DOWNLIGHT, FULL CUT-OFF, 3000K	9 W	RECESSED	EVO4 30/10 AR MD LD 120 GZ1 NLT
C2		SLENDERFORM LED CANOPY, SFC GEN2, 4000K	38 W	RECESSED	SFC-SW-48L-250-NW-G2

BOLLARD LIGHTS

TAG	SYMBOL	DESCRIPTION	WATTAGE	MODEL NUMBER	HEIGHT
B1		D-SERIES ROUND, LED-STATIC, SYMMETRIC 16 LEDS, 4000K	28 W	DSX1 LED 16C 530 40K SYM	1.00m AFG

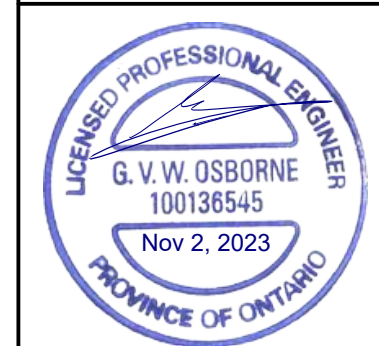
NO.	DATE	REVISION	BY
3.	NOV 1	RE-ISSUED FOR SPA	B.P.
2.	OCT 20	ISSUED FOR COORDINATION	F.K.
1.	DEC 07	ISSUED FOR SPA	A.L.

REVISIONS
1697 DURHAM REGIONAL HIGHWAY NO.2, COURTYARD

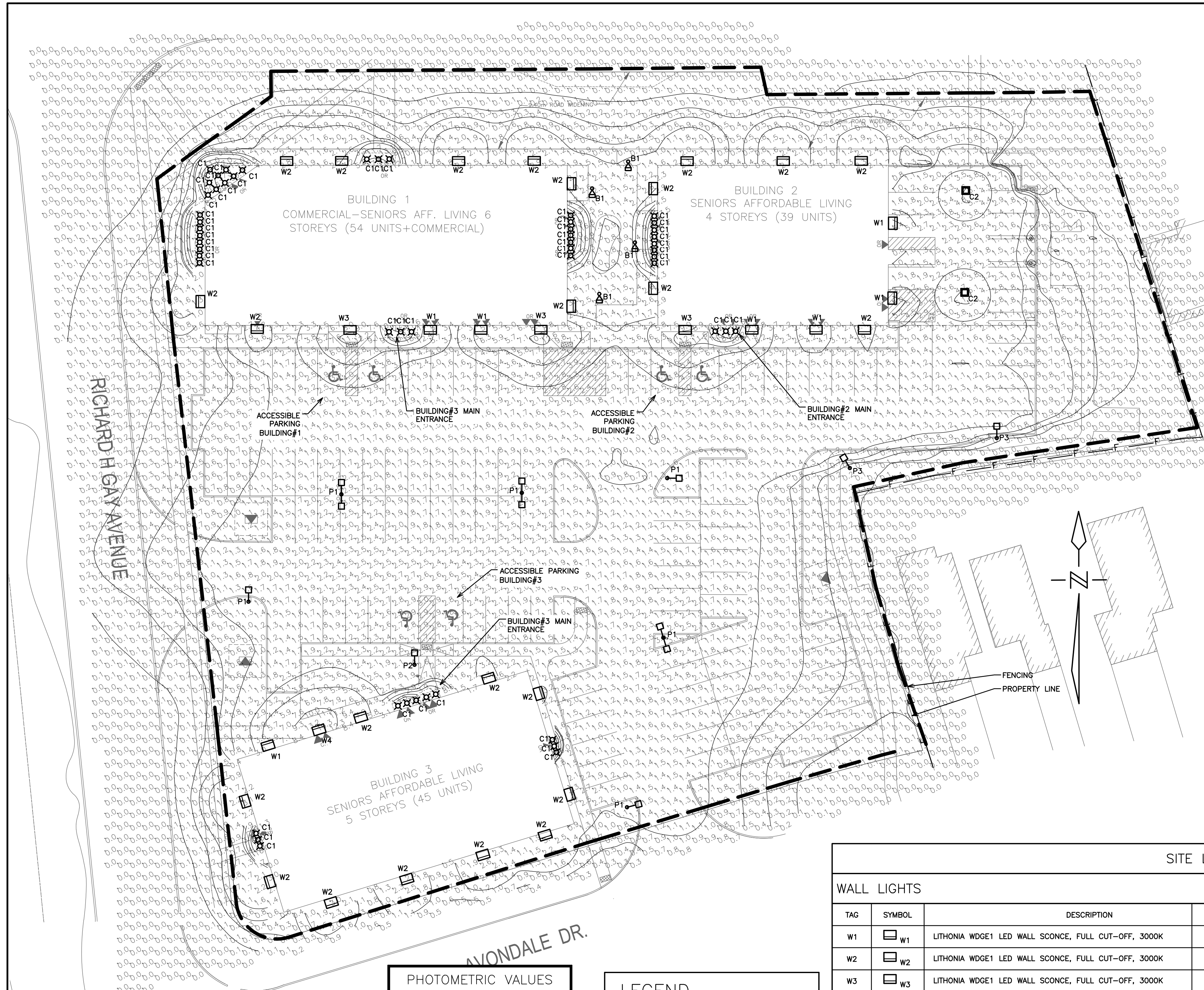
**SITE LIGHTING
PHOTOMETRIC PLAN**

D.G. Biddle & Associates Limited
consulting engineers and planners
96 KING STREET EAST OSHAWA, ON L1H 1B6
PHONE (905)576-8500 • FAX (905)576-9730
info@dgbiddle.com

SCALE: 1:300	PROJECT NO. 122065
DRAWN BY: B.P.	DRAWING NO. SL-1
DESIGN BY: B.P./S.D.	
CHECKED BY: G.V.W.O.	
DATE: OCTOBER 2023	



P:\START\JOB FILES\122065\122065_1697_Highway_2_Courtyard\122065_ELECTRICAL\122065_SITE_LIGHTING\122065_SL.DWG



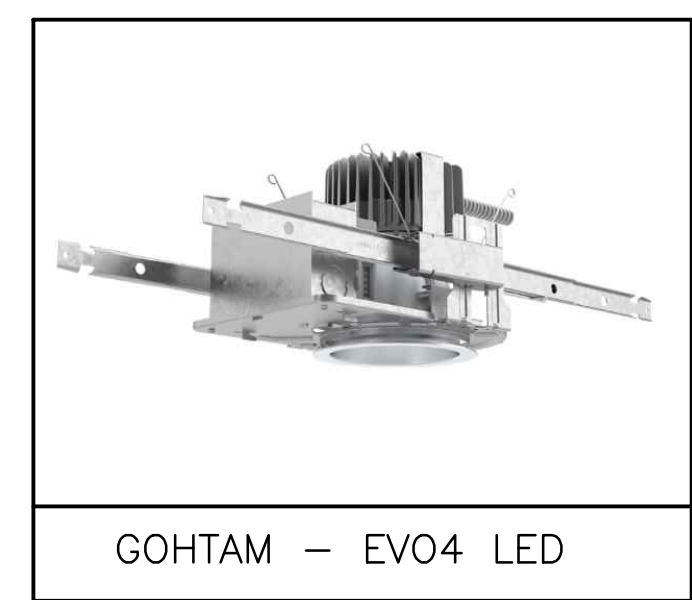
LITHONIA - DSX1 LED



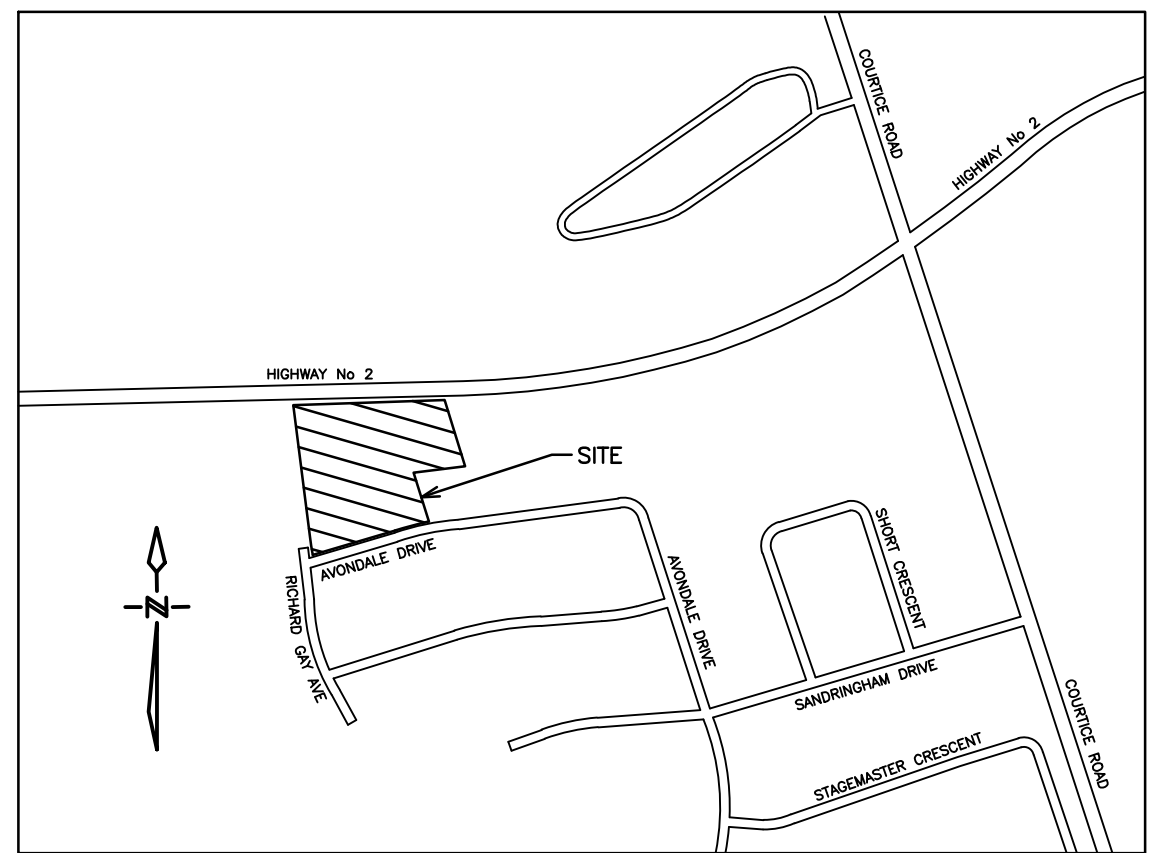
LITHONIA - DSX1 LED



LITHONIA - WDGE LED



GOHTAM - EVO4 LED



KEY PLAN
NOT TO SCALE

PRELIMINARY
NOT FOR CONSTRUCTION

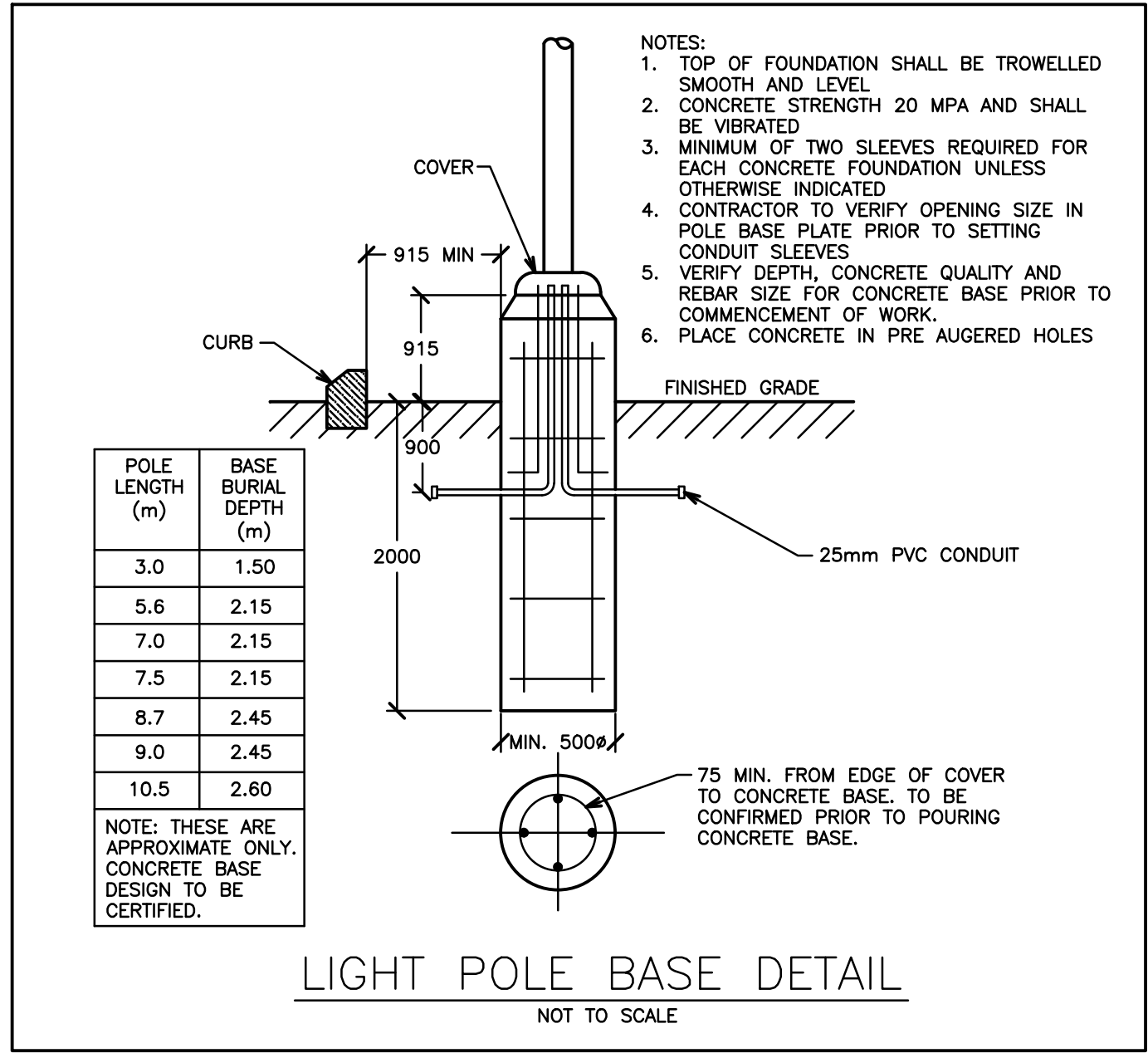
STANDARD ABBREVIATIONS

AFG	ABOVE FINISHED GRADE
CTE	CONNECT TO EXISTING
C/W	COMPLETE WITH

NUMERIC SUMMARY

LOCATION	AVERAGE	MAXIMUM	MINIMUM	AVG/MIN	MAX/MIN
ACCESSIBLE PARKING BUILDING#1	4.55	8.80	2.70	1.69	3.26
ACCESSIBLE PARKING BUILDING#2	4.58	9.00	2.50	1.83	3.60
ACCESSIBLE PARKING BUILDING#3	2.75	3.00	2.40	1.15	1.25
GENERAL PARKING	1.72	9.00	0.00	N.A.	N.A.
BUILDING#1 MAIN ENTRANCE	19.27	22.10	14.10	1.37	1.57
BUILDING#2 MAIN ENTRANCE	20.82	26.60	14.80	1.15	1.80
BUILDING#3 MAIN ENTRANCE	28.66	30.10	26.80	1.07	1.12

- SITE LIGHTING NOTES
- ALL NEW OUTSIDE LIGHTS TO BE CONTROLLED BY BUILDING PHOTOCELL AT HIGH LEVEL AND TIME SWITCH. COORDINATE CONTROLS AND POWER REQUIREMENTS WITH BUILDING DISTRIBUTION DRAWINGS.
 - THIS DRAWING INDICATES ALL PROPOSED OUTDOOR LIGHTING FIXTURES FOR THIS PROPOSED DEVELOPMENT. THE LIGHTING DESIGN IS IN ACCORDANCE WITH THE APPLICABLE LIGHTING ZONE AS ESTABLISHED BY THE PLANNING DEPARTMENT, AND DESIGNED WITH AN AVERAGE TO MINIMUM RATIO IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY GUIDELINES. THIS LIGHTING DESIGN WILL NOT CREATE ANY OBJECTIONABLE GLARE FOR ADJACENT PROPERTIES.
 - CONTRACTOR TO BE RESPONSIBLE FOR LOCATION OF ALL EXISTING UNDERGROUND & OVERHEAD UTILITIES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCE NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT. THE CONSULTANT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF EXISTING UTILITIES AS INDICATED ON THIS DRAWING.
 - CONTRACTOR TO REVIEW LIGHT FIXTURE SHOP DRAWINGS WITH CLIENT AND ENGINEER PRIOR TO COMMENCEMENT OF WORK FOR FINAL APPROVAL.
 - FINAL LOCATIONS OF WALL MOUNTED LIGHTING TO BE APPROVED BY ARCHITECT AND OWNER PRIOR TO COMMENCEMENT OF WORK.
 - PHOTOMETRIC VALUES ARE SHOWN IN FOOTCANDLES WITH ISOMETRIC LIGHT CURVES.
 - ALL LIGHT FIXTURES TO BE FULL CUT-OFF, DOWNLIGHTING ONLY, DARK SKY COMPLIANT.



LIGHT POLE BASE DETAIL
NOT TO SCALE

SITE LIGHTING SCHEDULE

WALL LIGHTS

TAG	SYMBOL	DESCRIPTION	WATTAGE	MODEL NUMBER	MOUNTING HEIGHT
W1	W1	LITHONIA WDGE1 LED WALL SCONCE, FULL CUT-OFF, 3000K	10 W	WDGE1 LED P1 30K 80CRI VF SRM DBLXD	2.75m AFG
W2	W2	LITHONIA WDGE1 LED WALL SCONCE, FULL CUT-OFF, 3000K	10 W	WDGE1 LED P1 30K 80CRI VF SRM DBLXD	3.66m AFG
W3	W3	LITHONIA WDGE1 LED WALL SCONCE, FULL CUT-OFF, 3000K	71 W	WDGE3 LED P3 30K 70CRI R4 SRM DBLXD	3.66m AFG
W4	W4	LITHONIA WDGE1 LED WALL SCONCE, FULL CUT-OFF, 3000K	88 W	WDGE3 LED P4 30K 80CRI RFT SRM DBLXD	3.66m AFG

POLE LIGHTS

TAG	SYMBOL	DESCRIPTION	POLE	WATTAGE	MODEL NUMBER	MOUNTING HEIGHT
P1	P1	D-SERIES SIZE 1 LED AREA LUMINAIRE, FULL CUT-OFF, 3000K	A	51 W	DSX1 LED P1 30K 80CRI T3M MVOLT SPA DBLXD	7.00m AFG
P2	P2	D-SERIES SIZE 1 LED AREA LUMINAIRE, FULL CUT-OFF, 3000K	A	104 W	DSX1 LED P3 30K 80CRI T3M MVOLT SPA DBLXD	7.00m AFG
P3	P3	D-SERIES SIZE 1 LED AREA LUMINAIRE, FULL CUT-OFF, 3000K	A	51 W	DSX1 LED P1 30K 80CRI BLC4 MVOLT SPA DBLXD	7.00m AFG

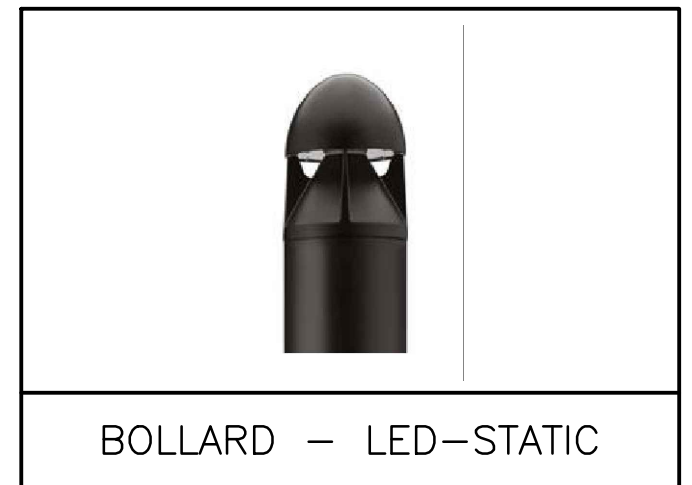
CANOPY & GARAGE LIGHTS

TAG	SYMBOL	DESCRIPTION	WATTAGE	MOUNTING	MODEL NUMBER
C1	C1	GOTHAM LED ROUND DOWNLIGHT, FULL CUT-OFF, 3000K	9 W	RECESSED	EVO4 30/10 AR MD LD 120 GZ1 NLT
C2	C2	SLENDERFORM LED CANOPY, SFC GEN2, 4000K	38 W	RECESSED	SFC-SW-48L-250-NW-G2

BOLLARD LIGHTS

TAG	SYMBOL	DESCRIPTION	WATTAGE	MODEL NUMBER	HEIGHT
B1	B1	D-SERIES ROUND, LED-STATIC, SYMMETRIC 16 LEDS, 4000K	28 W	DSX1 LED 16C 530 40K SYM	1.00m AFG

PHOTOMETRIC VALUES
MODELED AT GROUND
LEVEL



BOLLARD - LED-STATIC



GARDCO - SFC LED

LEGEND

☒	CANOPY LIGHTS
⊕	POLE LIGHTS
□	GARAGE LIGHTS
⊗	BOLLARD LIGHTS
▭	WALL LIGHTS
⊙	PHOTOMETRIC VALUES (SHOWN IN FOOTCANDLES)
~	ISOMETRIC LIGHT CURVES

POLE SCHEDULE

TAG	MANUFACTURER	DESCRIPTION	HEIGHT	MODEL NUMBER	NOTES
A	DYNAPOLE	4" STRAIGHT, SQUARE, STEEL POLE, BLACK	6 m	SS54-20	REFER TO LIGHT POLE BASE DETAIL

NO.	DATE	REVISION	BY
3.	NOV 1	RE-ISSUED FOR SPA	B.P.
2.	OCT 20	ISSUED FOR COORDINATION	F.K.
1.	DEC 07	ISSUED FOR SPA	A.L.

REVISIONS
1697 DURHAM REGIONAL HIGHWAY NO.2, COURTYARD

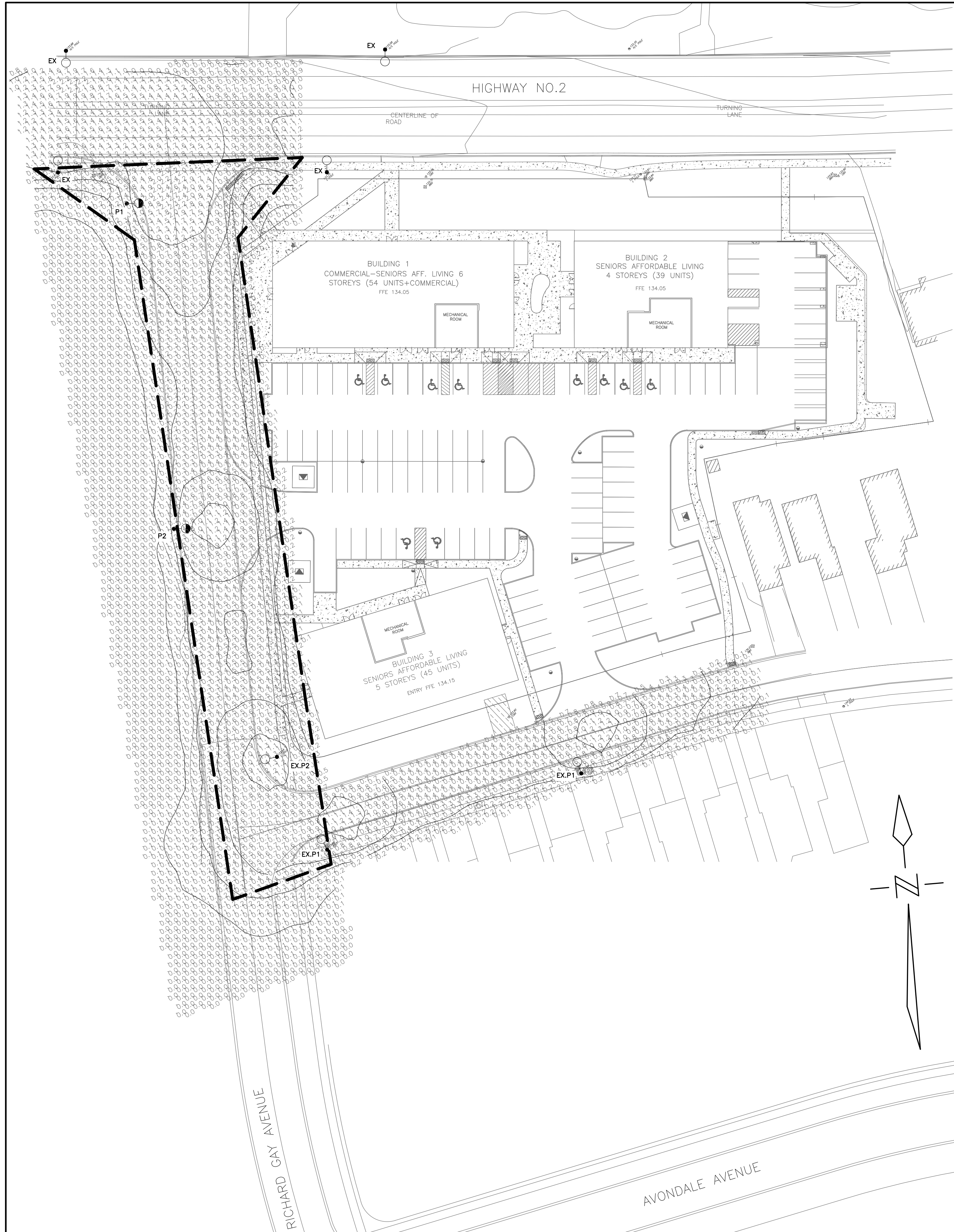
SITE LIGHTING
PHOTOMETRIC PLAN



SCALE: 1:300	PROJECT NO. 122065
DRAWN BY: B.P.	DRAWING NO. SL-2
DESIGN BY: B.P./S.D.	
CHECKED BY: G.V.W.O.	
DATE: OCTOBER 2023	



A:\START\A08 FILES\122065\122065_1609_H040001_2\00000001_122065_ELECTRICAL\122065_SITE_LIGHTING\122065_SL.DWG



LEGEND	
	LIMIT OF PHASE
	PHOTOMETRIC VALUES (SHOWN IN FOOT CANDLES)
	ISOMETRIC LIGHT CURVES

PHOTOCCELL SCHEDULE		
TAG	DESCRIPTION	MODEL NUMBER
A	STANDARD LONG LIFE PHOTOCCELL	LRL65223

STREET LIGHTING NOTES

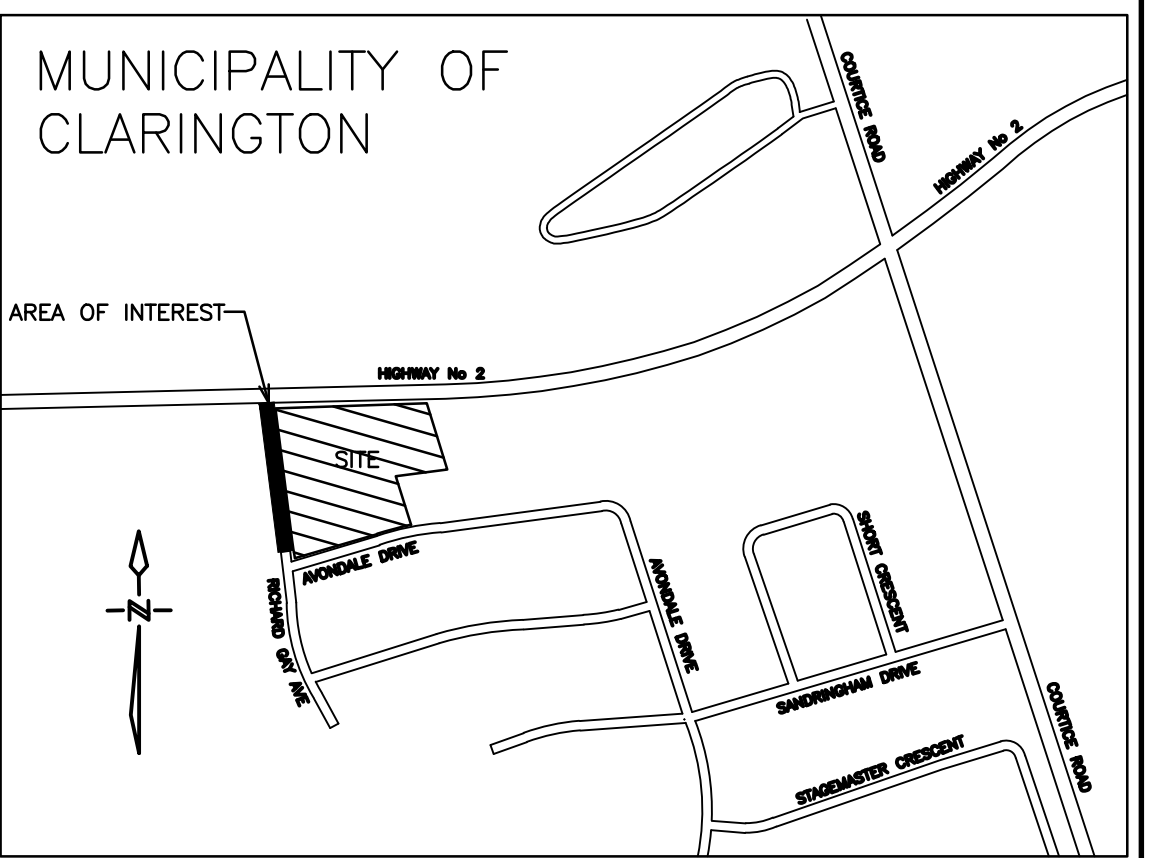
- PHOTOMETRIC VALUES ARE SHOWN IN FOOT CANDLES WITH ISOMETRIC LIGHT CURVES.
- ALL LIGHT FIXTURES TO BE FULL CUT-OFF, DOWNLIGHTING ONLY, DARK SKY COMPLIANT.
- CONTRACTOR TO REVIEW LIGHT FIXTURE SHOP DRAWINGS WITH CLIENT AND ENGINEER PRIOR TO COMMENCEMENT OF WORK FOR FINAL APPROVAL.
- CONTRACTOR TO BE RESPONSIBLE FOR LOCATION OF ALL EXISTING UNDERGROUND & OVERHEAD UTILITIES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCE NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT. THE CONSULTANT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF EXISTING UTILITIES AS INDICATED ON THIS DRAWING.
- THIS DRAWING INDICATES ALL PROPOSED OUTDOOR LIGHTING FIXTURES FOR THIS PROPOSED DEVELOPMENT. THE LIGHTING DESIGN IS IN ACCORDANCE WITH THE APPLICABLE LIGHTING ZONE AS ESTABLISHED BY THE PLANNING DEPARTMENT, AND DESIGNED WITH AN AVERAGE TO MINIMUM RATIO IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY GUIDELINES. THIS LIGHTING DESIGN WILL NOT CREATE ANY OBJECTIONABLE GLARE FOR ADJACENT PROPERTIES.

POLE SCHEDULE					
TAG	MANUFACTURER	DESCRIPTION	CLASS	MODEL NUMBER	LENGTH
A	UTILITY STRUCTURES	ROUND CONCRETE POLE	B	HA-350-B-1-PG-10-X	9.9m AFG

ARM SCHEDULE					
TAG	MANUFACTURER	DESCRIPTION	LENGTH	MODEL NUMBER	MOUNTING HEIGHT
A	ALUMINOUS	TAPERED ELLIPTICAL ARM, 18 R.O.W.	1.83m	ALS-RE6M	9.1m AFG
B	ALUMINOUS	TAPERED ELLIPTICAL ARM, 20 R.O.W.	2.44m	ALS-RE8M	9.1m AFG

STREET LIGHTING SCHEDULE							
TAG	SYMBOL	DESCRIPTION	ARM	POLE	PHOTOCCELL	WATTAGE	MODEL NUMBER
P1		GE EVOLVE LED ROADWAY LIGHTING, 3000K	B	A	A	102 W	ERL1-0-13-B5-30-A-GRAY-L
P2		GE EVOLVE LED ROADWAY LIGHTING, 3000K	B	A	A	50 W	ERL1-0-07-B5-30-A-GRAY-L
EX.P1		GE EVOLVE LED ROADWAY LIGHTING, 3000K	A	A	A	50 W	ERL1-0-07-B5-30-A-GRAY-L
EX.P2		GE EVOLVE LED ROADWAY LIGHTING, 3000K	B	A	A	50 W	ERL1-0-07-B5-30-A-GRAY-L

STANDARD ABBREVIATIONS	
AFG	ABOVE FINISHED GRADE
CTE	CONNECT TO EXISTING
C/W	COMPLETE WITH
LC	LOCAL ROADWAY
CL	COLLECTOR ROADWAY
MJ	MAJOR ROADWAY
INT	INTERSECTION



KEY PLAN
NOT TO SCALE

THIS PLAN IS FOR PHOTOMETRICS ONLY

NUMERIC SUMMARY: ROADWAY							
FUTURE ROAD/INT	ROAD/INT	LC/CL/MJ	AVERAGE	MAXIMUM	MINIMUM	AVG/MIN	MAX/MIN
RICHARD GAY AVENUE	ROAD	CL	0.55	1.70	0.20	2.75	8.50
AVONDALE AVENUE	ROAD	LC	0.53	1.60	0.10	5.30	16.00

NUMERIC SUMMARY: INTERSECTION							
FUTURE ROAD/INT	ROAD/INT	LC/CL/MJ	AVERAGE	MAXIMUM	MINIMUM	AVG/MIN	MAX/MIN
DURHAM REGIONAL RD.2	INT	MJ/CL	1.40	2.70	0.50	2.80	5.40
RICHARD GAY AVENUE	INT	CL/LC	0.90	1.40	0.50	1.80	2.80

NO.	DATE	REVISION	BY
2.	NOV 01	RE-ISSUED FOR SPA	F.K.
1.	DEC 07	ISSUED FOR SPA	A.L.

APPROVED

MANAGER, DEVELOPMENT ENGINEERING PLANNING AND INFRASTRUCTURE SERVICES
MUNICIPALITY OF CLARINGTON

APPROVED AS TO FORM IN RELIANCE UPON THE PROFESSIONAL SKILL AND ABILITY OF D.G. BIDDLE & ASSOCIATES LIMITED AS TO DESIGN AND SPECIFICATION

DATE: _____

APPROVED

Approval of the Regional Works Dept. for the purposes described in the applicable Regional Subdivision or Servicing Agreement. The Region is relying on the technical skill and ability of the P.Eng. sealing and signing this drawing.

BY: _____
DATE: _____

CORPORATION OF THE MUNICIPALITY OF CLARINGTON
PUBLIC WORKS DEPARTMENT

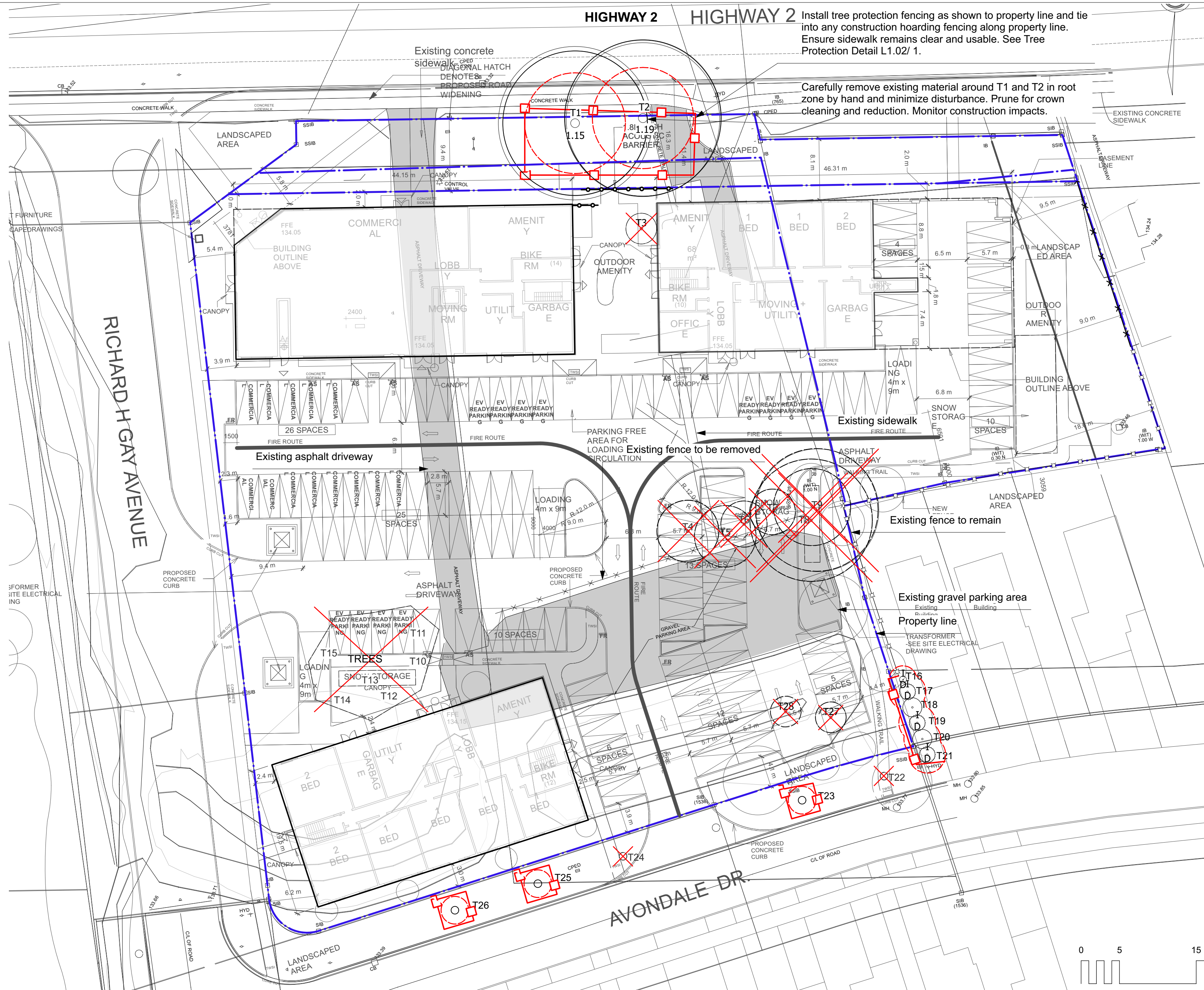
1697 DURHAM REGIONAL RD. HIGHWAY 2

STREET LIGHTING PHOTOMETRICS

D.G. Biddle & Associates Limited
consulting engineers and planners

96 KING STREET EAST OSHAWA, ON L1H 1B6
PHONE (905) 576-8500 • FAX (905) 576-9730
info@dgbiddle.com

	SCALE: 1:400	PROJECT NO. 122065
	DRAWN BY: A.L.	DRAWING NO. SL-1
	DESIGN BY: S.D.	
	CHECKED BY: G.V.W.O.	
	DATE: OCTOBER 2023	



Install tree protection fencing as shown to property line and tie into any construction hoarding fencing along property line. Ensure sidewalk remains clear and usable. See Tree Protection Detail L1.02/ 1.

Carefully remove existing material around T1 and T2 in root zone by hand and minimize disturbance. Prune for crown cleaning and reduction. Monitor construction impacts.

Legend	
	Existing Deciduous Trees to be removed
	Existing Deciduous Trees to be retained
	Existing Coniferous Trees to be removed
	Tree Protection Zone Hoarding

Tree Inventory

Tree No.	Botanical Name	Common Name	DBH (cm)	Condition	Impact	TPZ
1	<i>Acer saccharinum</i>	Silver Maple	115	Fair	Preserve	6m
2	<i>Acer saccharinum</i>	Silver Maple	119	Good	Preserve	6m
3	<i>Juglans nigra</i>	Black Walnut	17/17/17	Good	Remove	N/A
4	<i>Acer negundo</i>	Manitoba Maple	47	Fair-Poor	Remove	N/A
5	<i>Acer negundo</i>	Manitoba Maple	32/37	Poor-Fair	Remove	N/A
6	<i>Acer negundo</i>	Manitoba Maple	29	Poor	Remove	N/A
7	<i>Acer negundo</i>	Manitoba Maple	18	Fair	Remove	N/A
8	<i>Juglans nigra</i>	Black Walnut	88	Good	Remove	N/A
9	<i>Acer negundo</i>	Manitoba Maple	40	Fair	Remove	N/A
10	<i>Fraxinus spp.</i>	Ash	39	DEAD	Remove	N/A
11	<i>Ulmus americana</i>	American Elm	20	Good-Fair	Remove	N/A
12	<i>Acer negundo</i>	Manitoba Maple	16/25/28	Fair	Remove	N/A
13	<i>Acer saccharum</i>	Sugar Maple	34	Good	Remove	N/A
14	<i>Acer negundo</i>	Manitoba Maple	35/14/11	Fair	Remove	N/A
15	<i>Acer negundo</i>	Manitoba Maple	15	Fair-Good	Remove	N/A
16	<i>Thuja occidentalis x hybrid</i>	Dwarf Cedar	2m ht	Good	Preserve	1.8m
17	<i>Picea pungens</i>	Colorado Blue Spruce	20	Good	Preserve	2.4m
18	<i>Pyrus spp.</i>	Ornamental Pear	15	Fair-Good	Preserve	1.8m
19	<i>Picea pungens</i>	Colorado Blue Spruce	20	Good	Preserve	2.4m
20	<i>Pyrus spp.</i>	Ornamental Pear	20	Fair-Good	Preserve	2.4m
21	<i>Picea pungens</i>	Colorado Blue Spruce	20	Good	Preserve	2.4m
22	<i>Tilia spp.</i>	Linden	7	Fair-Poor	Remove	N/A
23	<i>Tilia spp.</i>	Linden	7	Fair-Good	Preserve	1.8m
24	<i>Acer x freemanii</i>	Hybrid Maple	7	Fair	Remove	N/A
25	<i>Acer x freemanii</i>	Hybrid Maple	7	Fair	Preserve	1.8m
26	<i>Acer x freemanii</i>	Hybrid Maple	7	Fair-Good	Preserve	1.8m
27	<i>Populus spp.</i>	Poplar	10	Fair	Remove	N/A
28	<i>Robinia pseudoacacia</i>	Black Locust	5	Good	Remove	N/A

Proposed Tree Planting

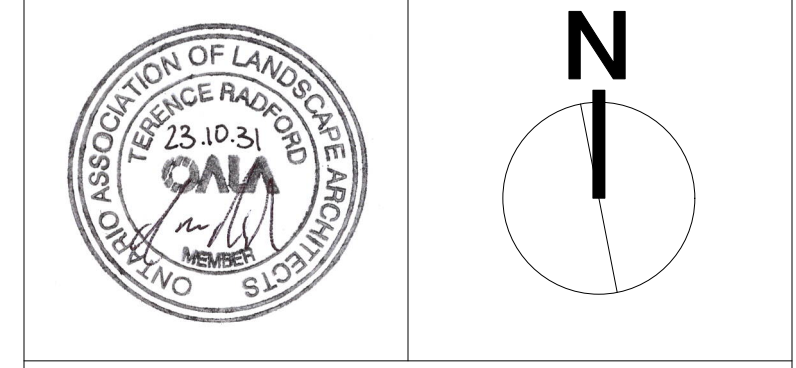
TREE SPECIES	SIZE (cm)	QUANTITY	% BY GENUS
Silver Cloud Silver Maple	6cm cal.	4	8%
Firefall Maple	6cm cal.	1	2%
Spring Flurry Serviceberry	6cm cal.	5	10%
American Hornbeam	6cm cal.	3	6%
Yellow-wood	6cm cal.	2	4%
Pagoda Dogwood	6cm cal.	3	6%
Tulip Tree	6cm cal.	6	12%
Black Tulip Magnolia	175cm ht	4	8%
Eastern White Pine	200cm ht	8	16%
Chanticleer Flowering Pear	6cm cal.	3	6%
Northern Red Oak	6cm cal.	10	20%
Eastern Arborvitae	250cm ht	1	2%
Littleleaf Linden	6cm cal.	1	2%
TOTAL NEW TREES: 51			



Legend:

8			
7			
6			
5			
4			
3			
2	Issued for Revised SPA	23.10.31	TR
1	Issued for SPA	22.12.09	TR

No.	Description	Date	By
	Issue / Revision Schedule		



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NOT FOR CONSTRUCTION

Client:
RH Gay Holdings Co.

Project:
**Proposed Mixed-Use Development
1697 Durham Regional Hwy 2,
Courtice, ON**

Drawing Title:
Tree Inventory and Preservation Plan

Designed By: TR	Project #: 22.49
Drawn By: TR	Drawing #: T 1.1
Approved By: TR	
Date: 22/11/15	

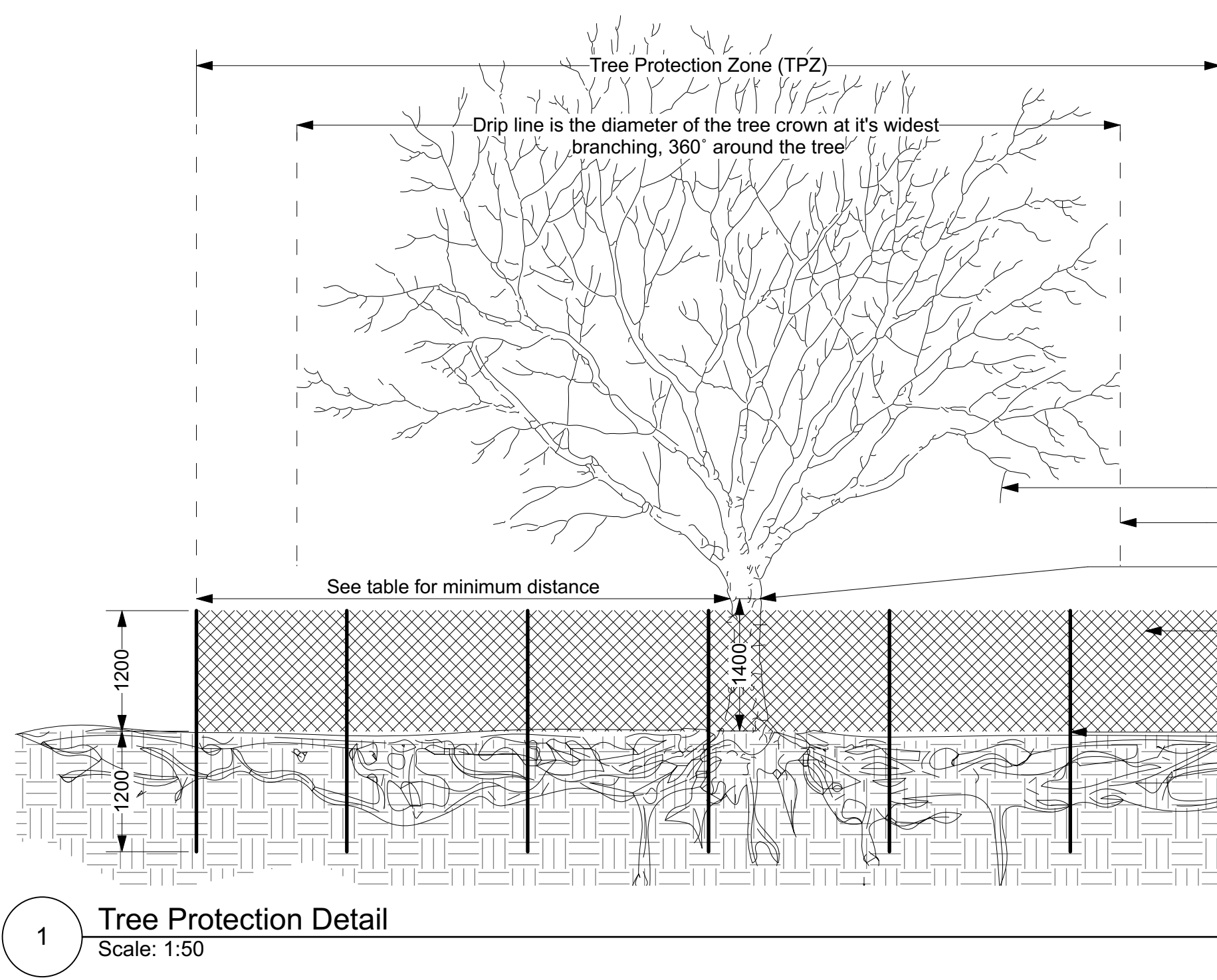


TABLE: TREE PROTECTION ZONES

Trunk Diameter (DBH)*	Minimum Protection Distance Required**
20-40 cm	2.4m
41-50 cm	3.0m
51-60cm	3.6m
61-70cm	4.2m
71-80cm	4.8m
81-90cm	5.4m
91-100+cm	6.0m

* "DBH" means diameter at breast height when measured at 1.4m above grade
** Tree Protection Zone (TPZ) distances are measured from the outside edge of the tree base

General Tree Protection Notes

- All dimensions shown in millimetres.
- This detail does not represent any particular tree species.
- No construction activity, grade changes, surface treatment, compaction, excavation or stockpiling of any kind is permitted within the protected area unless noted otherwise on the drawings and confirmed during pre-construction meeting.
- Maintain (Mow as required and when directed by contract administrator) existing vegetative cover within fenced area during construction.
- Tree protection to remain in place for duration of construction.
- Tree protection to be adjusted only when needed to complete those activities shown within TPZ. Upon completion tree protection shall be reinstated in consultation with the project arborist.
- No contaminants will be dumped or flushed where feeder roots of protected trees exist.
- No rigging cables will be wrapped around or installed in trees and/or protected areas.
- The developer and/or contractor will take every precaution necessary to prevent damage to trees, shrubs or other plants to be retained.
- Construction activities shown within the TPZ shall be conducted under the guidance and in consultation with an approved ISA Certified Arborist.

Protection and Preservation of Existing Vegetation

* Tree Inventory and assessment completed by Gina Brouwer, ISA Certified Arborist ON-0937A on November 25, 2022.

All existing trees and other plants which are to remain shall be fully protected with hoarding (i.e. snow fencing) erected beyond their 'drip line' prior to the issuance of the Building Permit, to the satisfaction of the Planning and Development Department. Areas within the fencing shall remain undisturbed and shall not be used for the storage of building materials or equipment.

No rigging cables shall be wrapped around or installed in trees and surplus soil, equipment debris or materials shall not be placed over root systems of the trees within the protective fencing. No contaminants will be dumped or flushed where feeder roots of trees exist.

The developer or his/her agents shall take every precaution necessary to prevent damage to trees or shrubs to be retained.

Where limbs or portions of trees are removed to accommodate construction work, they will be removed carefully and in accordance with accepted arboricultural practices.

Where root systems of protected trees are exposed directly adjacent to construction work or damaged by said work, they shall be trimmed neatly and the area backfilled with appropriate material to prevent desiccation.

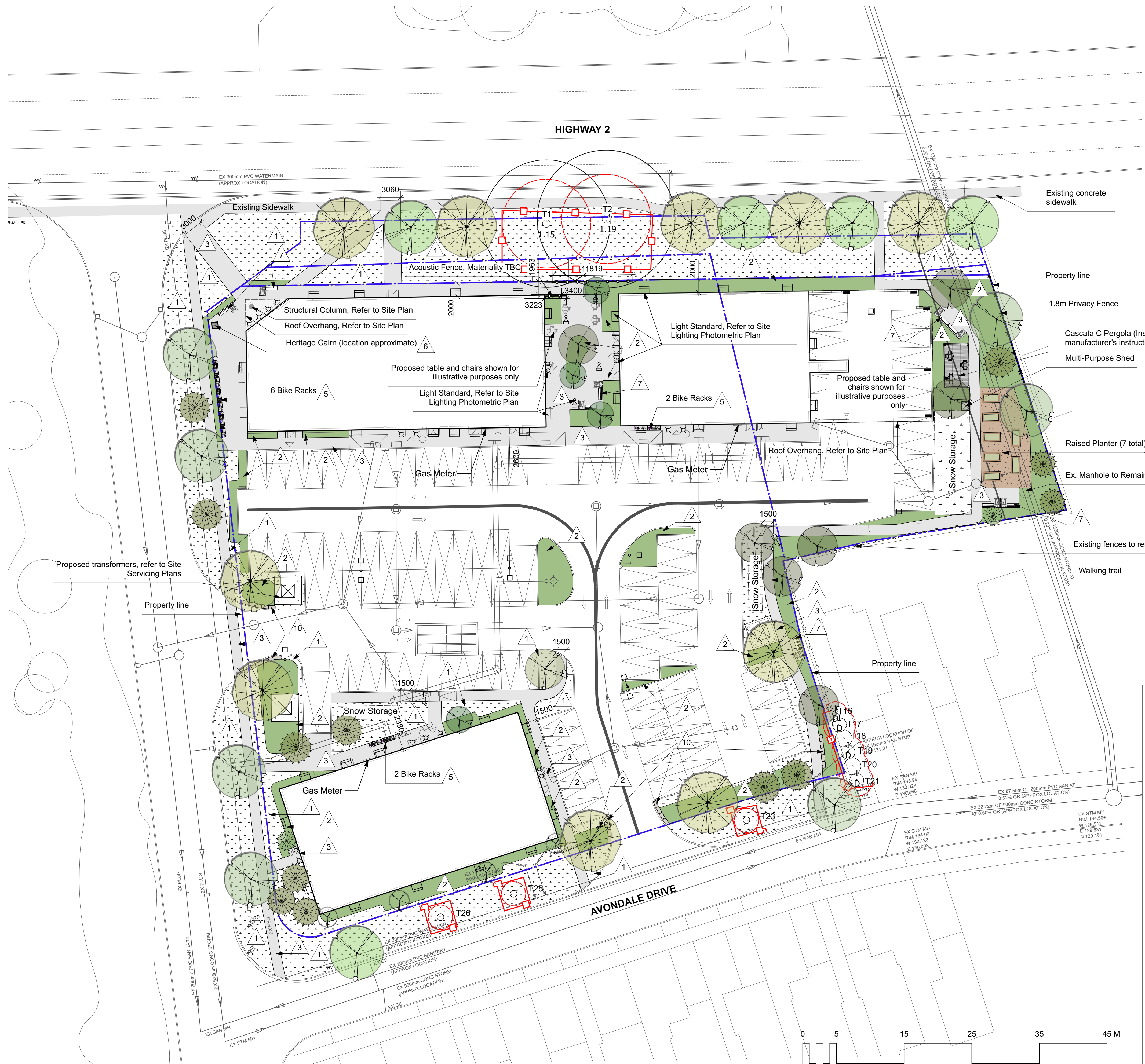
Where necessary, the trees will be given an overall pruning to restore the balance between roots and top growth or to restore the appearance of the trees.

Trees that have died or have been damaged beyond repair, shall be removed and replaced by the owner at his own expense with trees of a similar size, species and of equal value as approved by the Director of Planning and Development. Failure to replace damaged trees to a condition satisfactory to the Municipality shall result in the Municipality exercising its right to draw on the Letter of Credit.

If grades around trees to be protected are likely to change, the owner shall be required to take such precautions as dry welling, retaining walls and root feeding to the satisfaction of the Director of Planning and Development.

All excavation within the Tree Protection Zone (TPZ) around existing trees to be retained shall be hand dug.

1 Tree Protection Detail
Scale: 1:50



LANDSCAPE MATERIALS			
1	Maintained Lawn Area Sod and, min 150mm depth growing medium.	4	L 2.1
2	Shrub and Tree Area Min 450mm depth growing medium finished w/ 75mm depth Four Season mulch	3	L 2.1
3	Cast in Place Concrete See civil dwg's for details	3	L 2.3
9	Shredded Cedar Mulch 100mm depth	3	L 2.3

LANDSCAPE STRUCTURES/FURNISHINGS			
4	Table and Chairs Shown for Illustrative Purposes Only. To be supplied by owners		
5	Bike Rack (10 total) Surface Mount Racks, Maglin MBR100 Series Item# MBR-0150-00002 or approved equivalent	2	L 2.2
6	Heritage Cairn 1220mm ht heritage cairn made with bricks from existing house on site. Site signage and QR plaque to be located on cairn. Design TBC.		
7	Bench (6 total) w/ Curb Stop 1800mm length Surface Mount Bench, Maglin 2300 Series MBE-2300-00056 or approved equivalent.	1	L 2.2
8	Raised Garden Planter Cedar Timber Planter complete with seating edge. Contractor to fill planters with growing medium as specified and mulch.	1	L 2.3
10	Armour Stone Armourstone; Colour: Dark; Size: ~600x600x1000mm (WxHxL).	1	L 1.3
	Cascata Pergola (STUR DESIGN) 3658x6401 Cascata C Pergola. Finish: TBC		
	1.8m Wood Privacy Fence	2	L 2.3
	Acoustic Fence Materiality and Style TBC		
	Multipurpose Eco-Shed 4x4' Green Pod Eco-Shed by Cedarshed Industries or approved equivalent.	5	L 2.3

PLANT MATERIALS			
TPZ ID DBH	Existing Deciduous Trees to be retained- See T 1.1 for Tree Protection Plan		
	Proposed Deciduous Trees- See plant list for additional details	2	L 2.1
	Proposed Coniferous Trees- See plant list for additional details	1	L 2.1
ID	Proposed Shrub/Perennial/Vine- See plant list for additional details	3	L 2.1
	Tree Protection Zone Hoarding- See T 1.1 for Tree Planting and Preservation Plan	1	T 1.1



Legend:
Property Line

No.	Description	Date	By
8			
7			
6			
5			
4			
3			
2	Issued for Revised SPA	23.10.31	TR
1	Issued for SPA	22.12.09	TR

Issue / Revision Schedule



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NOT FOR CONSTRUCTION

Client:
RH Gay Holdings Co.

Project:
**Proposed Mixed-Use Development
1697 Durham Regional Hwy 2,
Courtice, ON**

Drawing Title:
**Landscape Plan
Preservation Plan**

Designed By:	TR	Project #:	22.49
Drawn By:	TR	Drawing #:	L 1.1
Approved By:	TR	Date:	22/11/15

Owners Note
We agree to implement the approved landscape plans within 18 months after the execution of Site Plan Agreement and will retain a landscape architect to make periodic site inspections and on completion of the landscape works, we will forward to you a copy of the 'Landscape Completion Notification Certificate' from the landscape architect.

Any revision to the landscape plans will be submitted to the Department of Planning and Development of the Municipality of Clarington and before commencement of the works, for review and approval.

We hereby authorize the Municipality, its authorized agents, servants or employees to enter upon our land to which these drawings apply, to carry out inspections from time to time and agree to indemnify the Municipality and its authorized agents and save them harmless from any and all actions arising out of the exercise by the Municipality, its authorized agents, servants or employees of the rights hereby given to them. And we further undertake to notify the Municipality forthwith of any change of ownership of the said lands.

Signature of Owner:
Name of Owner:
Address:
Date:

Municipal Road Occupancy
"Respecting all work in the municipal right of way, the contractor is to provide at least 48 hours prior notice to the Clarington Engineering Services Department staff at 905-623-3379."
"A Road Occupancy Permit will be required for any work done in the municipal road allowance. Excavation of the road surface is not permitted between December 1st and April 30th."
"All restoration or work done in the road allowance must be completed as per municipal field staff direction."
"The performance guarantee will not be refunded by the Municipality of Clarington unless the works have been inspected by municipal forces and deemed to be complete and satisfactory."

BOULEVARD PLANTING
"The applicant will be responsible to acquire the necessary approvals from the utility companies and the responsible road authority (i.e. Clarington Public Works Department) prior to the installation of the landscape works on the municipal boulevard."

I hereby certify that these Landscape Plans conform to the Site Grading and Drainage Plan for this project, as submitted by the project's Consulting Engineer.

Signature of Landscape Architect:
Name of Landscape Architect: Terence Radford
Date: October 31, 2023



Plant List

ID	Quantity	Common Name	Latin Name	Scheduled Size
TREES				
As	4	Silver Cloud Silver Maple	Acer saccharinum 'Silver Cloud'	75mmCT/WB
Axf	1	Firefall Maple	Acer x freemanii 'Firefall'	60mmCT/WB
Alm	7	Spring Flurry Serviceberry	Amelanchier laevis 'Spring Flurry'	60mmCT/WB
Cc	1	American Hornbeam	Carpinus caroliniana	60mmCT/WB
Ca	4	Pagoda Dogwood	Cornus alternifolia	200cm ht, Multi-stem
Lit	6	Tulip Tree	Liriodendron tulipifera	60mmCT/WB
MBT	4	Black Tulip Magnolia	Magnolia 'Black Tulip'	175cm ht WB
Ps	10	Eastern White Pine	Pinus strobus	200cm ht WB
Qr	10	Northern Red Oak	Quercus rubra	75mmCT/WB
To	2	Eastern Arborvitae	Thuja occidentalis	250cm ht WB
Tc	1	Littleleaf Linden	Tilia cordata	60mmCT/WB
SHRUBS, GRASSES AND PERENNIALS				
Amg	6	Apple Serviceberry	Amelanchier x grandiflora	200cm ht WB, Multi-stem
Ag	53	Big Bluestem	Andropogon gerardii	2 gal pot
Cs	34	Red Osier Dogwood	Cornus sericea	50cm ht potted
EpM	191	Magnus Purple Coneflower	Echinacea purpurea 'Magnus'	1 gal pot
Hv	2	Witch Hazel	Hamamelis virginiana	80cm ht potted
Hse	37	Elegans Plantain Lily	Hosta sieboldiana 'Elegans'	1 gal pot
Hp	23	Fire and Ice Hydrangea	Hydrangea paniculata 'Fire and Ice'	3 gal pot
JpG	33	Blue Pfitzer Juniper	Juniperus x pfitzeriana 'Glaucua'	50cm ht potted
Mat	137	Ostrich Fern	Matteuccia struthiopteris	1 gal pot
Pv	168	Switch Grass	Panicum virgatum	2 gal pot
PaR	77	Redhead Fountain Grass	Pennisetum alopecuroides 'Redhead'	1 gal pot
Ra	54	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'	50cm ht potted
RTB	8	Tiger Eyes® Staghorn Sumac	Rhus typhina 'Bailtiger'	60cm ht potted
Rf	29	Goldsturm Black Eyed Susan	Rudbeckia fulgida 'Goldsturm'	1 gal pot
Sch	195	Little Bluestem	Schizachyrium scoparium	1 gal pot
Sf	19	Firecracker Stonecrop	Sedum 'Firecracker'	9cm PT
Sac	9	Goldmoss Sedum	Sedum acre	9cm PT
Sb	20	Lamb's-ears	Stachys byzantina	#1 pot
TmH	40	Hick's Yew	Taxus x media 'Hicksii'	50cm ht potted
ToLG	22	Little Giant Cedar	Thuja occidentalis 'Little Giant'	60cm ht
Ts	16	Creeping Thyme	Thymus serpyllum	9cm PT
TsGW	26	Gentsch White Variegated Hemlock	Tsuga canadensis 'Gentsch White'	3 gal pot

Plant List Notes:
 - Refer to planting Details and General Landscape Specifications
 - Plan quantities supersede plant list quantities
 - Layout to be confirmed on-site with the Landscape Architect
 - CT: caliper tree measured at 15cm above root collar
 - WB: wire basket

Owners Note

We agree to implement the approved landscape plans within 18 months after the execution of Site Plan Agreement and will retain a landscape architect to make periodic site inspections and on completion of the landscape works, we will forward to you a copy of the Landscape Completion Notification Certificate from the landscape architect.

Any revision to the landscape plans will be submitted to the Department of Planning and Development of the Municipality of Clarington and before commencement of the works, for review and approval.

We hereby authorize the Municipality, its authorized agents, servants or employees to enter upon our land to which these drawings apply, to carry out inspections from time to time and agree to indemnify the Municipality and its authorized agents, servants or employees of the rights hereby given to them. And we further undertake to notify the Municipality forthwith of any change of ownership of the said lands.

Signature of Owner:

Name of Owner:

Address:

Date:

Municipal Road Occupancy

"Respecting all work in the municipal right of way, the contractor is to provide at least 48 hours prior notice to the Clarington Engineering Services Department staff at 905-623-3379."

"A Road Occupancy Permit will be required for any work done in the municipal road allowance. Excavation of the road surface is not permitted between December 1st and April 30th."

"All restoration or work done in the road allowance must be completed as per municipal field staff direction."

"The performance guarantee will not be refunded by the Municipality of Clarington unless the works have been inspected by municipal forces and deemed to be complete and satisfactory."

BOULEVARD PLANTING

"The applicant will be responsible to acquire the necessary approvals from the utility companies and the responsible road authority (i.e. Clarington Public Works Department) prior to the installation of the landscape works on the municipal boulevard."

I hereby certify that these Landscape Plans conform to the Site Grading and Drainage Plan for this project, as submitted by the project's Consulting Engineer.

Signature of Landscape Architect:

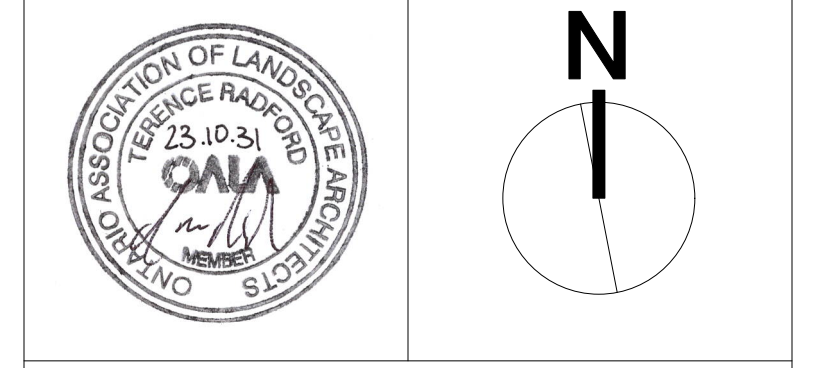
Name of Landscape Architect: Terence Radford

Date: October 31, 2023



Legend:

No.	Description	Date	By
8			
7			
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3			
2	Issued for Revised SPA	23.10.31	TR
1	Issued for SPA	22.12.09	TR
Issue / Revision Schedule			



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NOT FOR CONSTRUCTION

Client:
RH Gay Holdings Co.

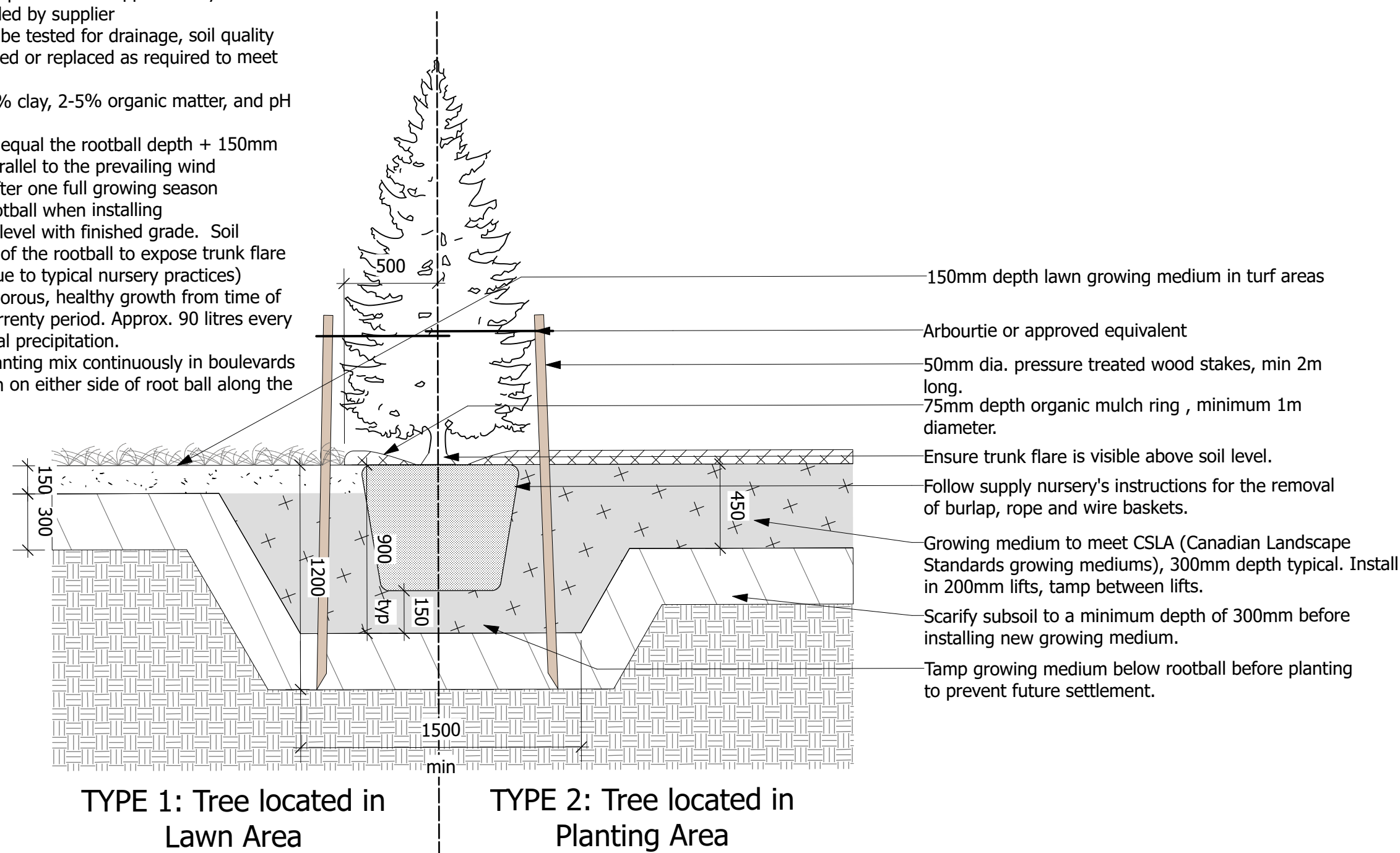
Project:
Proposed Mixed-Use Development
 1697 Durham Regional Hwy 2,
 Courtice, ON

Drawing Title:
Landscape Planting Plan
Preservation Plan

Designed By: TR	Project #: 22.49
Drawn By: TR	Drawing #: L 1.2
Approved By: TR	Date: 22/11/15

General Notes

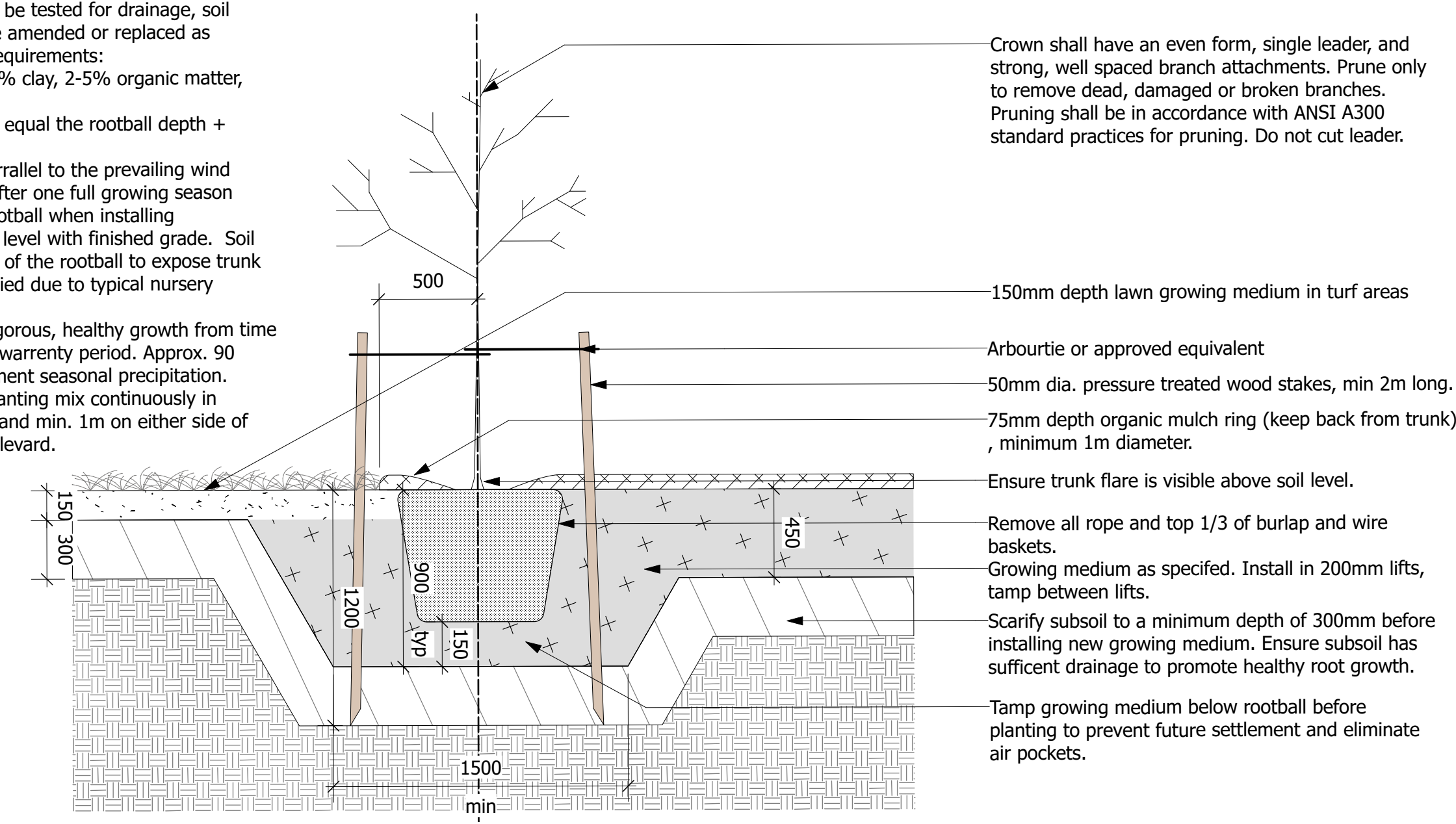
1. Planting mix: 2/3 native soil from the tree pit excavation or stockpile and 1/3 commercially prepared triple mix. Add approved mycorrhizal inoculant in quantities recommended by supplier
2. All proposed planting areas shall be tested for drainage, soil quality and pH. Poor soil shall be amended or replaced as required to meet the following requirements: 50-60% sand, 20-40% silt, 6-10% clay, 2-5% organic matter, and pH between 6.5-7.5.
3. Max depth of planting pit should equal the rootball depth + 150mm
4. Tree stakes should be placed parallel to the prevailing wind
5. Wooden stakes to be removed after one full growing season
6. DO NOT drive stakes through rootball when installing
7. Set tree so base of trunk flare is level with finished grade. Soil should be removed from the top of the rootball to expose trunk flare (often the trunk flare is buried due to typical nursery practices)
8. Water thoroughly to maintain vigorous, healthy growth from time of delivery installation to end of warranty period. Approx. 90 litres every 7-10 days to supplement seasonal precipitation.
9. Excavate and prepare tree pit planting mix continuously in boulevards less than 1.5m wide and min. 1m on either side of root ball along the length of boulevard.



1 Coniferous Tree Detail
Scale: 1:25

General Notes

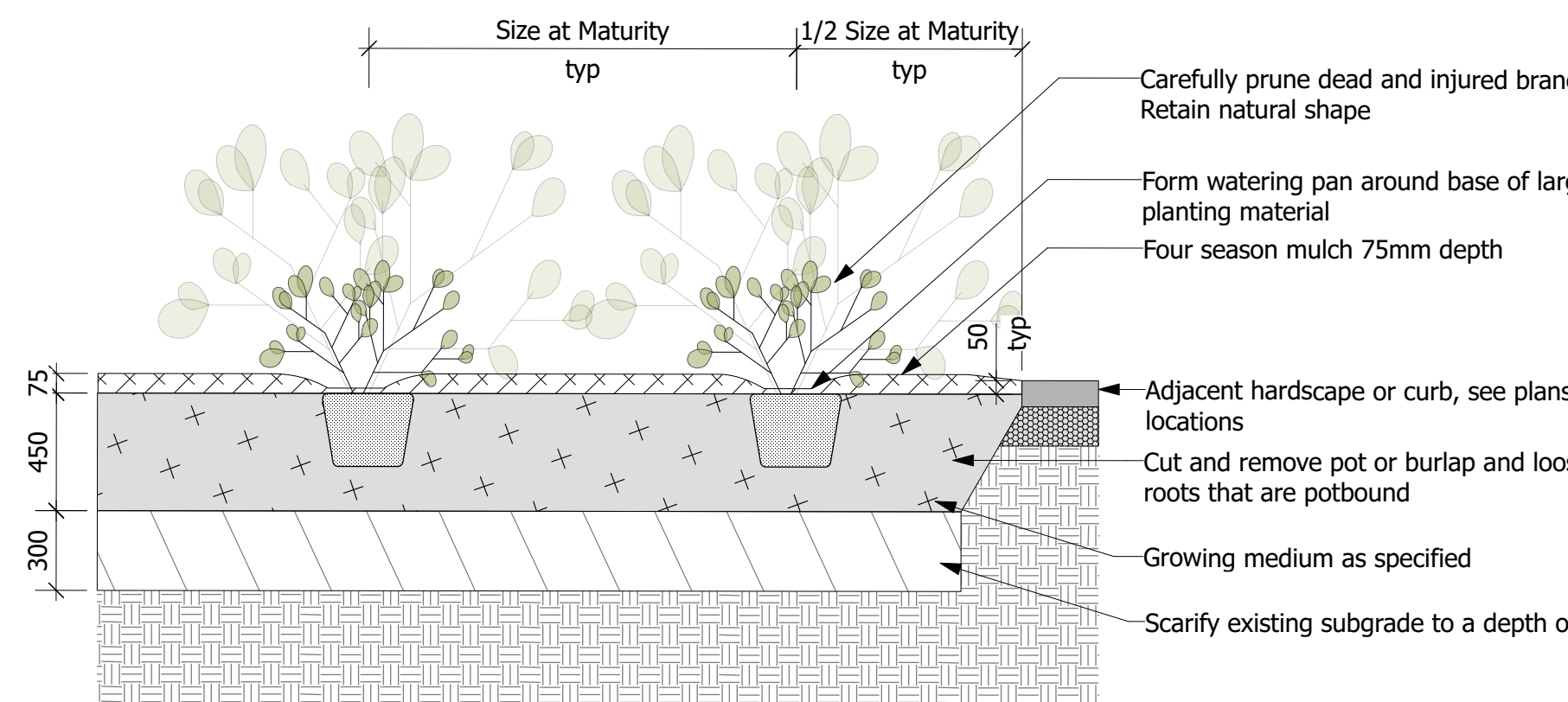
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9. Excavate and prepare tree pit planting mix continuously in boulevards less than 1.5m wide and min. 1m on either side of root ball along the length of boulevard.



2 Deciduous Tree Planting
Scale: 1:25

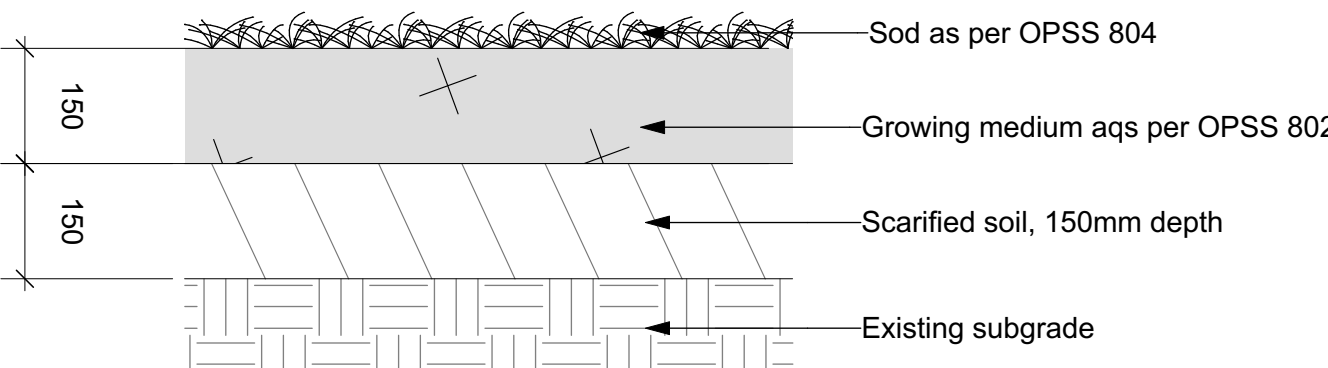
General Notes

1. Excavate continuous planting bed where perennial plants and woody shrubs are mass planted as shown on planting plan
2. All perennials and shrubs are to be planted in continuous planting beds except where noted otherwise
3. Continuously mulch planting beds with 100 depth approved shredded bark mulch. Mulch to be shredded tub-ground bark mulch (the material remaining after bark is peeled from the hardwood logs at a sawmill), free from debris, construction waste and hardwood chips. Submit sample for approval.
4. Planting mix: existing soil mixed 2:1 with imported triple mix
5. Water thoroughly after installation



3 Shrub Planting
Scale: 1:25

4 Sod Detail
Scale: 1:10



Landscape Notes

The Contractor shall review all existing conditions and utilities prior to commencement of work. Protect all existing plant material, structures and adjacent areas from damage. Layout shall be approved by the Contract Administrator prior to commencement of work. All work shall comply with the CSLA Canadian Landscape Standards.

TOPSOIL & SOD

All areas requiring sod shall first be neatly prepared for 100mm depth on site. Topsoil requirements set out in these specifications. All topsoil shall be free from native till or clay, roots, vegetation, weeds or debris, stones and clods over 50mm diameter. Topsoil shall be fertile, loamy, screened material. All topsoil to be used for sod, seed and planting shall be tested by an approved laboratory at the Contractor's expense and amended based on the report recommendations. Topsoil test results shall be provided to the Landscape Architect for approval one week prior to work commencing. Topsoil infested by the seeds of noxious weeds will not be acceptable.

Sod all disturbed areas. All sod shall meet the requirements of Ontario Sod Grower's Association for Fine Fescue Kentucky Bluegrass Commercial Grade Turfgrass Nursery Sod. The sod shall be taken from good loamy soil and shall be healthy well permeated with roots have uniform texture and appearance and be free from weeds. Sod must be laid within thirty-six (36) hours of being cut. Care must be taken during its transportation and placement to prevent any drying out. Sod shall match flush with all adjacent surfaces and shall have no open gaps, overlapping edges or uneven joints. Where adjacent or fronting lands have already been sodded, care must be taken to ensure drainage is maintained and a smooth transition is achieved. Laid sod shall be immediately rolled to produce an even surface and watering shall commence immediately thereafter and shall continue on a regular basis until healthy roots are well established and permanent. If sod fails to establish immediately it shall be removed and replaced. No attempt shall be made to try to re-establish weak/dead sod through continual watering unless specific permission is granted by the Contract Administrator. Any sod deemed unfit by the Contract Administrator shall be immediately removed from the site and replaced.

Protection and Preservation of Existing Vegetation

Refer to Tree Inventory and Preservation Plan drawing T 1.1 and arborist report.

* Tree Inventory and assesment completed by Gina Brouwer, ISA Certified Arborist ON-0937A on November 25, 2022.

All existing trees and other plants which are to remain shall be fully protected with hoarding (i.e. snow fencing) erected beyond their 'drip line' prior to the issuance of the Building Permit, to the satisfaction of the Planning and Development Department. Areas within the fencing shall remain undisturbed and shall not be used for the storage of building materials or equipment.

No rigging cables shall be wrapped around or installed in trees and surplus soil, equipment debris or materials shall not be placed over root systems of the trees within the protective fencing. No contaminants will be dumped or flushed where feeder roots of trees exist.

The developer or his/her agents shall take every precaution necessary to prevent damage to trees or shrubs to be retained.

Where limbs or portions of trees are removed to accommodate construction work, they will be removed carefully and in accordance with accepted arboricultural practices.

Where root systems of protected trees are exposed directly adjacent to construction work or damaged by said work, they shall be trimmed neatly and the area backfilled with appropriate material to prevent desiccation.

Where necessary, the trees will be given an overall pruning to restore the balance between roots and top growth or to restore the appearance of the trees.

Trees that have died or have been damaged beyond repair, shall be removed and replaced by the owner at his own expense with trees of a similar size, species and of equal value as approved by the Director of Planning and Development. Failure to replace damaged trees to a condition satisfactory to the Municipality shall result in the Municipality exercising its right to draw on the Letter of Credit.

If grades around trees to be protected are likely to change, the owner shall be required to take such precautions as dry welling, retaining walls and root feeding to the satisfaction of the Director of Planning and Development.

All excavation within the Tree Protection Zone (TPZ) around existing trees to be retained shall be hand dug.

Planting

All plant material shall be nursery grown, true to type, conforming to the current edition of the Canadian Nursery Landscape Association's Canadian Standards for Nursery Stock and CSLA Canadian Landscape Standards. All plants shall be healthy and vigorous with all parts free from defects, decay, disfigurement, injury, disease and pests.

All trees shall have a reasonably straight trunk, free of any decay or wounds. Trees shall have a balanced canopy with a minimum of 12 branches. The branching height shall be a minimum of 1.8m from the root ball. Columnar trees shall possess one main trunk and no multiple competing stems. Branching shall be uniform and characteristic of the growing habit for the species. The root ball must be solid with little or no movement at the trunk and free of girdling roots.

Prior to any plant material arriving on site, an onsite meeting between the landscaper, contractor, and Developer's Landscape Architect must be held to review planting locations and procedures. The Developer's landscaper shall ensure that trees are planted under ideal seasonal conditions and according to the following procedures:

1. All tree pits shall be prepared in accordance with the Tree Planting Detail shown in this package.
2. Trees shall be placed so that the root flare is 50mm above the finished boulevard grade. Sub-grade levels will not be accepted. The ball or basket must be untied with the trunk free from choking ties. All trunk wrap must be removed after planting. The top 1/3 of the wire basket and burlap must be removed, (not bent down). The remainder of the basket must be clipped randomly throughout the remaining 2/3. Waste from these procedures shall be properly disposed of off site.
3. The hole shall be backfilled halfway with a blended mix of topsoil. The hole shall be backfilled and compacted to remove all air pockets and to ensure the tree is stable without the installation of tree stakes.
4. The tree planting pit surface and all planting beds shall be mulched with 75mm of shredded bark mulch. Wood chips will not be accepted. Mulch must not be placed against the trunk of the tree. A sample of mulch shall be submitted for approval.

The Contract Administrator may reject any plant material, whether planted or not, that does not conform to the specifications. Substitutions for specified plants will not be accepted unless approved in writing by the Contract Administrator. Plant material shall be unwrapped prior to inspection with labels left on. The Contract Administrator shall inspect and provide written acceptance of installation.

The client reserves the right to investigate, inspect and reject any standard material, tree or procedure at any time during, or subsequent to, the planting process. Immediately following planting, each tree shall be inspected for damage. Damaged trees shall be replaced or treated in accordance with proper horticultural standards, as directed.

The Developer's landscaper shall implement an ongoing maintenance program of all trees and plant material and shall monitor their progress at the beginning and end of each growing season. Any plant material showing signs of distress shall be treated or replaced immediately, as directed. The Contractor shall maintain all plant material and assume full responsibility for protection of all planted areas until final acceptance of all project work at the end of the specified warranty period (1 year). The Contractor shall water plants as necessary with sufficient quantities to maintain healthy growth.

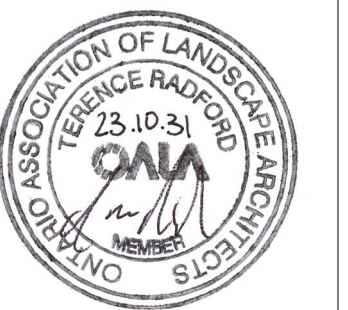
All plants that are dead, or not in healthy, satisfactory growing condition, or which in any way do not meet the specifications, shall be replaced within two weeks of notification at the Contractor's expense.

The Contractor shall remove all stakes and staking material at the end of the warranty period. The Contract Administrator shall inspect and provide final acceptance.

Key Plan:

Legend:

8			
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2	Issued for Revised SPA	23.10.31	TR
1	Issued for SPA	22.12.09	TR
No.	Description	Date	By
Issue / Revision Schedule			



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NOT FOR CONSTRUCTION

Client:

RH Gay Holdings Co.

Project:

**Proposed Mixed-Use Development
1697 Durham Regional Hwy 2,
Courtice, ON**

Drawing Title:

**Landscape Details
Preservation Plan**

Designed By: TR

Project #: 22.49

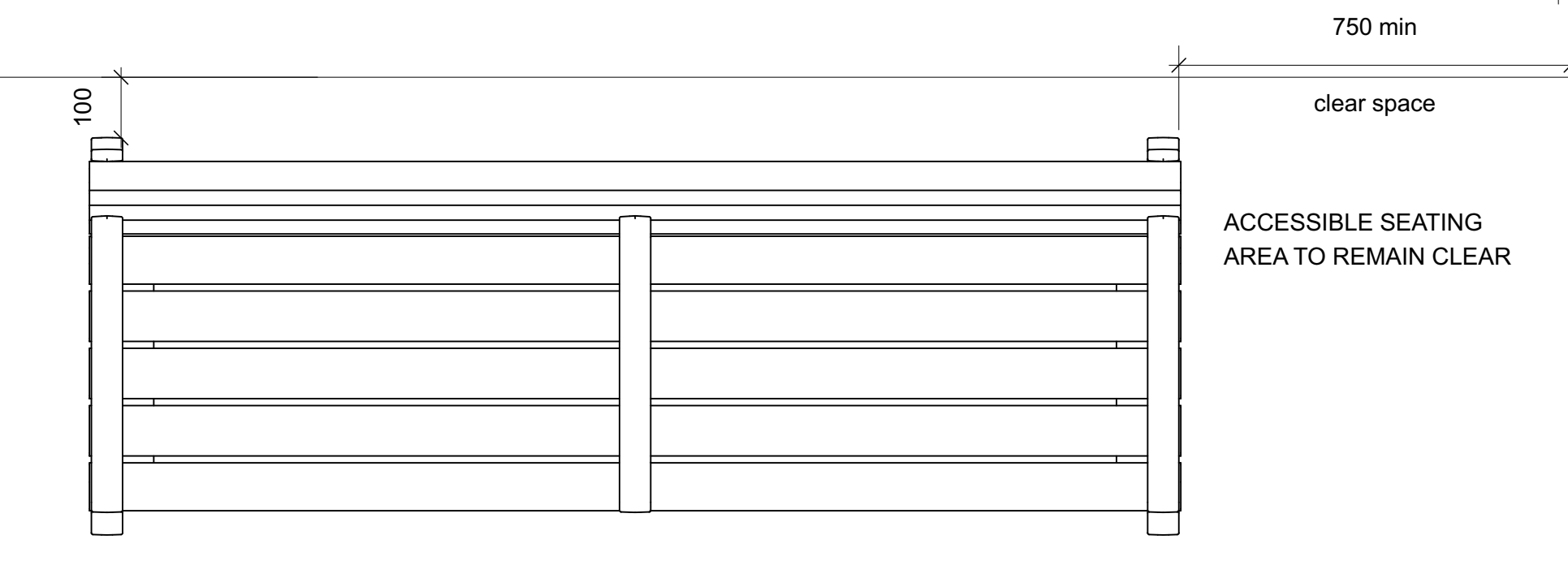
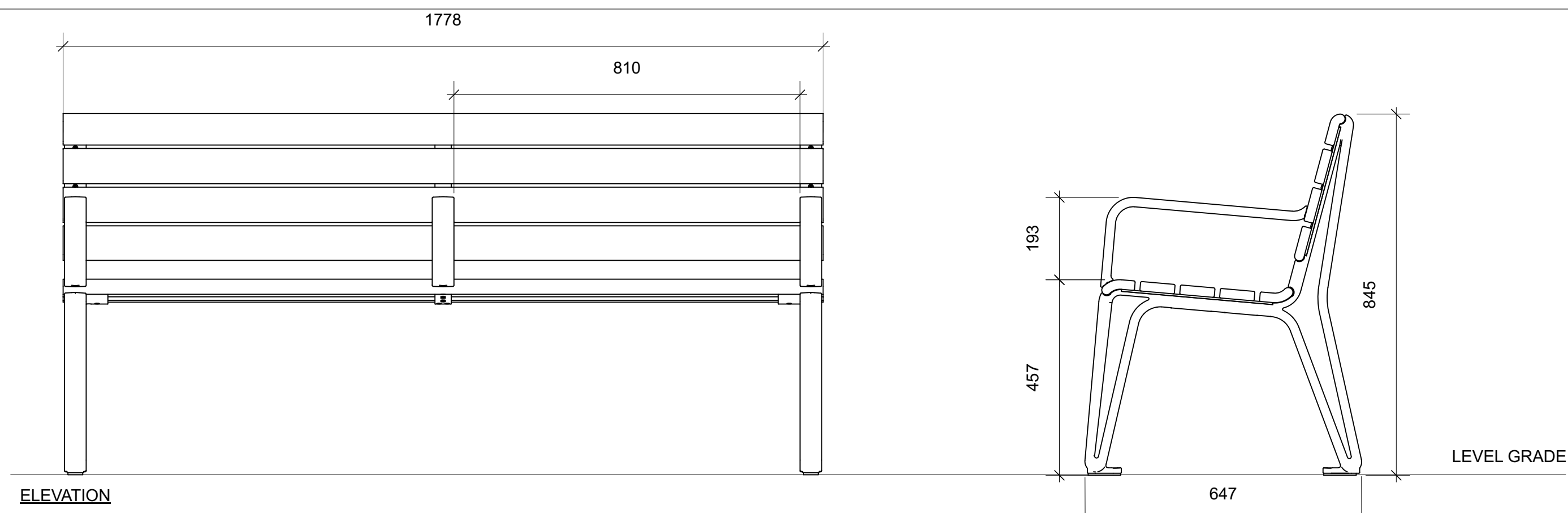
Drawn By: TR

Drawing #:

Approved By: TR

Date: 22/11/15

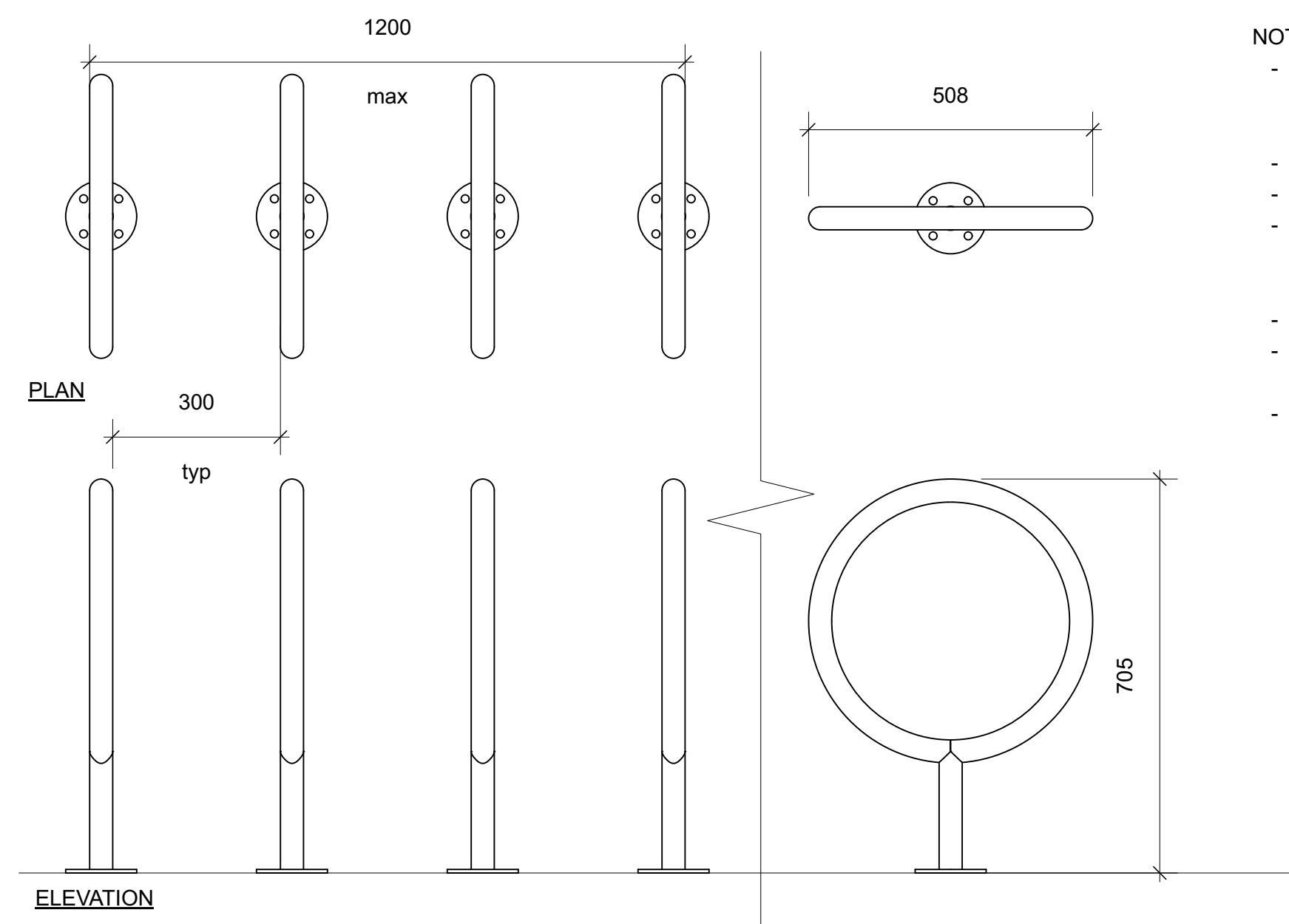
L 2.1



1 Bench
Scale: 1:10

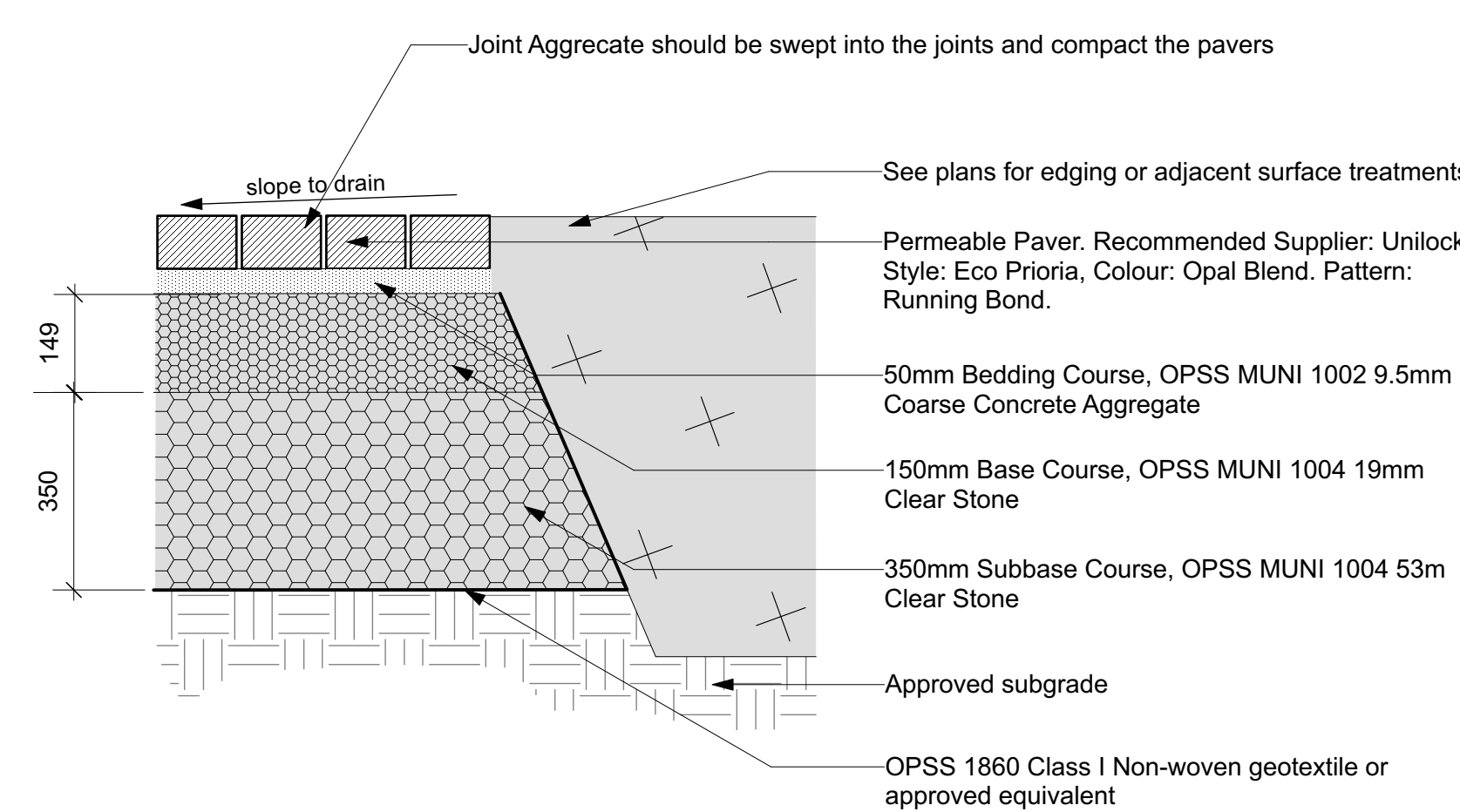
General Notes

- Drawing is in metric scale. All dimensions are in millimeters. Do not scale drawings.
- Plus/Minus (+/-) dimensions are for general verification purposes only and are NOT to be used to establish layout of any feature(s), ever.
- The contractor shall verify all field dimensions onsite during the quotation period. No extras will be allowed for discrepancies between the drawings and the actual site conditions unless reported in writing during the quotation period.
- It is the contractor's responsibility to locate and have staked the exact utility location with all companies involved before starting any work. Hand dig within two (2) meters of all electrical lines.
- Keep the area outside the immediate construction zone clean, safe and usable by the public at all times. Contractor to coordinate all deliveries of materials to ensure minimal construction delays to the approval of the Landscape Architect and/or client's representative.
- Obtain approval of layout from the Landscape Architect and/or client's representative prior to commencement.
- All work to be guaranteed for a period of One (1) Year from the date of substantial performance.
- Make good all damage resulting from work carried out under the contract, at no extra cost. This includes restoration of any/all construction access routes - to as new condition, to the satisfaction of the Landscape Architect and/or client's representative.
- Landscape Architect is not responsible for the accuracy of survey, engineering or architectural drawings. Contractor to verify existing grading/topographic information prior to installing granular bases.
- Construction must conform to all applicable codes and regulations of all authorities having jurisdiction.
- Ensure positive drainage for finished surfaces leaving no pockets or low points for standing water.
- All drawings, specifications and related documents are the copyright of the Landscape Architect noted on the drawings. Reproduction of any part is forbidden without the Landscape Architect's permission.
- Wherever any material is specified by name and/or number thereof, such specifications shall be deemed to be used for the purpose of facilitating a description of the materials and establishing quality, and shall be deemed and construed to be followed by the words 'or approved equal'.
- No substitutions will be permitted which have not been submitted for prior approval by the Landscape Architect or client's representative. All materials shall be new and without flaws or defects and shall be the best of their class and kind. Sufficient descriptive literature and/or samples must be submitted as 'Equal' substitutes.
- These notes apply to all parts of this contract.



- NOTES**
- BIKE RACK MODEL MBR-0150-0000 BY MAGLIN SITE FURNITURE INC. WWW.MAGLIN.COM T: 800-716-5506 OR APPROVED EQUAL
 - SPECIFY POWDERCOAT COLOUR AS GUNMETAL
 - SURFACE MOUNT ON CONCRETE PAD
 - INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS
 - HOLES PROVIDED FOR ANCHORING
 - APPROPRIATELY SIZED GALVANIZED ANCHOR BOLTS TO BE PROVIDED BY CONTRACTOR
 - DAMAGE TO FINISH TO BE TOUCHED UP BY CONTRACTOR TO THE APPROVAL OF THE CONTRACT ADMINISTRATOR

2 Bicycle Racks
Scale: 1:10



- Notes**
- The subgrade should be properly prepared, shaped, and graded toward positive drainages. The prepared subgrade should be carefully proof rolled in the presence of a geotechnical engineer, and any soft or wet spots or other obvious deleterious materials should be sub-excavated and properly replaced with OPSS MUNI 1010 Granular B Type I and compacted.
 - OPSS 1860 Class I Non-woven geotextile or approved equivalent should be used. geotextile should be placed not only between subbase course (53 mm Clear Stone) and subgrade but also be extended to cover permeable interlocking concrete pavement sides (subgrade excavation sides). A minimum of 0.6 m geotextile overlap is recommended.
 - Clear Stone base/subbase course should be vibrated to a dense state.
 - Joint aggregate (OPSS MUNI 1002 9.5 mm Coarse Concrete Aggregate) should be swept into the joints and compact the pavers.
 - Proper drainage should be designed by civil engineer.

3 Permeable Unit Pavers
Scale: 1:10

Key Plan:

Legend:

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2	Issued for Revised SPA	23.10.31	TR
1	Issued for SPA	22.12.09	TR
No.	Description	Date	By
Issue / Revision Schedule			



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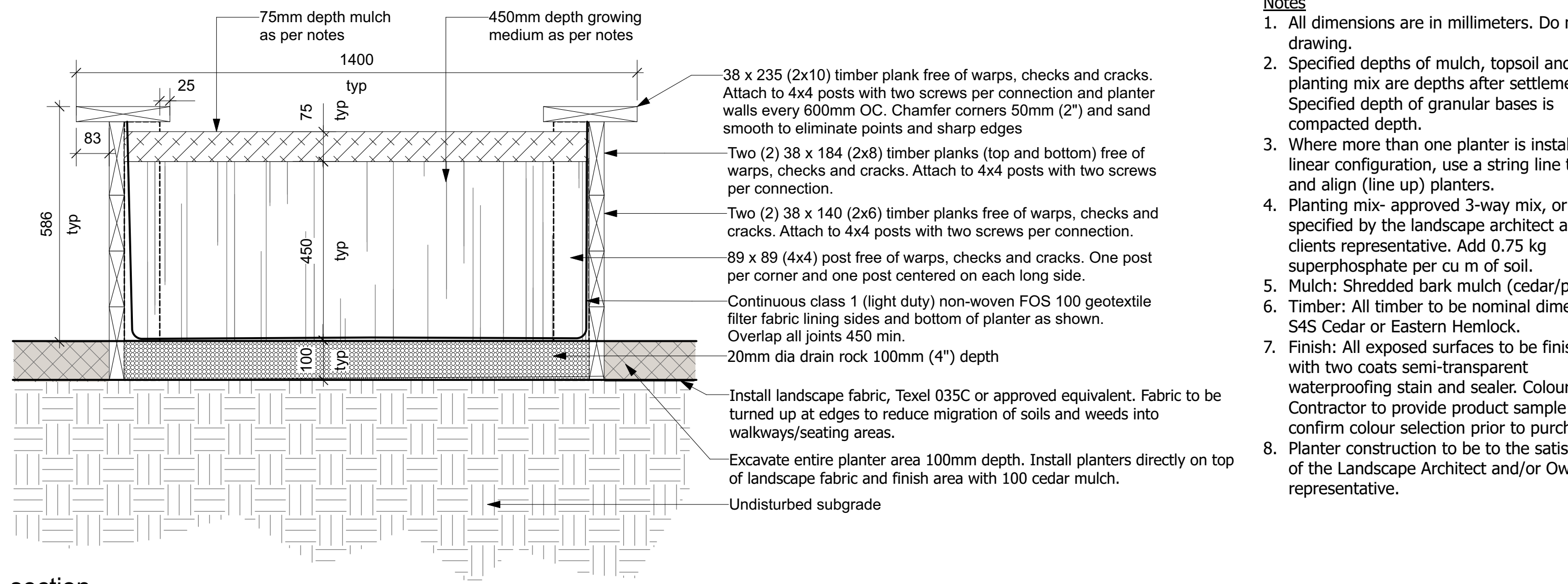
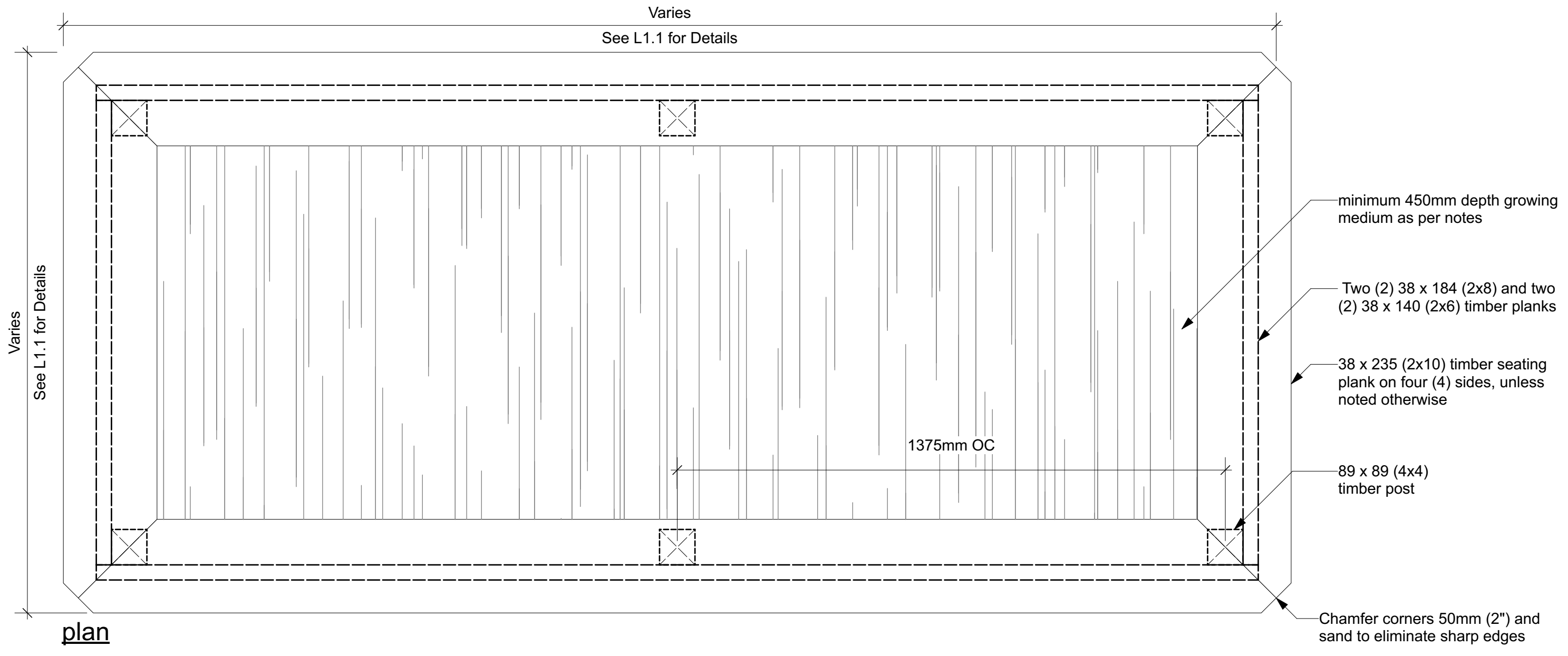
Client:
RH Gay Holdings Co.

Project:
**Proposed Mixed-Use Development
1697 Durham Regional Hwy 2,
Courtice, ON**

Drawing Title:
**Landscape Details
Preservation Plan**

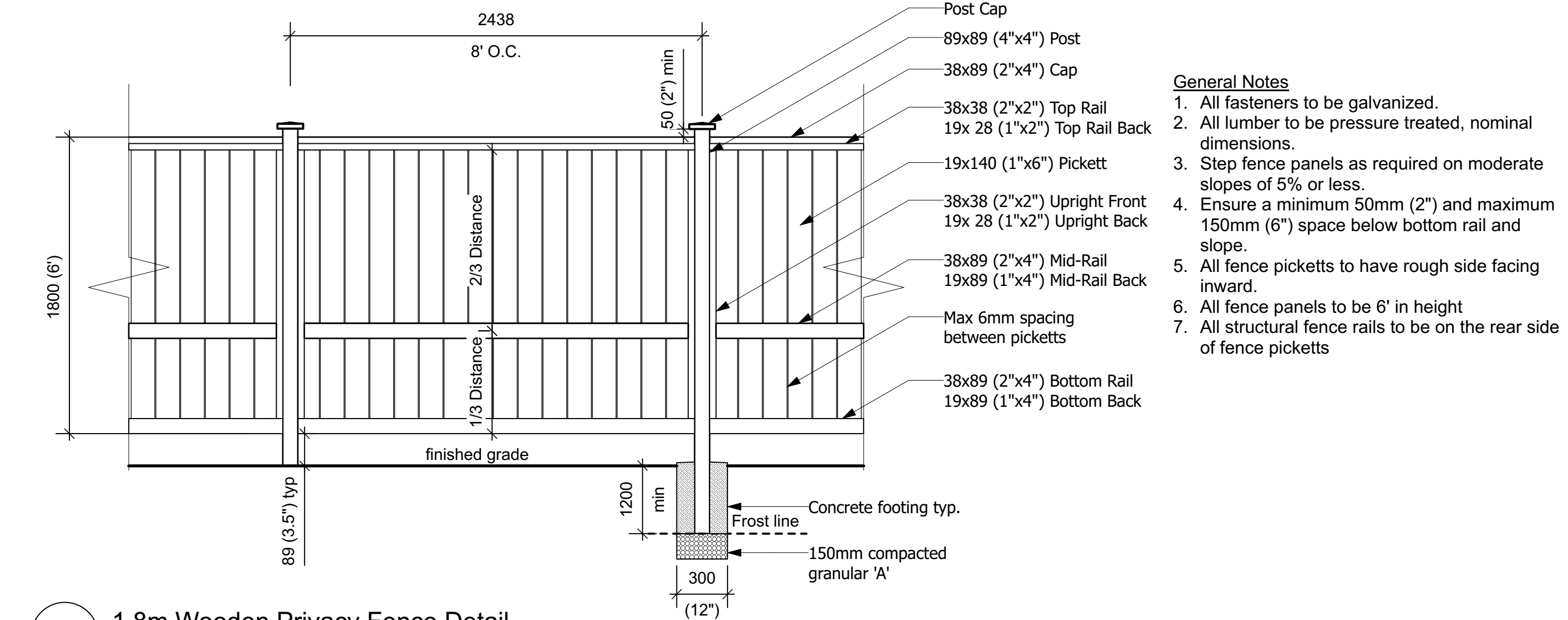
Designed By: TR	Project #: 22.49
Drawn By: TR	Drawing #:
Approved By: TR	L 2.2
Date: 22/11/15	

approved
equally



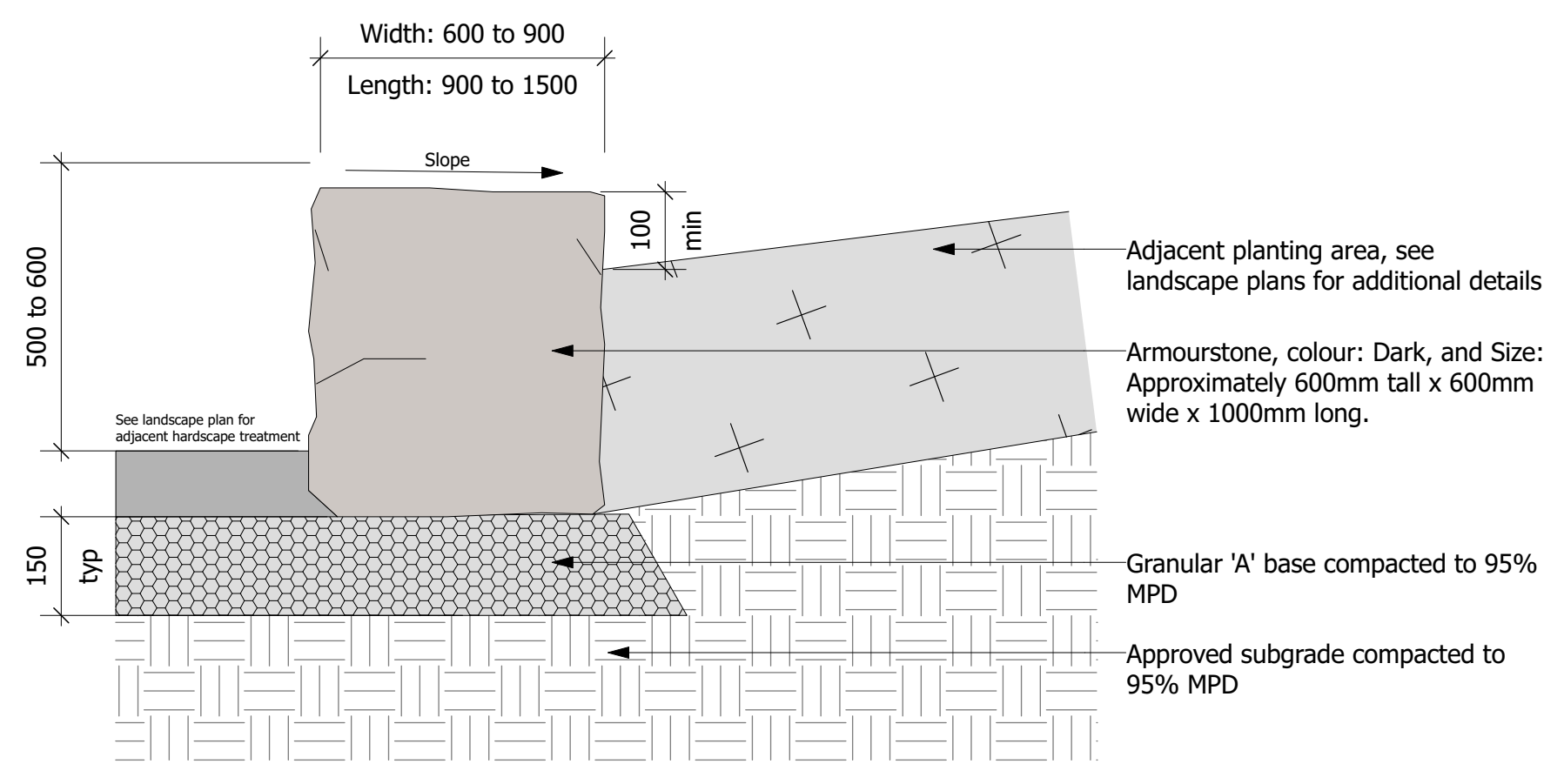
1 Raised Garden Beds
Scale: 1:10

- Notes**
- All dimensions are in millimeters. Do not scale drawing.
 - Specified depths of mulch, topsoil and planting mix are depths after settlement. Specified depth of granular bases is compacted depth.
 - Where more than one planter is installed in a linear configuration, use a string line to layout and align (line up) planters.
 - Planting mix- approved 3-way mix, or as specified by the landscape architect and/or clients representative. Add 0.75 kg superphosphate per cu m of soil.
 - Mulch: Shredded bark mulch (cedar/pine)
 - Timber: All timber to be nominal dimension S4S Cedar or Eastern Hemlock.
 - Finish: All exposed surfaces to be finished with two coats semi-transparent waterproofing stain and sealer. Colour: Cedar. Contractor to provide product sample and confirm colour selection prior to purchase.
 - Planter construction to be to the satisfaction of the Landscape Architect and/or Owners representative.



2 1.8m Wooden Privacy Fence Detail
Scale: 1:25

- General Notes**
- All fasteners to be galvanized.
 - All lumber to be pressure treated, nominal dimensions.
 - Step fence panels as required on moderate slopes of 5% or less.
 - Ensure a minimum 50mm (2") and maximum 150mm (6") space below bottom rail and slope.
 - All fence picketts to have rough side facing inward.
 - All fence panels to be 6' in height
 - All structural fence rails to be on the rear side of fence picketts



4 Armour Stone
Scale: 1:10

- Armour Stone Installation Notes**
- All dimensions are in millimeters. Do not scale drawing;
 - Specified depths of mulch and topsoil are depths after settlement. Specified depth of granular base is compacted depth;
 - Install all armour stone with a minimum 50mm below finished grade of adjacent surface;
 - Ensure that all armour stone are stable and free from all movement after installation is complete;
 - Gaps between adjacent armour stones are to be minimized to the greatest extent possible. Gaps are to be less than 50mm.
 - Gaps greater than 50mm shall be parged with a concrete mix or filled by alternative method to the satisfaction of the Landscape Architect. Contractor to approve method of filling prior to completing;
 - Ensure that all armour stone are installed with a maximum 2% slope;
 - Ensure all armour stone seating surfaces are level with adjacent armour stone; and
 - Installation of armour stone to be to the satisfaction of the Design Consultant and/or clients representative.

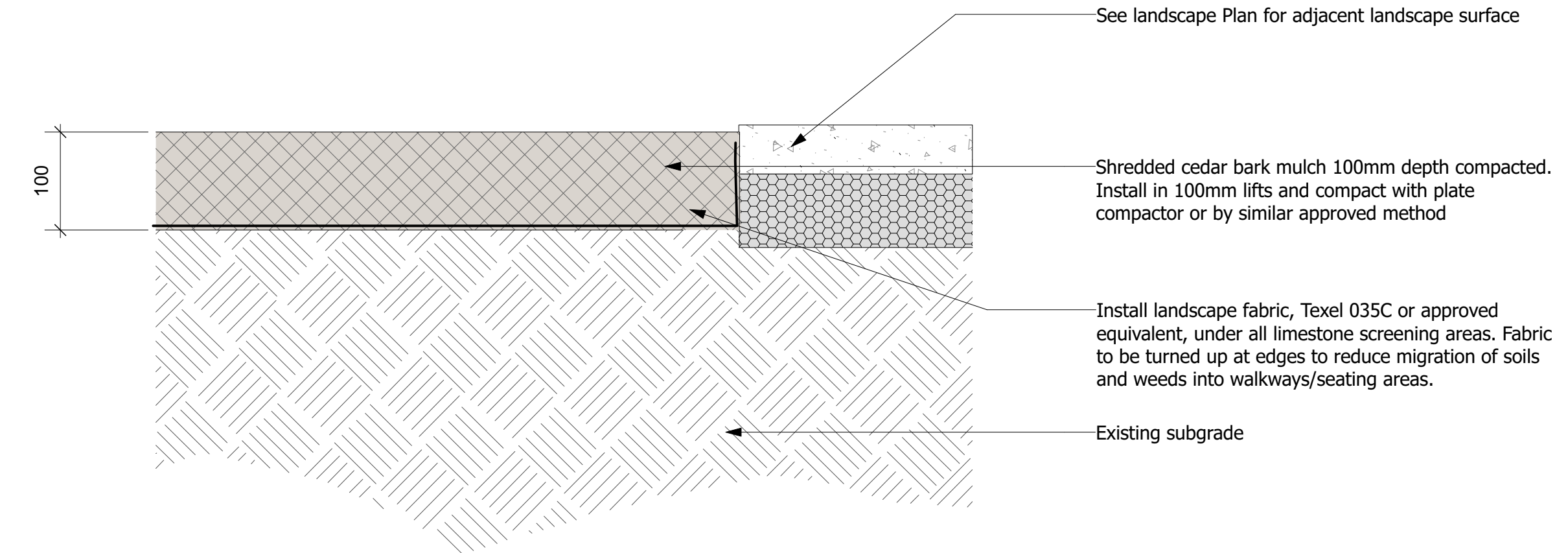
5 4x4' Green Pod Eco-Shed
Scale: N.T.S.

Revised 03/03/08

GREEN POD 4x4
PANELIZED GARDEN BUILDING
INSTRUCTIONAL MANUAL

Cedarshed Industries (1992) Inc.
9770 - 199A Street
Langley, B.C. V1M 2X7
Canada

WWW.CEDARSHED.COM email: sales@cedarshed.com TOLL FREE: 1-800-830-8033

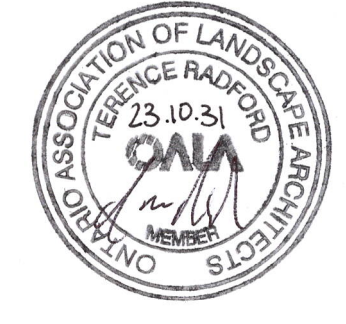


3 Shredded Cedar Mulch
Scale: 1:10

Key Plan:

Legend:

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2	Issued for Revised SPA	23.10.31	TR
1	Issued for SPA	22.12.09	TR
No.	Description	Date	By
Issue / Revision Schedule			



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Client:
RH Gay Holdings Co.

Project:
Proposed Mixed-Use Development
1697 Durham Regional Hwy 2,
Courtice, ON

Drawing Title:
Landscape Details Preservation Plan

Designed By: TR	Project #: 22.49
Drawn By: TR	Drawing #: L 2.3
Approved By: TR	
Date: 22/11/15	

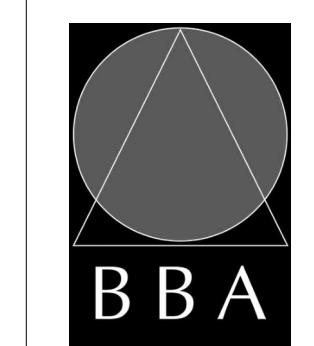
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AND SEALED BY THE CONSULTANT.

NO.	ISSUES	DATE	BY
1	PRE CONSULTATION	APRIL 14 2022	BBA
2	REVISED PRE CONSULTATION	JUNE 22 2022	BBA
3	INTERNAL REVIEW	NOV 29 2022	BBA
4	SITE PLAN APPLICATION	DEC 08 2022	BBA
5	SITE PLAN APPLICATION-R1	NOV 03 2023	BBA

NO.	REVISIONS	DATE	BY
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PROJECT:
Proposed Courtye Mixed-Use Building Development
1697 Durham Regional Hwy 2, Courtice,
ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
SITE PLAN (Roof Plan)



BARRY BRYAN ASSOCIATES

Architects
Engineers
Project Managers

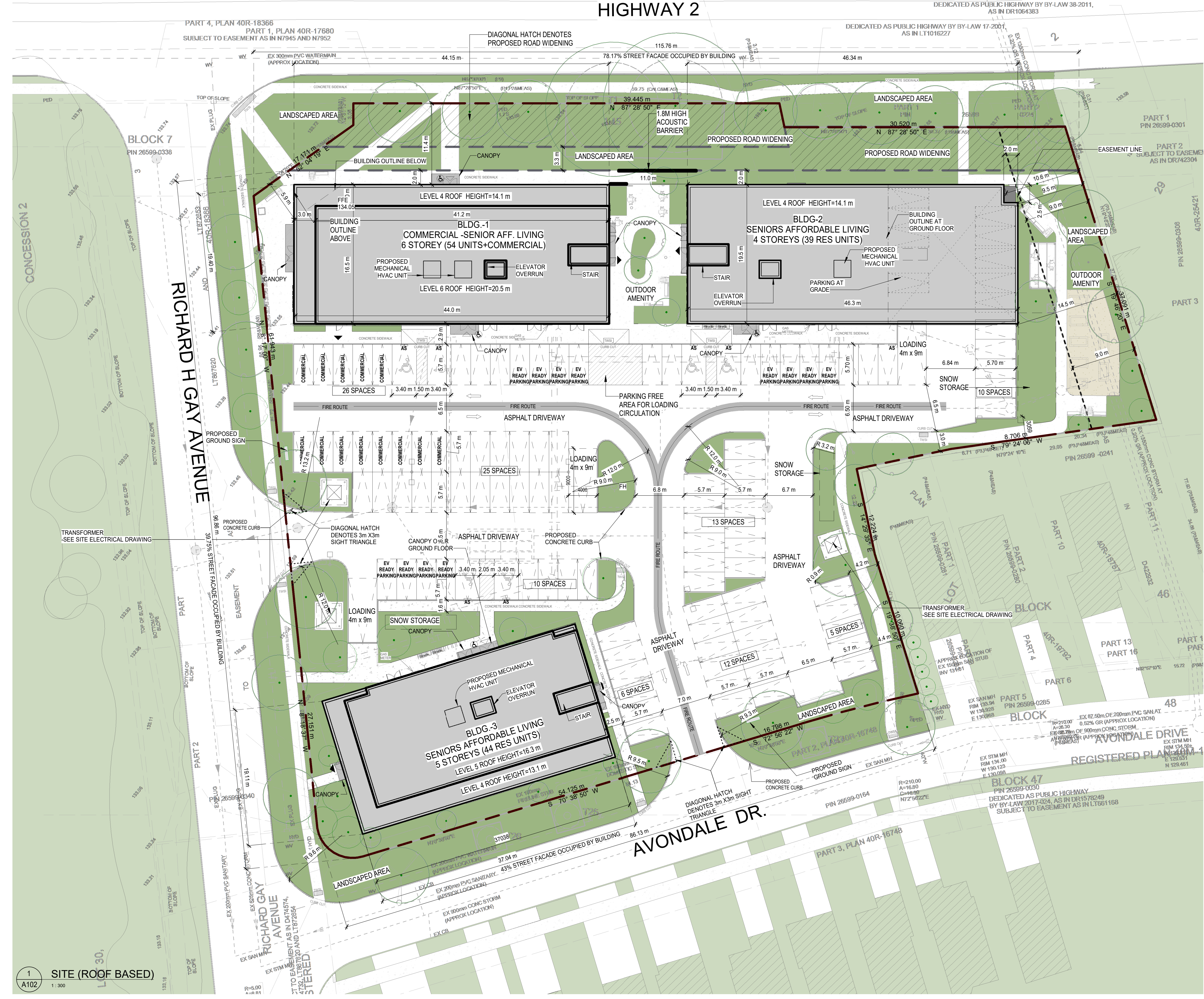
201-250 Water Street
Whitby Ontario L1N 0G8
Tel: (905) 686-0262
Fax: (905) 666-5258
e-mail: bba@bba-arch.com



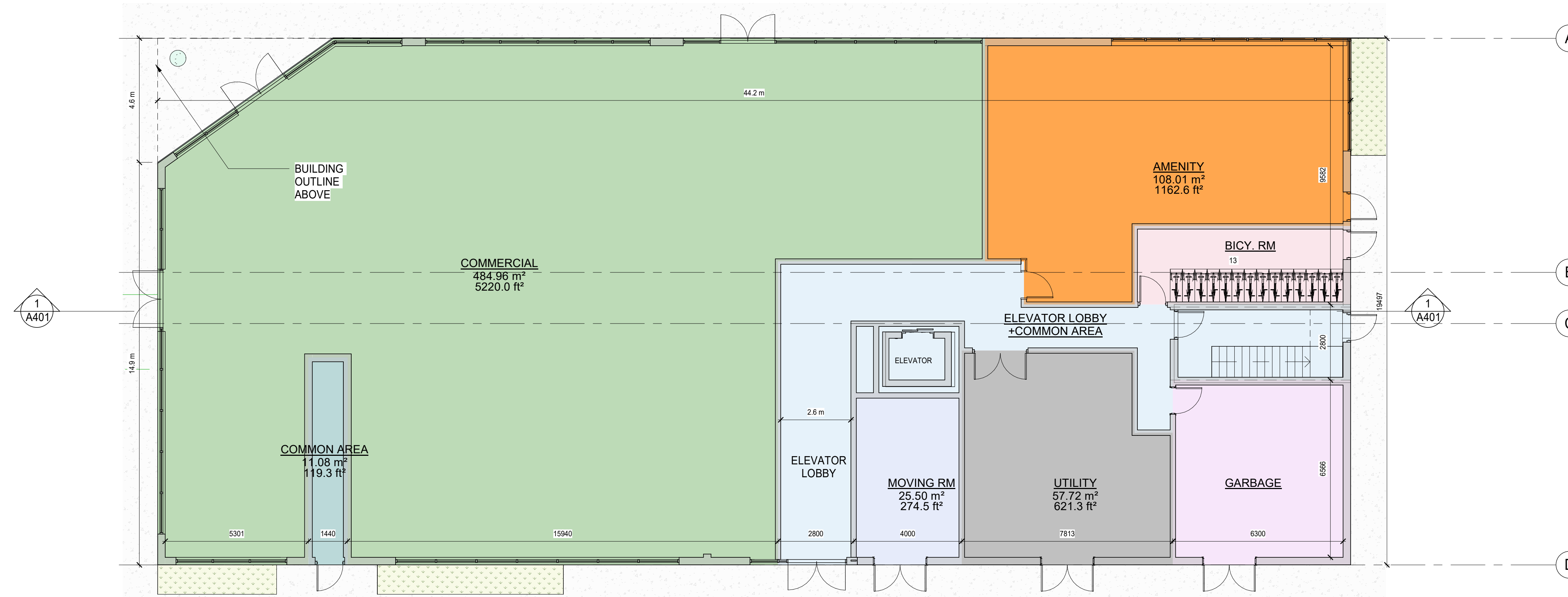
DESIGN BY: AA
DRAWN BY: AA/JP
CHECKED BY: AA/NS

DATE: 2023-11-03
SCALE: 1 : 300
FILE:

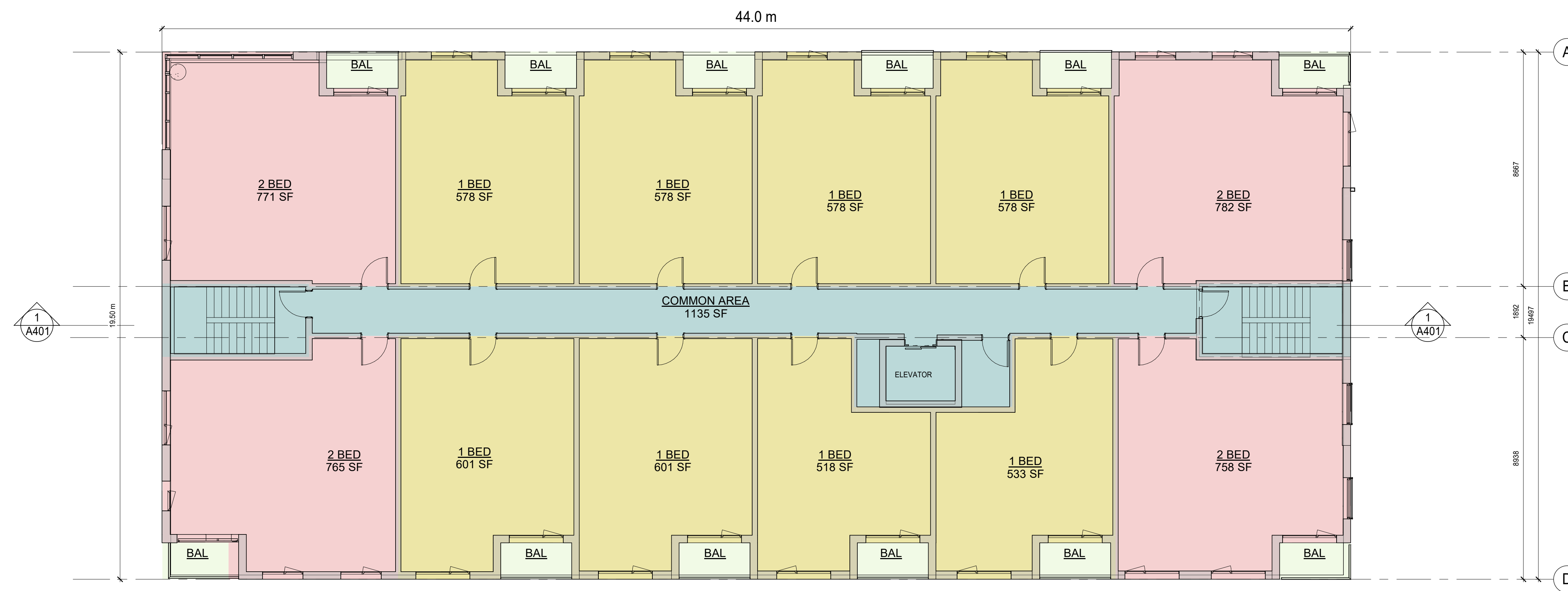
PROJECT NO: **21046**
DRAWING NO: **A102**



1 SITE (ROOF BASED)
A102 1:300



01. GROUND FLOOR
1:100



0.2 2ND FLOOR
1:100

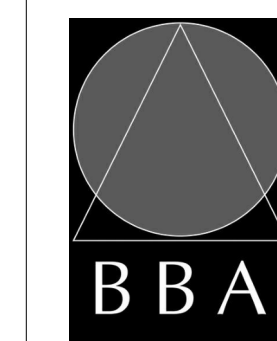
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4	SITE PLAN APPLICATION	DEC 09 2022	BBA
5	SITE PLAN APPLICATION-R1	NOV 03 2023	BBA

NO.	REVISIONS	DATE	BY

PROJECT:
**Proposed Courtye
Mixed-Use Building
Development**
1697 Durham Regional Hwy 2, Courtye,
ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
**BLDG-1 GROUND &
SECOND FLOOR PLAN**



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ASSOCIATES

Architects
Engineers
Project Managers

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Whitby Ontario L1N 0G8
Tel: (905) 666-5252
Fax: (905) 666-5256
e-mail: bba@bba-arch.com

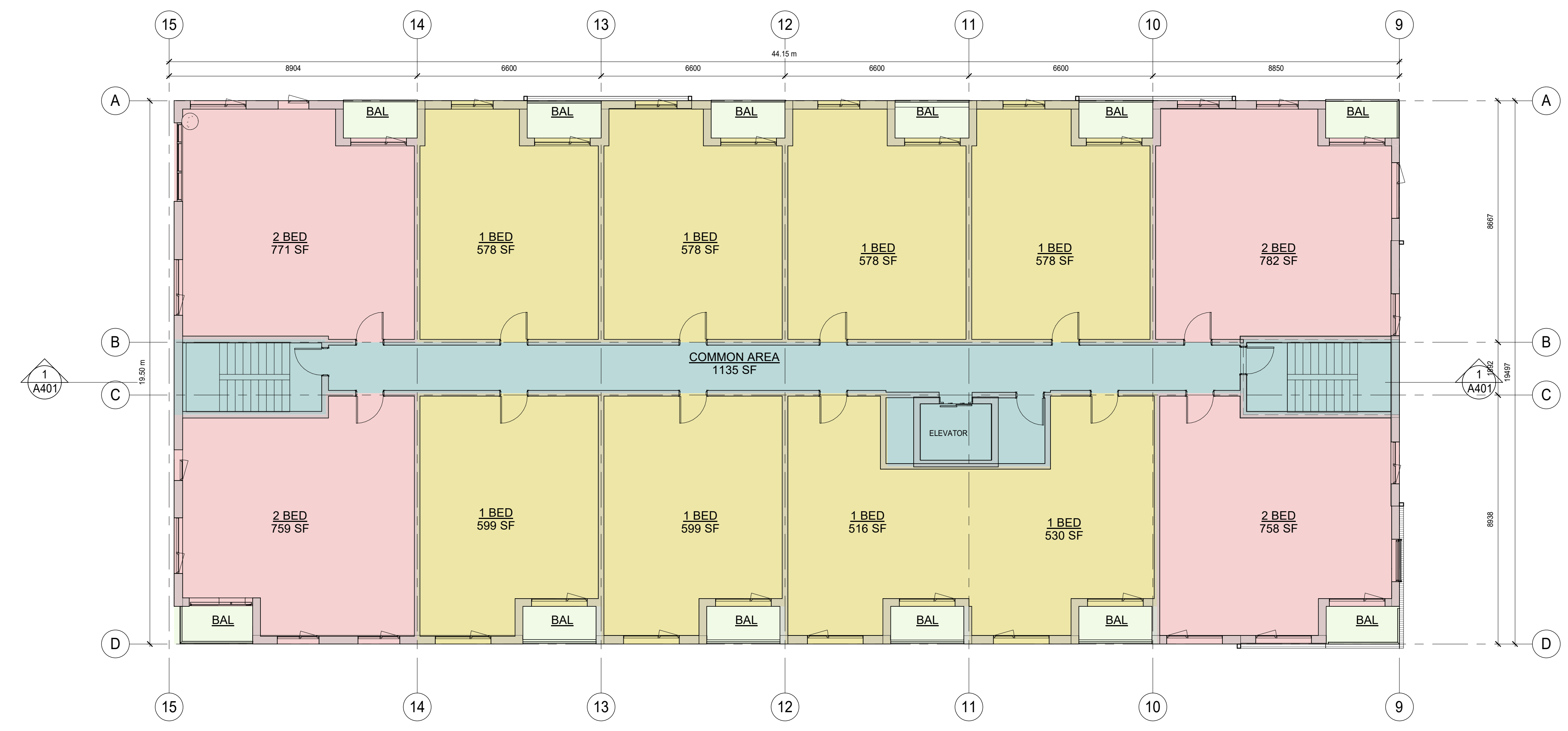


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DATE: 2023-11-03
SCALE: 1:100
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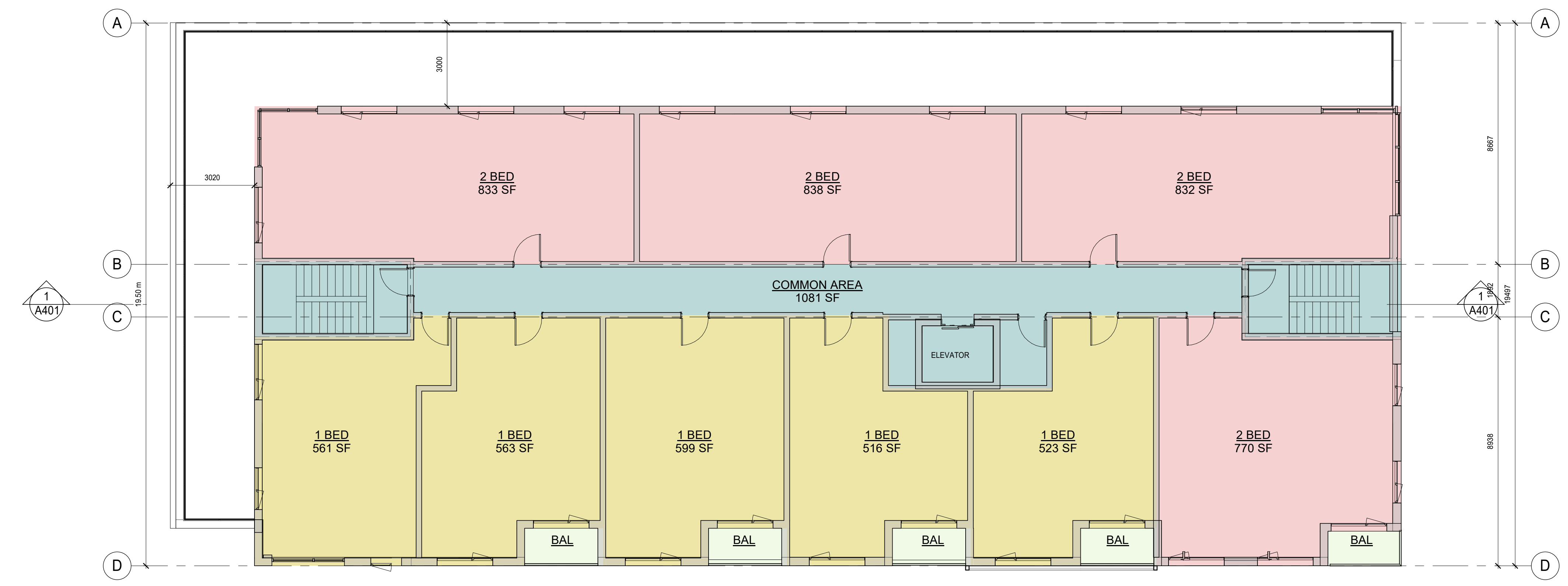
PROJECT NO:
21046

DRAWING NO:
A201.a

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1
A202.g
0.3 FLOORS 3-4
1:100



2
A202.g
0.5 FLOORS 5-6
1:100

NO.	ISSUES	DATE	BY
1	PRE CONSULTATION	APRIL 14 2022	BBA
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5	SITE PLAN APPLICATION-R1	NOV 03 2023	BBA

NO.	REVISIONS	DATE	BY

PROJECT:
**Proposed Courtye
Mixed-Use Building
Development**

1697 Durham Regional Hwy 2, Courtye,
ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
**BLDG-1 TYPICAL FLOOR
PLAN (3-4)&(5-6)**



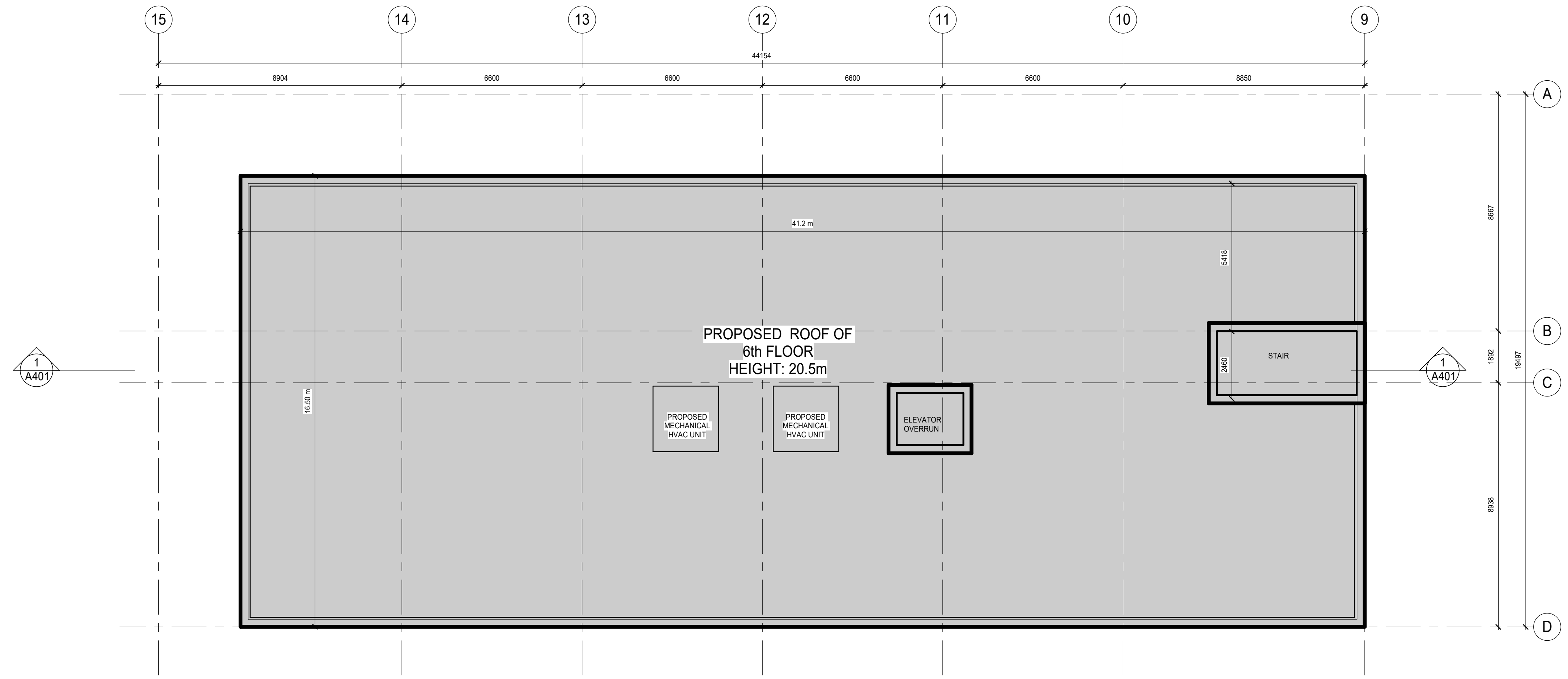
B B A
BARRY BRYAN ASSOCIATES
Architects
Engineers
Project Managers

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CHECKED BY: AA/NS	FILE:

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Whitby Ontario L1N 0G8
Tel: (905) 666-5252
Fax: (905) 666-5258
e-mail: bba@bba-arch.com

PROJECT NO:
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DRAWING NO:
A202.a



1
A203.a
7TH ROOF
1:100

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4	SITE PLAN APPLICATION	DEC 09 2022	BBA
5	SITE PLAN APPLICATION-R1	NOV 03 2023	BBA

NO.	REVISIONS	DATE	BY

PROJECT:
**Proposed Courtice
Mixed-Use Building
Development**

1697 Durham Regional Hwy 2, Courtice,
ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
BLDG-1 ROOF PLAN



**BARRY BRYAN
ASSOCIATES**

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Whitby Ontario L1N 0G8
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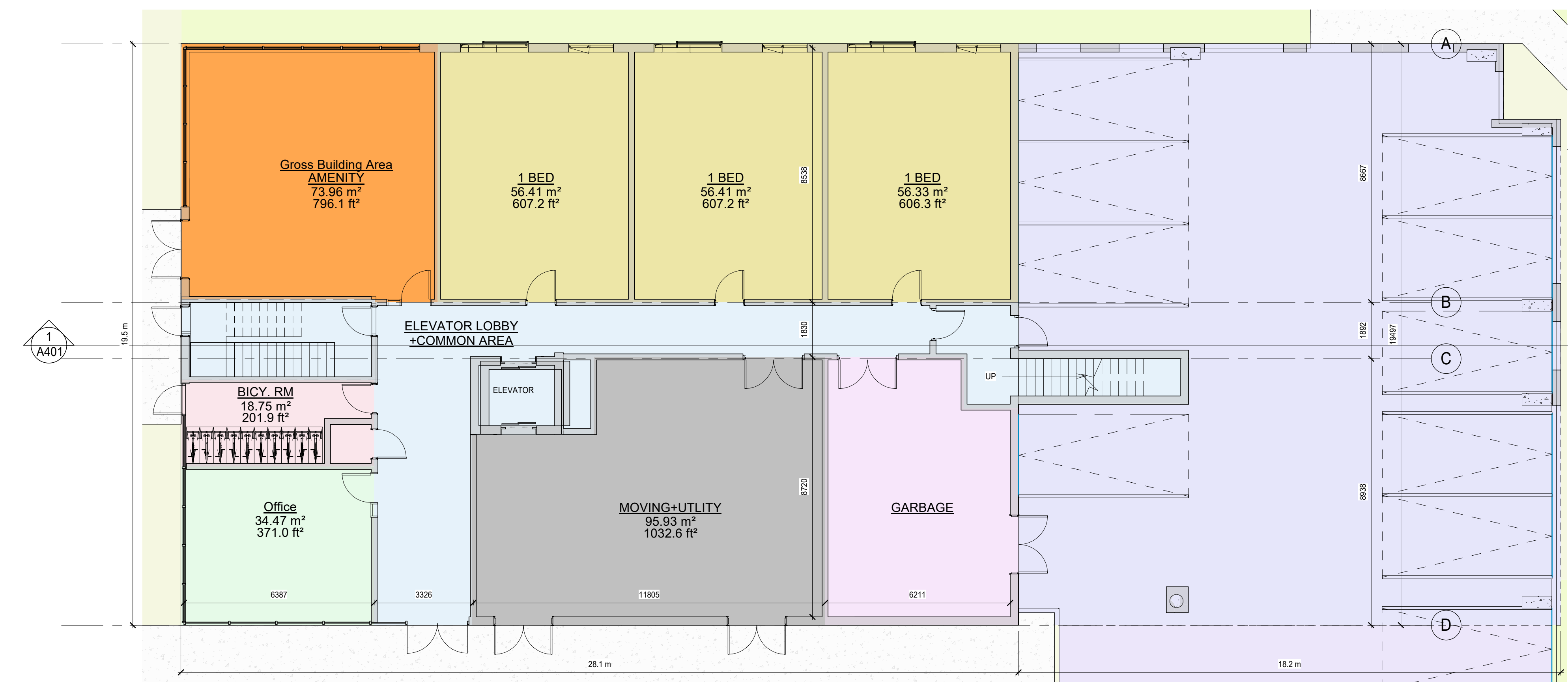


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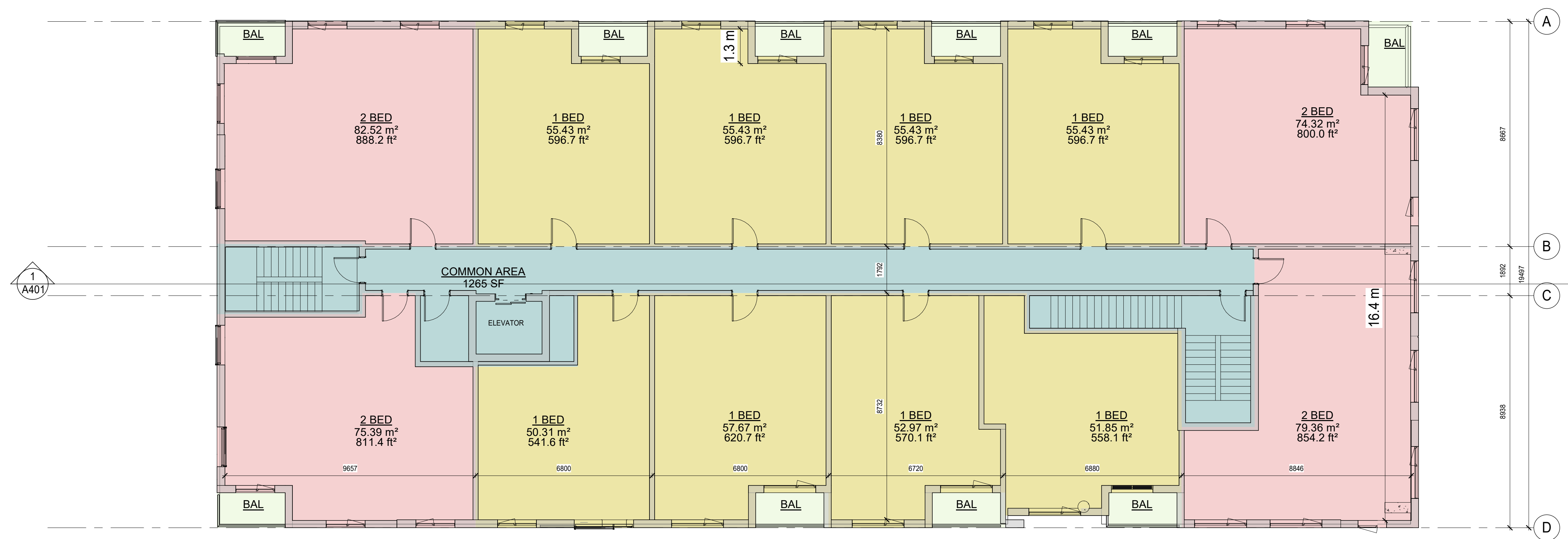
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FILE:

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DRAWING NO: **A203.a**

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1
A204.b
0.1 GROUND FLOOR BLDG. 2
1:100



2
A204.b
0.2 2ND FLOOR BLDG. 2
1:100

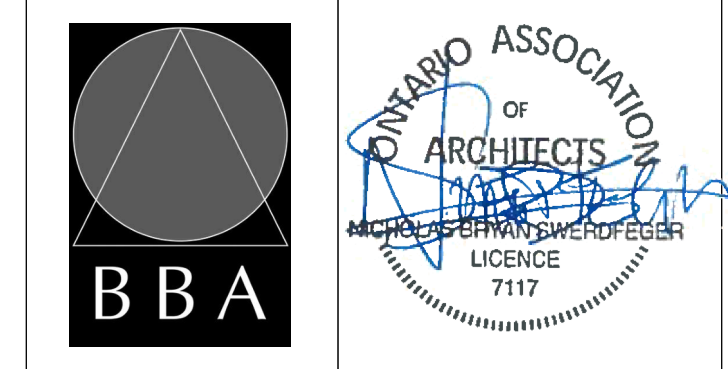
NO.	ISSUES	DATE	BY
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PROJECT:
**Proposed Courtye
Mixed-Use Building
Development**

1697 Durham Regional Hwy 2, Courtye,
ON L1E 2R5
RH Gay Holdings Co.

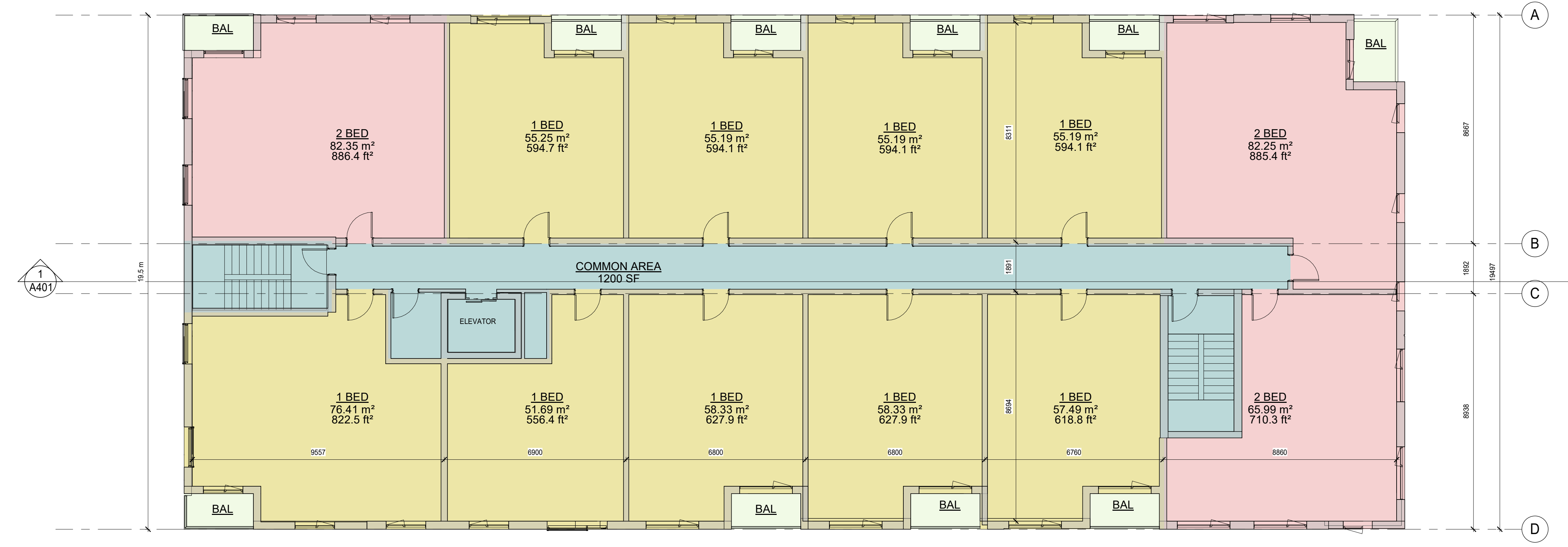
DRAWING:
**BLDG-2 GROUND &
SECOND FLOOR PLAN**



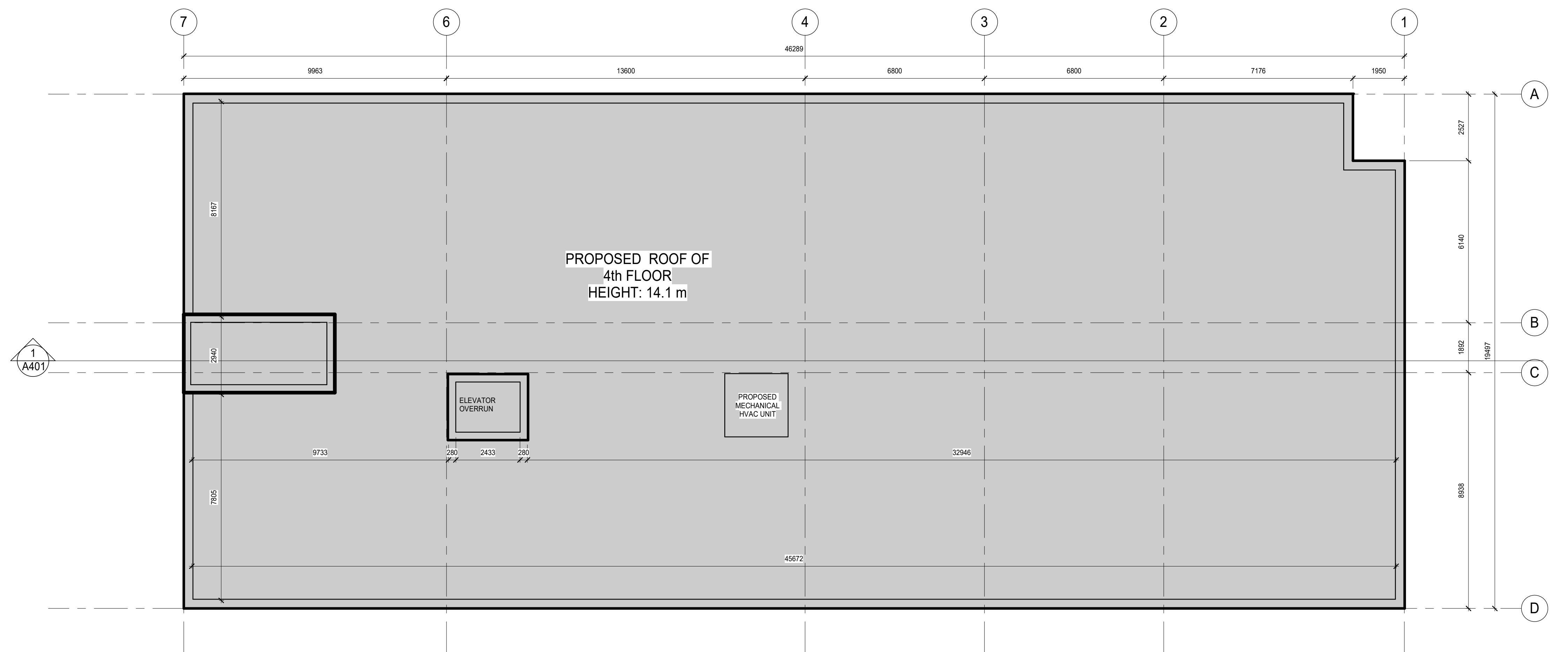
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DATE: 2023-11-03
SCALE: 1:100
FILE:

PROJECT NO:
21046
DRAWING NO:
A204.b

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1
A205.b
0.3 FLOORS 3-4 BLDG. 2
1:100



2
A205.b
0.5 ROOF BLDG. 2
1:100

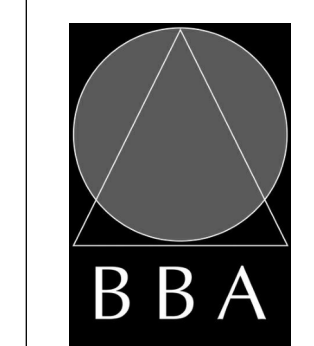
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PROJECT:
**Proposed Courtye
Mixed-Use Building
Development**

1697 Durham Regional Hwy 2, Courtye,
ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
**BLDG-2 TYPICAL FLOOR
(3-4)**



**BARRY BRYAN
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Project Managers

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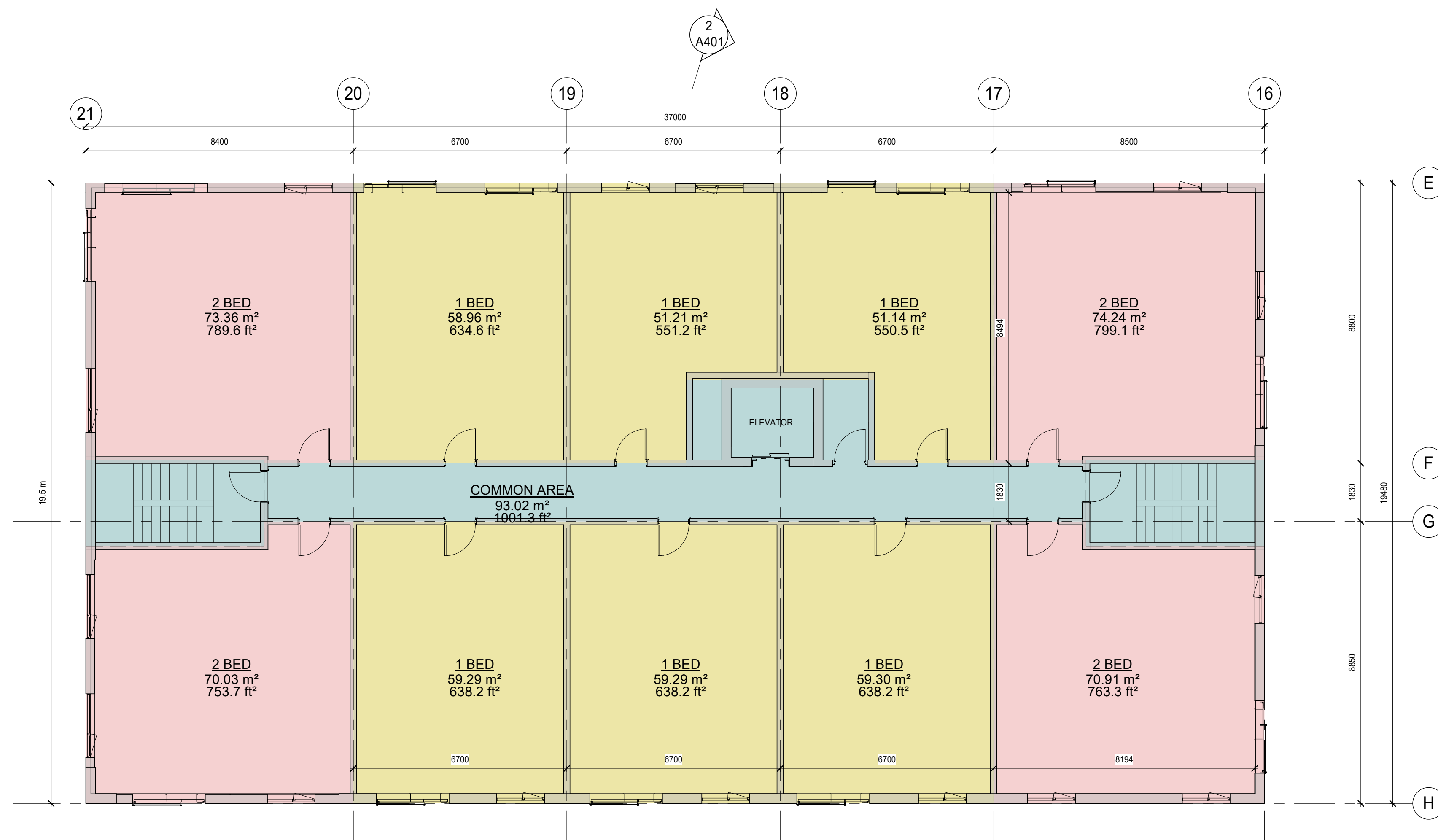
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DATE: 2023-11-03
SCALE: 1:100
FILE:

PROJECT NO:
21046

DRAWING NO:
A205.b



1
A206.c
0.1 GROUND FLOOR BLDG. 3
1:100



2
A206.c
0.3 FLOORS 2-4 BLDG. 3
1:100

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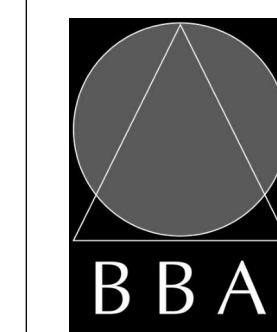
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PROJECT:
**Proposed Courtye
Mixed-Use Building
Development**

1697 Durham Regional Hwy 2, Courtye,
ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
**BLDG-3 GROUND &
TYPICAL FLOOR PLAN
(2-4)**



**BARRY BRYAN
ASSOCIATES**

Architects
Engineers
Project Managers

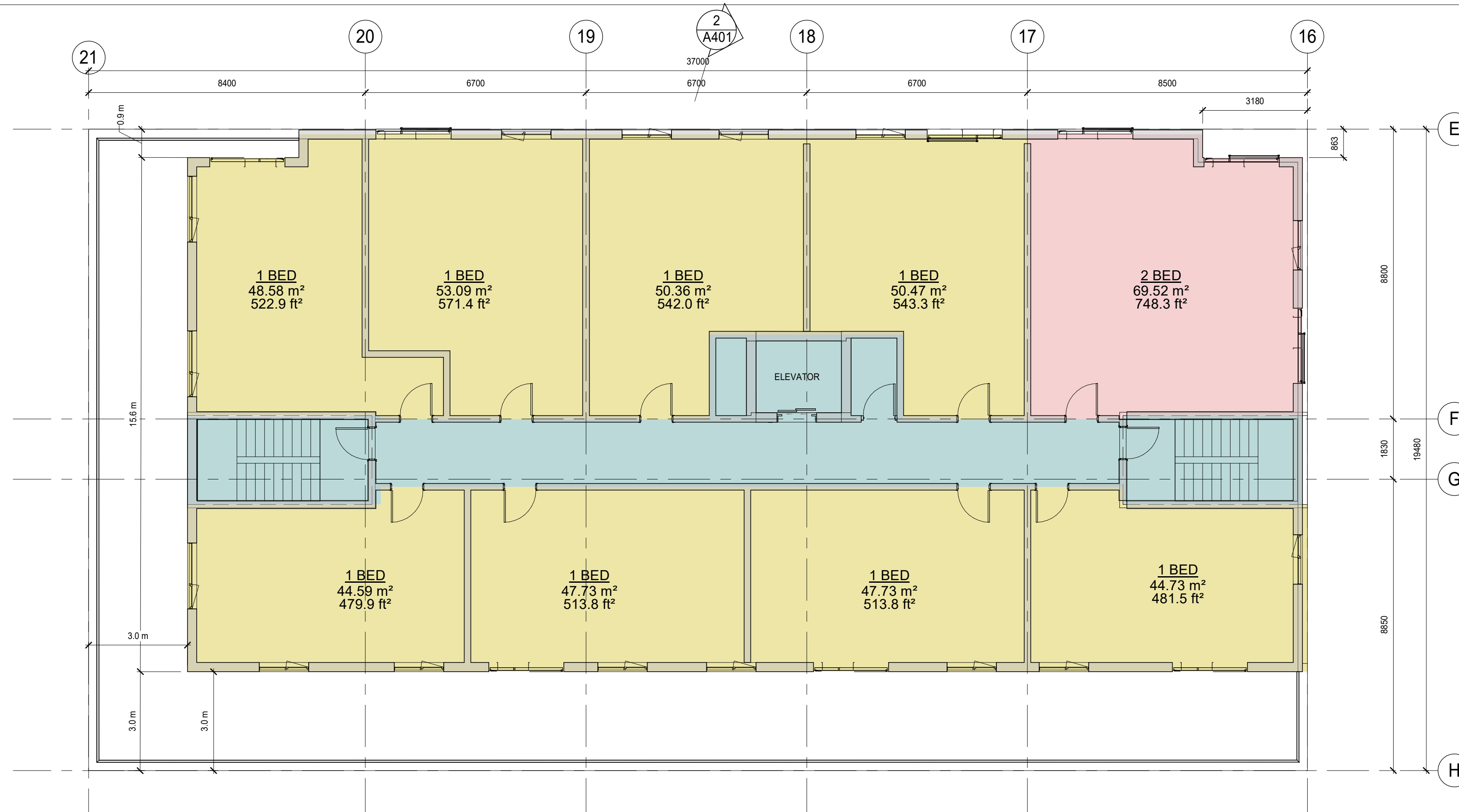
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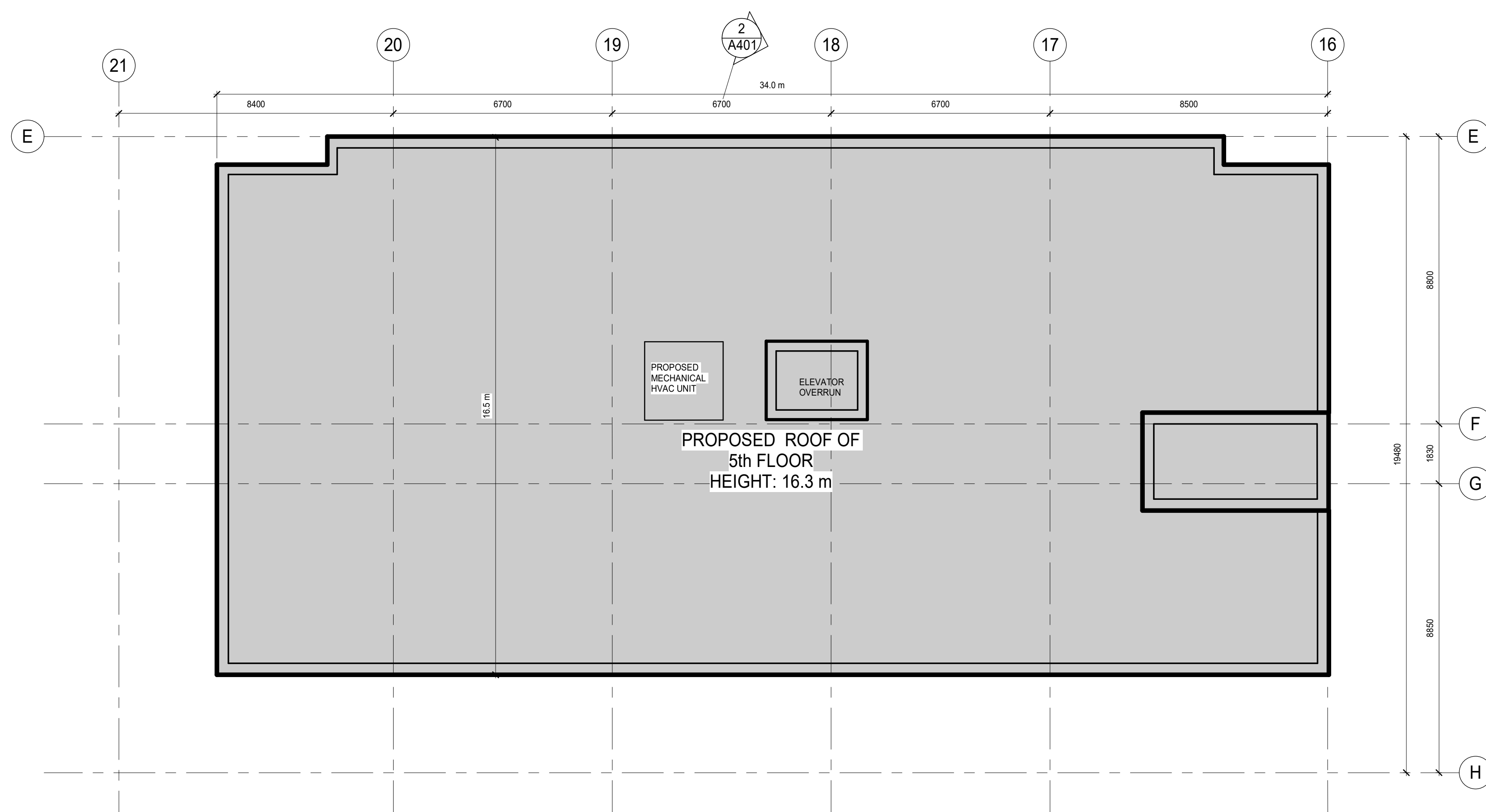
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DATE: 2023-11-03
SCALE: 1:100
FILE:

PROJECT NO:
21046

DRAWING NO:
A206.c



1
A207.c
0.5 FLOORS 5 BLDG. 3
1:100



2
A207.c
6TH FLOOR (BLDG.3)
1:100

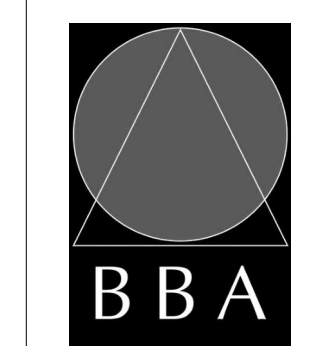
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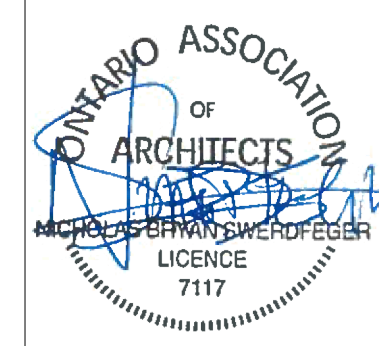
PROJECT:
Proposed Courtye Mixed-Use Building Development
1697 Durham Regional Hwy 2, Courtye, ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
BLDG-3 5TH FLOOR & ROOF PLAN



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e-mail: bba@bba-arch.com



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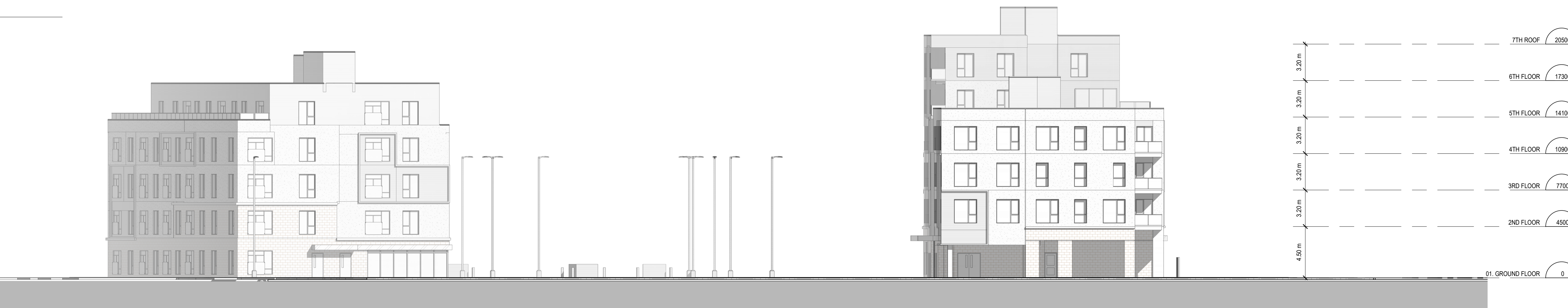
PROJECT NO: **21046**
DRAWING NO: **A207.c**



1 NORTH (HWY-2 FAÇADE)
A301 1:200



3 SOUTH
A301 1:200



4 EAST
A301 1:200



2 WEST
A301 1:200


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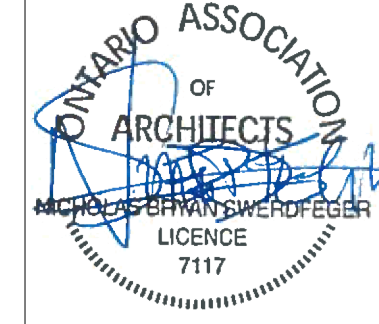
PROJECT:
**Proposed Courtye
Mixed-Use Building
Development**
1697 Durham Regional Hwy 2, Courtye,
ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
ELEVATIONS



**BARRY BRYAN
ASSOCIATES**
*Architects
Engineers
Project Managers*

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FILE:

PROJECT NO:
21046

DRAWING NO:
A301

MATERIAL LEGEND

	EIFS SURFACE-1
	EIFS SURFACE-2
	MASONRY
	METAL PANEL

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NO.	REVISIONS	DATE	BY

PROJECT:
Proposed Courtye Mixed-Use Building Development
1697 Durham Regional Hwy 2, Courtye, ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
BLDG-3 ELEVATIONS



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Architects
Engineers
Project Managers

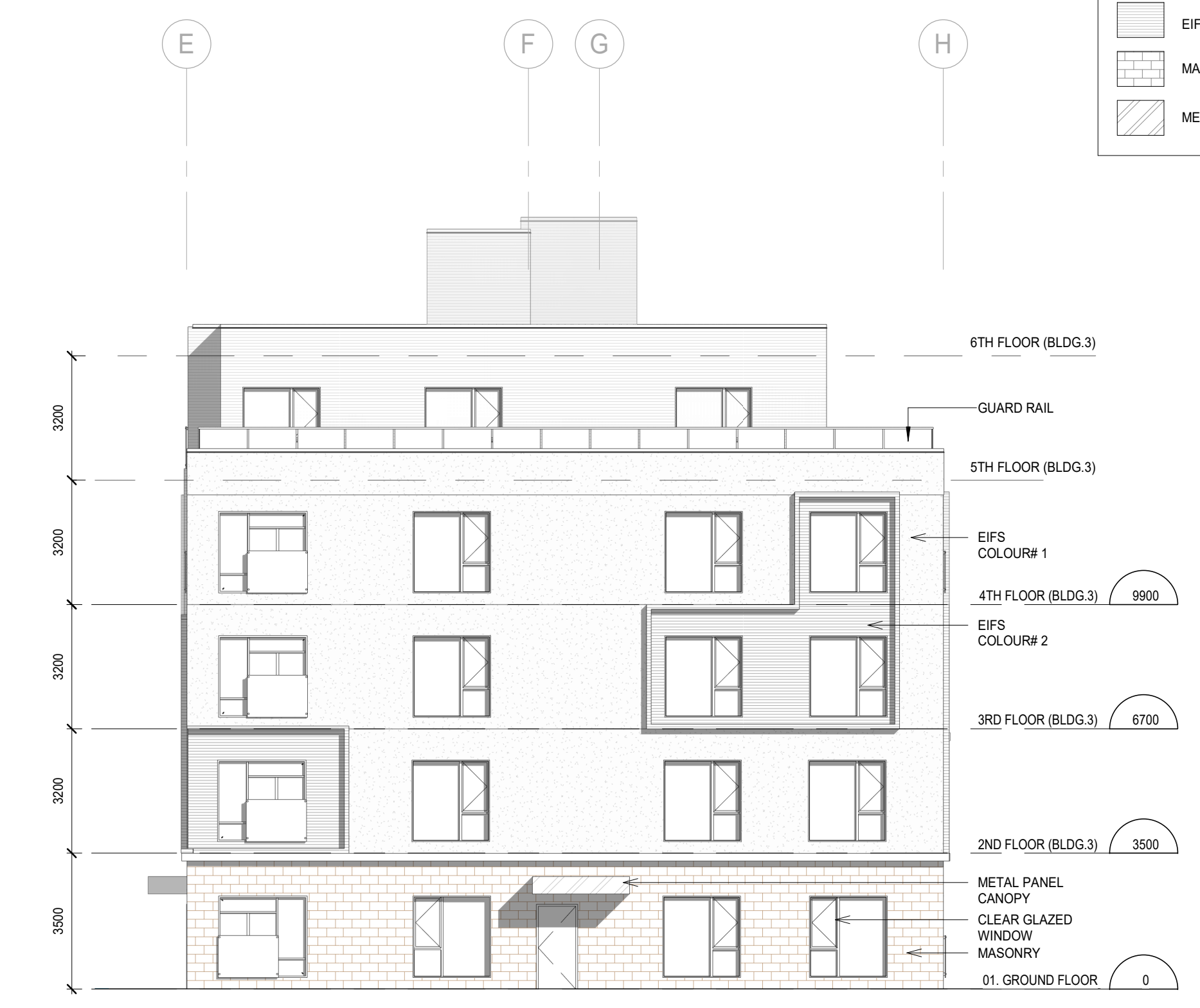
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CHECKED BY: AA/NS
DATE: 2023-11-03
SCALE: 1 : 125
FILE:

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Tel: (905) 696-0262
Fax: (905) 696-5258
e-mail: bba@bba-arch.com

PROJECT NO: **21046**
DRAWING NO: **A304.c**



3 BLDG #3 SOUTH
A304.c
1 : 125



4 BLDG #3 WEST
A304.c
1 : 125



1 BLDG #3 NORTH
A304.c
1 : 125



2 BLDG #3 EAST
A304.c
1 : 125

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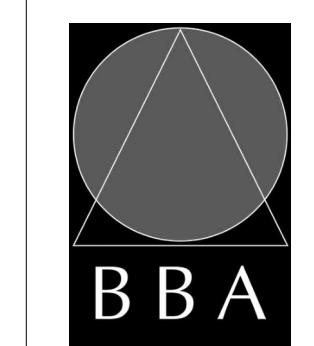
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NO.	REVISIONS	DATE	BY

PROJECT:
**Proposed Courtye
Mixed-Use Building
Development**

1697 Durham Regional Hwy 2, Courtye,
ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
BUILDING SECTION I



**BARRY BRYAN
ASSOCIATES**

Architects
Engineers
Project Managers

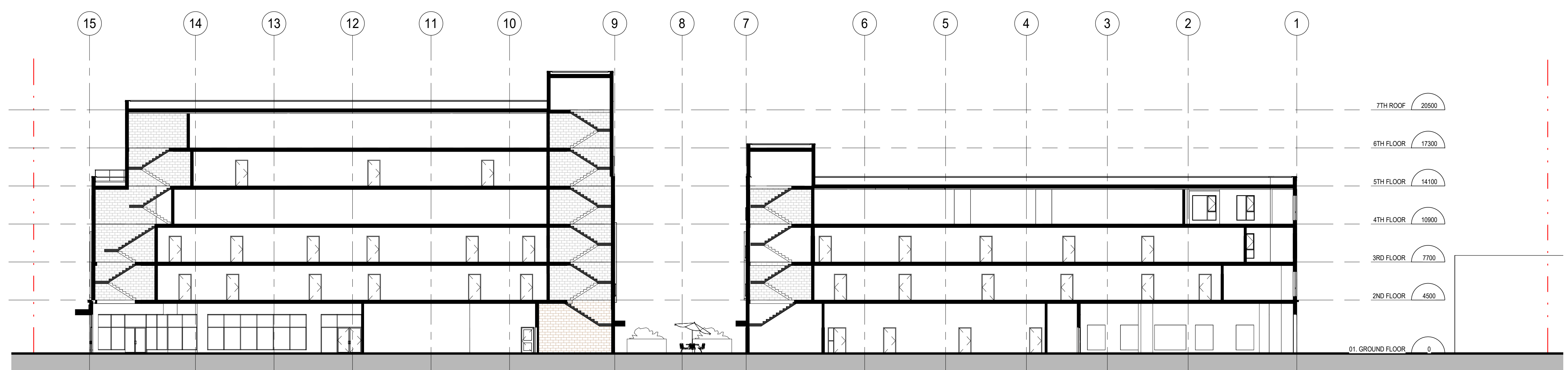
201-250 Water Street
Whitby Ontario L1N 0G8
Tel: (905) 696-0300
Fax: (905) 696-5258
e-mail: bba@bba-arch.com



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CHECKED BY: AA/NS

DATE: 2023-11-03
SCALE: 1 : 200
FILE:

PROJECT NO: **21046**
DRAWING NO: **A401**



1 SITE SECTION THROUGH BUILDING 1 AND 2
A401 1:200



2 SITE SECTION THROUGH BUILDING 1 AND 3
A401 1:200

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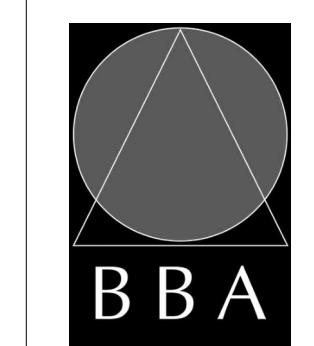
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PROJECT:
**Proposed Courtye
Mixed-Use Building
Development**

1697 Durham Regional Hwy 2, Courtye,
ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
BUILDING SECTION II



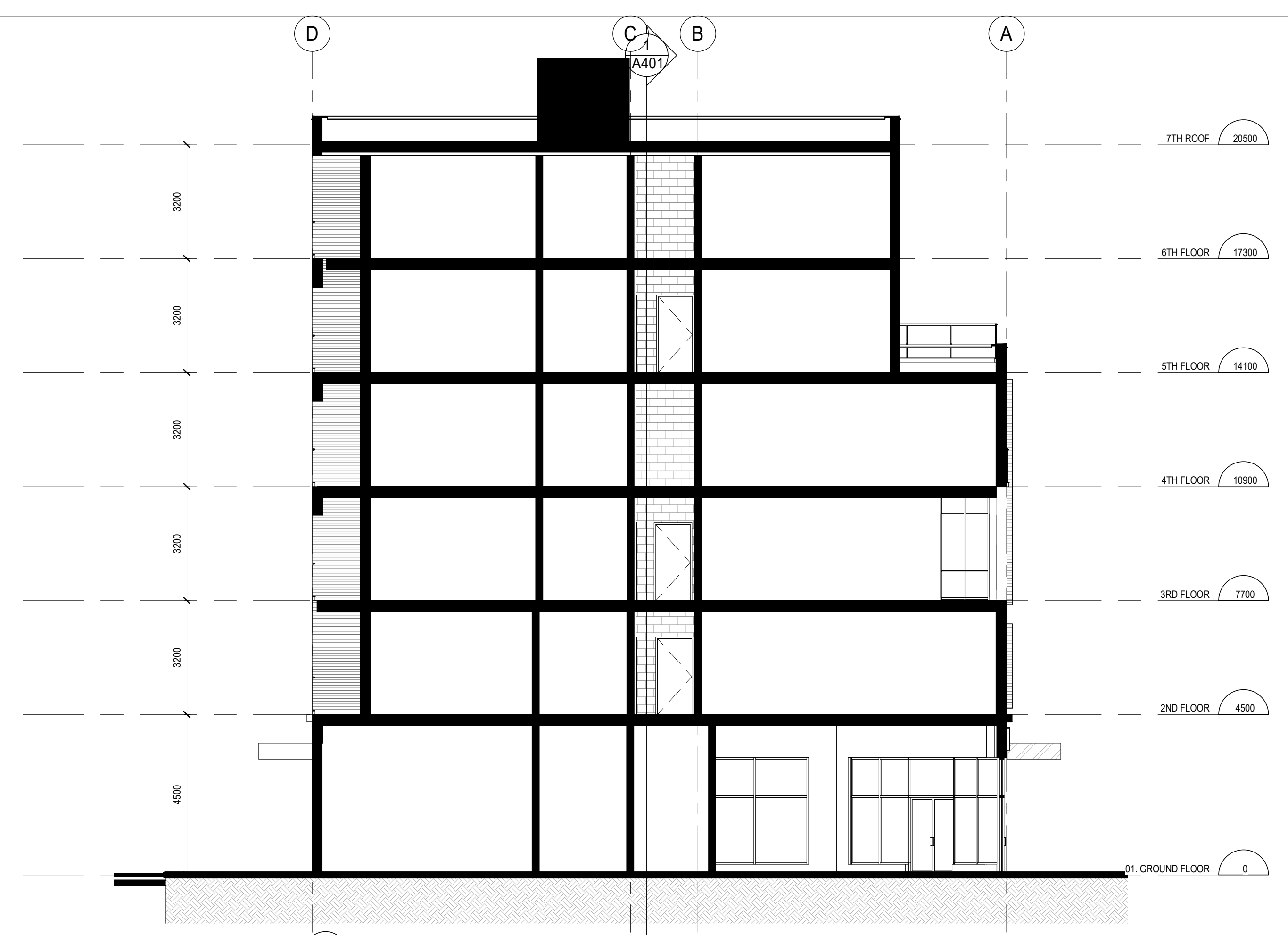
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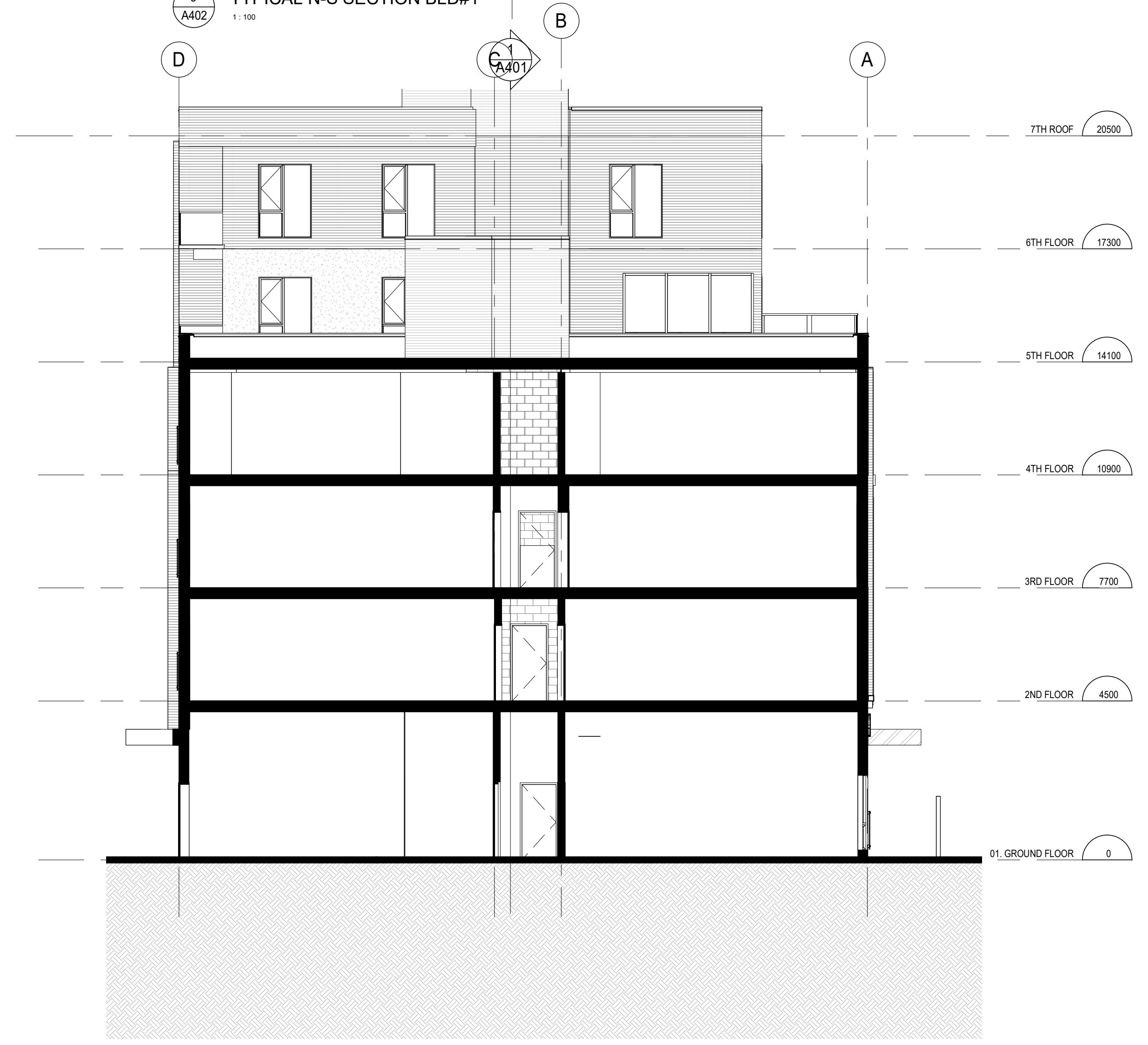


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DATE: 2023-11-03
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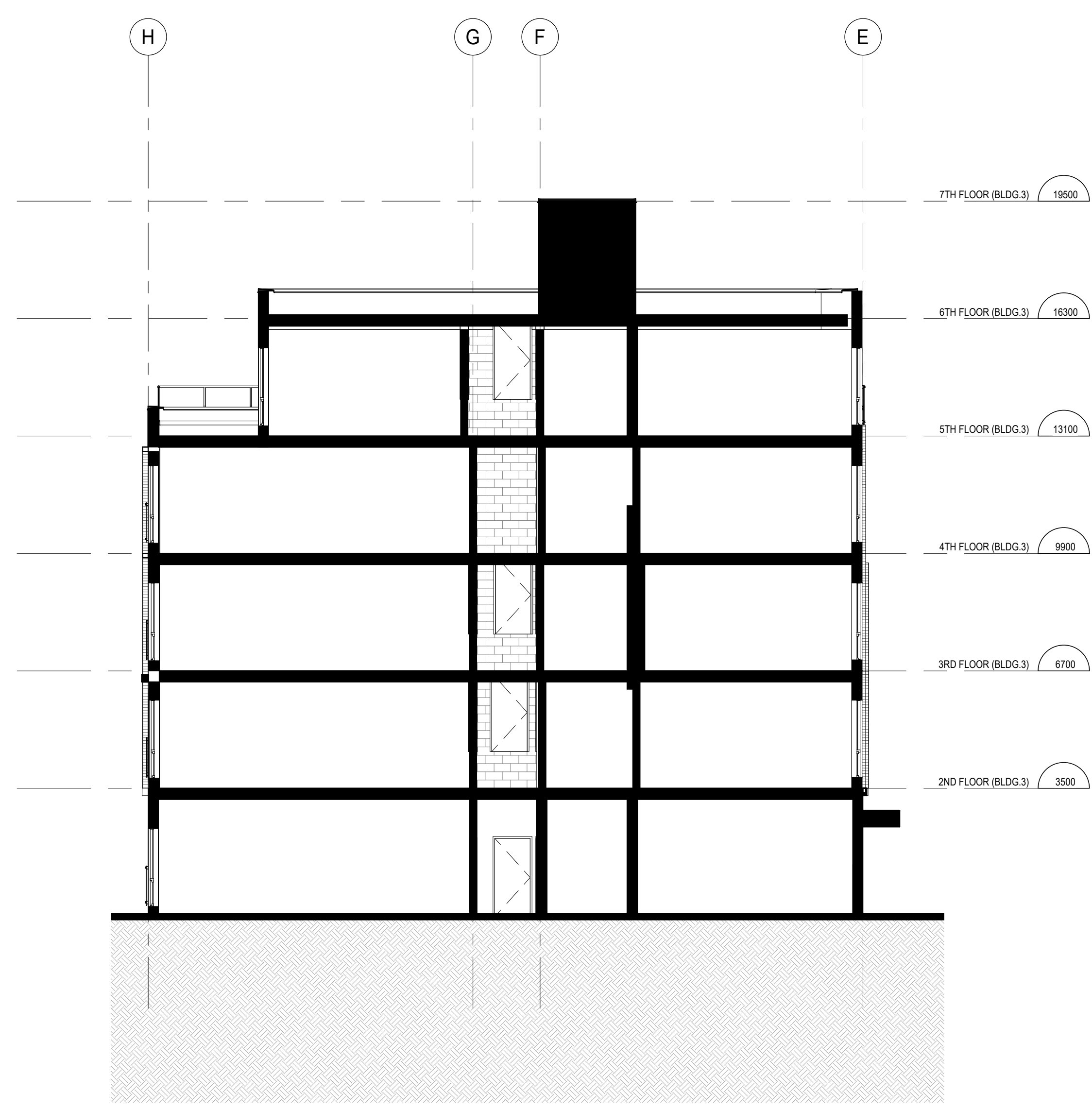
PROJECT NO: **21046**
DRAWING NO: **A402**



3
A402
TYPICAL N-S SECTION BLD#1
1 : 100



1
A402
TYPICAL N-S SECTION BLD#2
1 : 100



2
A402
TYPICAL N-S SECTION BLD#3
1 : 100



1 3D VIEW AXO NORTH- WEST
A601

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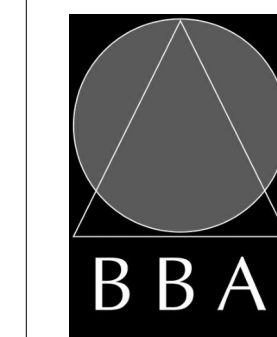
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1	PRE CONSULTATION	APRIL 14 2022	BBA
2	REVISED PRE CONSULTATION	JUNE 22 2022	BBA
3	INTERNAL REVIEW	NOV 29 2022	BBA
4	SITE PLAN APPLICATION	DEC 08 2022	BBA
5	SITE PLAN APPLICATION-R1	NOV 03 2023	BBA

NO.	REVISIONS	DATE	BY
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PROJECT:
**Proposed Courtyce
Mixed-Use Building
Development**

1697 Durham Regional Hwy 2, Courtyce,
ON L1E 2R5
RH Gay Holdings Co.

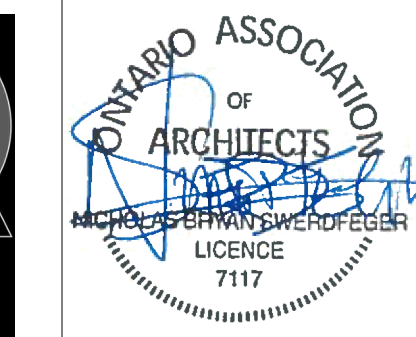
DRAWING:
**3D VIEW AXO
NORTH-WEST**



**BARRY BRYAN
ASSOCIATES**

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DESIGN BY: [Signature]
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DATE: 2023-11-03
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PROJECT NO: **21046**
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BIRD'S EYE VIEW FROM SOUTH EAST



BIRD'S EYE VIEW FROM SOUTH WEST



1 3D VIEW AXO NORTH- WEST
A602

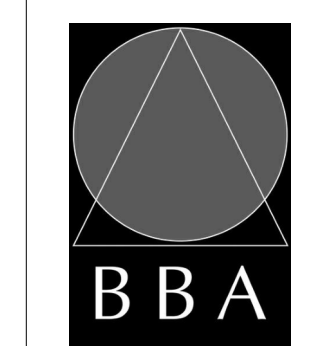
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3	INTERNAL REVIEW	NOV 29 2022	BBA
4	SITE PLAN APPLICATION	DEC 09 2022	BBA
5	SITE PLAN APPLICATION-R1	NOV 03 2023	BBA

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PROJECT:
**Proposed Courtye
Mixed-Use Building
Development**

1697 Durham Regional Hwy 2, Courtye,
ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
**3D VIEW AXO
NORTH-EAST**



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