

# Mixed-Use Building Development (BLDG.#3) PHASE 1

1697 Durham Regional Hwy 2, Courtice, ON L1E 2R5

## DRAWING LIST

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A000 COVER SHEET

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SG-1 SITE GRADING PLAN  
ES-1 EROSION AND SEDIMENT CTRL PLAN  
SD-1 PRE-DEVELOPMENT STORM DRAINAGE SCHEME  
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TT-2 TRUCK TURNING PLAN  
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SE-2 BLDG-1 SITE ELECTRICAL  
SE-3 BLDG-2 SITE ELECTRICAL  
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L2.1 LANDSCAPE DETAILS  
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S501 FOUNDATION SECTIONS  
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### MECHANICAL

M1 GROUND FLOOR DOMESTIC WATER  
M2 SECOND FLOOR DOMESTIC WATER  
M3 THIRD FLOOR DOMESTIC WATER  
M4 FOURTH FLOOR DOMESTIC WATER  
M5 FIFTH FLOOR DOMESTIC WATER  
M6 ROOF DOMESTIC WATER  
M7 GROUND FLOOR SANITARY  
M8 SECOND FLOOR SANITARY  
M9 THIRD FLOOR SANITARY  
M11 FIFTH FLOOR SANITARY  
M12 ROOF AND SANITARY DETAILS  
M13 GROUND FLOOR HVAC  
M14 SECOND FLOOR HVAC  
M15 THIRD FLOOR HVAC  
M16 FOURTH FLOOR HVAC  
M17 FIFTH FLOOR HVAC  
M18 ROOF HVAC  
M19 MECHANICAL SCHEDULES  
M20 FIXTURE SPECIFICATION  
M21 MECHANICAL SPECIFICATION

### ELECTRICAL

E1 SLD  
E2 FIRST FLOOR POWER  
E3 SECOND FLOOR POWER  
E4 THIRD FLOOR POWER  
E5 FOURTH FLOOR POWER  
E6 FIFTH FLOOR POWER  
E7 ROOF POWER  
E8 FIFTH FLOOR LIGHTING  
E9 SECOND FLOOR LIGHTING  
E10 THIRD FLOOR LIGHTING  
E11 FOURTH FLOOR LIGHTING  
E12 FIFTH FLOOR LIGHTING  
E13 FIRST AND SECOND FLOOR FIRE ALARM  
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E16 LEGENDS  
E17 PANEL BOARD SCHEDULES  
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### FIRE PROTECTION

FP-1 SPRINKLER PLANS AND DETAILS



ARCHITECTURAL/STRUCTURAL:

CIVIL:

LANDSCAPE:

MECHANICAL/ELECTRICAL:



**BARRY BRYAN ASSOCIATES**

Architects  
Engineers  
Project Managers

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Tel: (705) 745-2831  
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<b>NAME OF PRACTICE : BARRY BRYAN ASSOCIATES</b> <b>CERTIFICATE OF PRACTICE NUMBER : 5192</b> 250 WATER STREET, SUITE 201 WHITBY, ONTARIO, CANADA L1N 0G5 TEL : (905) - 666 - 5252 (Toronto) (905) - 427 - 4495 FAX : (905) - 666 - 5256																																																
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<b>DATE :</b> May, 2024																																																
<b>Ontario Building Code Data Matrix Part 3</b>			OBC Reference																																													
3.00	Building Code Version:	O_Reg_332/12	Last Amendment: O_Reg_79/18																																													
3.01	Project Type:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Change of use <input type="checkbox"/> Addition <input type="checkbox"/> Addition and Renovation <input type="checkbox"/> Renovation	[A] 1.1.2.																																													
3.02	Major Occupancy Classification:	Description: --- Occupancy: C Use: Residential (Apartments)	3.1.2.1.(1)																																													
3.03	Superimposed Major Occupancies:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.2.7																																													
3.04	Building Area (m <sup>2</sup> )	<table border="1"> <tr> <th>Description</th> <th>Existing</th> <th>New</th> <th>Total</th> </tr> <tr> <td>-</td> <td>-</td> <td>721.5</td> <td>721.5</td> </tr> <tr> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> </table>	Description	Existing	New	Total	-	-	721.5	721.5	-	-	-	-	[A] 1.4.1.2.																																	
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3.05	Gross Area (m <sup>2</sup> )	<table border="1"> <tr> <th>Description</th> <th>Existing</th> <th>New</th> <th>Total</th> </tr> <tr> <td>GROUND</td> <td>-</td> <td>721.5</td> <td>721.5</td> </tr> <tr> <td>2ND FLOOR</td> <td>-</td> <td>721.5</td> <td>721.5</td> </tr> <tr> <td>3RD FLOOR</td> <td>-</td> <td>721.5</td> <td>721.5</td> </tr> <tr> <td>4TH FLOOR</td> <td>-</td> <td>721.5</td> <td>721.5</td> </tr> <tr> <td>5TH FLOOR</td> <td>-</td> <td>549</td> <td>549</td> </tr> <tr> <td colspan="4" style="text-align: right;"><b>Total= 3435 m<sup>2</sup></b></td> </tr> <tr> <td>BASEMENT</td> <td>-</td> <td>N/A</td> <td>N/A</td> </tr> </table>	Description	Existing	New	Total	GROUND	-	721.5	721.5	2ND FLOOR	-	721.5	721.5	3RD FLOOR	-	721.5	721.5	4TH FLOOR	-	721.5	721.5	5TH FLOOR	-	549	549	<b>Total= 3435 m<sup>2</sup></b>				BASEMENT	-	N/A	N/A	[A] 1.4.1.2.													
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3.06	Mezzanine Area (m <sup>2</sup> )	<table border="1"> <tr> <th>Description</th> <th>Existing</th> <th>New</th> <th>Total</th> </tr> <tr> <td>NOT APPLICABLE</td> <td>-</td> <td>-</td> <td>-</td> </tr> </table>	Description	Existing	New	Total	NOT APPLICABLE	-	-	-	3.2.1.1																																					
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3.07	Building Height	5 Storeys above grade 16.3 (m) Above grade 13.1 to the highest res. floor	[A] 1.4.1.2 & 3.2.1.1																																													
3.08	High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.2.10 & 3.2.5																																													
3.09	Number of streets/ fire fighter access:	3 street(s)	3.2.2.10 & 3.2.5																																													
3.10	Building Classification:	3.2.2.43A Group/ Div. C	3.2.2.20 - 83																																													
3.11	Sprinkler System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input checked="" type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> none	3.2.1.5 & 3.2.2.17																																													
3.12	Standpipe System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required	3.2.9																																													
3.13	Fire Alarm System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required	3.2.4																																													
3.14	Water Service/ Supply is Adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No																																														
3.15	Construction Type:	Restriction: <input checked="" type="checkbox"/> Combustible Permitted <input type="checkbox"/> Non-combustible Required Actual: <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Combination Heavy Timber Construction: <input type="checkbox"/> No <input type="checkbox"/> Yes	3.2.2.20 - 83 & 3.2.1.4																																													
3.16	Importance Category:	<input type="checkbox"/> Low <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-disaster <input type="checkbox"/> Low human occupancy <input type="checkbox"/> Post-disaster shelter <input type="checkbox"/> Minor storage building <input type="checkbox"/> Explosives or hazardous substances	4.1.2.1 (3) & T4.1.2.1.B																																													
3.17	Seismic Hazard Index:	(I, Fa Sa (0.2))= 0.3149 Seismic design required for Table 4.1.1.18, Items 6 to 21: (I Fa Sa (0.2))= or = 0.35 or Post-disaster) <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	4.1.2.1 (3) & 4.1.8.18.(2)																																													
3.18	Occupant Load:	<table border="1"> <thead> <tr> <th>Floor Level/ Area</th> <th>Occupancy Type</th> <th>Based On</th> <th>Occup. Load</th> </tr> </thead> <tbody> <tr> <td>Ground Floor</td> <td>C(8 sleeping rooms)</td> <td>2 Persons/ Bed Rm+ By Design</td> <td>16</td> </tr> <tr> <td>Ground Floor</td> <td>A(Amenity) For residents only</td> <td>By Design (50)</td> <td></td> </tr> <tr> <td>Floors 2,3 &amp; 4</td> <td>C (42 Sleeping rooms)</td> <td>2 Persons/ Bed Rm</td> <td>84</td> </tr> <tr> <td>Floor 5</td> <td>C (10 Sleeping rooms)</td> <td>2 Persons/ Bed Rm</td> <td>20</td> </tr> <tr> <td colspan="3"></td> <td style="text-align: right;"><b>Total=120</b></td> </tr> </tbody> </table>	Floor Level/ Area	Occupancy Type	Based On	Occup. Load	Ground Floor	C(8 sleeping rooms)	2 Persons/ Bed Rm+ By Design	16	Ground Floor	A(Amenity) For residents only	By Design (50)		Floors 2,3 & 4	C (42 Sleeping rooms)	2 Persons/ Bed Rm	84	Floor 5	C (10 Sleeping rooms)	2 Persons/ Bed Rm	20				<b>Total=120</b>	3.1.17-1(2)																					
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3.19	Barrier-free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.8																																													
3.20	Hazardous Substances:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2 & 3.3.1.19																																													
3.21	Required Fire Resistance Ratings:	<table border="1"> <thead> <tr> <th>Horizontal Assembly</th> <th>Rating</th> <th>Supporting</th> <th>Non combustible construction</th> <th>Non combustible in lieu of rating?</th> </tr> </thead> <tbody> <tr> <td>Floors</td> <td>1hr</td> <td>1hr</td> <td><input type="checkbox"/> No</td> <td><input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A</td> </tr> <tr> <td>Mezzanine</td> <td>N/A</td> <td>N/A</td> <td><input type="checkbox"/> No</td> <td><input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A</td> </tr> <tr> <td>Roof</td> <td>1hr</td> <td>1hr</td> <td><input type="checkbox"/> No</td> <td><input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A</td> </tr> </tbody> </table>	Horizontal Assembly	Rating	Supporting	Non combustible construction	Non combustible in lieu of rating?	Floors	1hr	1hr	<input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	Mezzanine	N/A	N/A	<input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	Roof	1hr	1hr	<input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	3.2.2.20 - 83 & 3.2.1.4																									
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3.22	Spatial Separation:	<table border="1"> <thead> <tr> <th>Wall</th> <th>Area Of EBF (m<sup>2</sup>)</th> <th>L.D. (m)</th> <th>L/H or H/L</th> <th>Permitted Max. % Of Openings</th> <th>Proposed % Of Openings</th> <th>FRR (Hours)</th> <th>Noncombustible construction</th> <th>Combustible construction w/ noncombustible cladding</th> </tr> </thead> <tbody> <tr> <td>North</td> <td>596</td> <td>20</td> <td>2.3</td> <td>100</td> <td>28</td> <td>N/A</td> <td>-</td> <td>-</td> </tr> <tr> <td>South</td> <td>594</td> <td>13</td> <td>2.3</td> <td>100</td> <td>26</td> <td>N/A</td> <td>-</td> <td>-</td> </tr> <tr> <td>East</td> <td>309</td> <td>43</td> <td>1.2</td> <td>100</td> <td>23</td> <td>N/A</td> <td>-</td> <td>-</td> </tr> <tr> <td>West</td> <td>309</td> <td>14.6</td> <td>1.2</td> <td>100</td> <td>26</td> <td>N/A</td> <td>-</td> <td>-</td> </tr> </tbody> </table>	Wall	Area Of EBF (m <sup>2</sup> )	L.D. (m)	L/H or H/L	Permitted Max. % Of Openings	Proposed % Of Openings	FRR (Hours)	Noncombustible construction	Combustible construction w/ noncombustible cladding	North	596	20	2.3	100	28	N/A	-	-	South	594	13	2.3	100	26	N/A	-	-	East	309	43	1.2	100	23	N/A	-	-	West	309	14.6	1.2	100	26	N/A	-	-	3.2.3
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3.23	Plumbing Fixture Requirements:	Ratio: Male/Female = 50/50 Except as noted otherwise Floor level / Area Occupant Load OBC Sentence Fixtures Required Fixtures Provided	3.7.4																																													
WASHROOMS EXIST IN EVERY RESIDENTIAL UNIT.																																																
3.24	Energy Efficiency:	Compliance Path: SB10 Climatic Zone: _____ OBC Table: _____																																														
3.25	Notes:																																															

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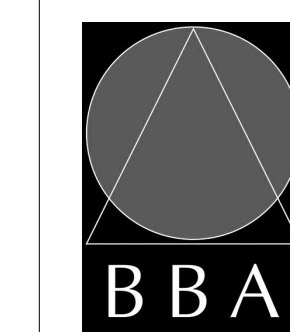
NO.	ISSUES	DATE	BY
1	Pre-Consultation	Apr 14 2022	AA
2	Pre-Pre consultation	Jun 22 2022	AA
3	SPA	Dec 09 2022	AA
4	SPA.R1	Nov 03 2023	AA
5	SPA.R2	Jan 28 2024	AA
6	ISSUED FOR PERMIT	Apr 30 2024	RG

NO.	REVISIONS	DATE	BY
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**PROJECT:**  
**Mixed-Use Building Development (BLDG.#3) PHASE 1**

1697 Durham Regional Hwy 2, Courtice, ON L1E 2R5  
 RH Gay Holdings Co.

**DRAWING:**  
**COVER SHEET**



**BARRY BRYAN ASSOCIATES**

Architects  
Engineers  
Project Managers

201-250 Water Street  
Whitby Ontario L1N 0G5

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Fax: (905) 666-5256  
e-mail: bba@bba-archeng.com

PROJECT NO.

**21046**



DESIGN BY:  
Designer

DRAWN BY:  
E. CHARLTON

AUTHOR

CHECKED BY:

CHECKER

DATE:  
01/04/19

SCALE:  
1 : 1

FILE:  
Drawings - Current - CECC-RVT

DRAWING NO.

**A000**

HIGHWAY No. 2

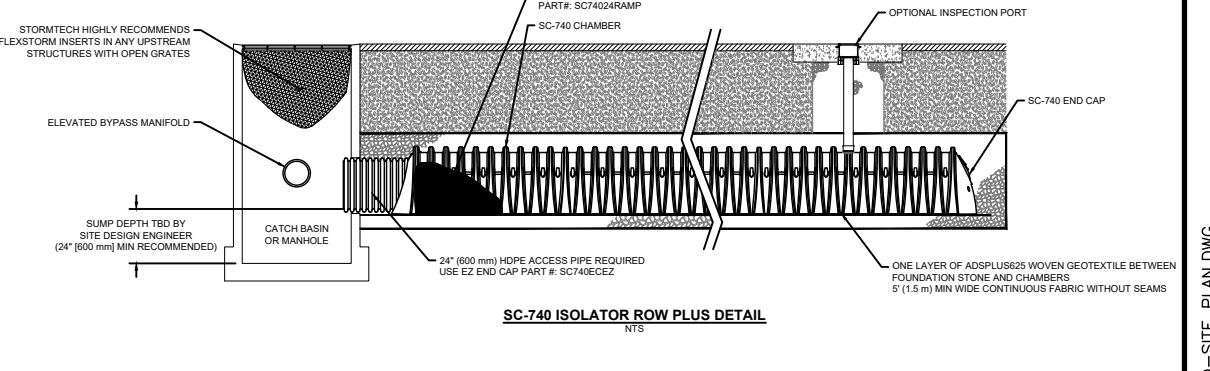
BENCH MARK  
GEODETIC BENCH MARK: 67-U-027  
COURTICE ROAD BRIDGE OVER BLACK  
CREEK, 45.5m NORTH OF HWY NO. 2.  
TABLET IN WEST FACE OF CONCRETE  
ABUTMENT 4.0m FROM NORTH END OF  
BRIDGE, 1.2m NORTH OF SOUTHWEST  
CORNER, 450mm BELOW TOP OF  
SIDEWALK.  
ELEVATION 132.044  
(PRIOR TO 1978 ELEVATION)

MUNICIPALITY OF  
CLARINGTON



SITE SERVICING NOTES

- 1. A ROAD OCCUPANCY PERMIT WILL BE REQUIRED FOR ANY WORKS WITHIN THE MUNICIPAL RIGHT OF WAY.
- 2. ALL WORKS OR RESTORATION WITHIN THE MUNICIPAL RIGHT OF WAY SHALL BE COMPLETED AS PER MUNICIPALITY OF CLARINGTON STAFF DIRECTION.
- 3. THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND SERVICES TO BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION. CONCERNED UTILITIES TO BE GIVEN ADVANCED NOTICE FOR STAKE OUT. THE CONSULTANT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITIES SHOWN ON THE DRAWINGS.
- 4. QUANTITIES, DIMENSIONS AND ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR COMMENCING CONSTRUCTION.
- 5. ALL SANITARY SEWER AND APPURTENANCES SHALL COMPLY WITH THE REGION OF DURHAM STANDARDS AND THE ONTARIO PLUMBING CODE.
  - SANITARY SEWER PIPES, 200mm TO BE CL DR28 PVC PIPE, CL P BEDDING
  - SANITARY MANHOLES AS PER OPSD 701.010 C/W GRATE AS PER OPSD 401.010
  - ALL TRENCHES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH REGION OF DURHAM STANDARDS.
- 6. ALL WATER MAINS AND APPURTENANCES SHALL COMPLY WITH THE REGION OF DURHAM STANDARDS AND THE ONTARIO PLUMBING CODE.
  - ALL WATER MAINS SHALL BE CONSTRUCTED A MINIMUM OF 1.80m BELOW FINISHED GRADE
  - ALL TRENCHES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH REGION OF DURHAM STANDARDS
  - 150mm WATERMAIN AND 200mm WATERMAIN TO BE DR18 PVC PIPE, CL P BEDDING
  - PROP HYDRANT ASSEMBLY AS PER S-210.010. HYDRANTS TO BE PAINTED RED.
  - DEFLECTIONS UNDER WATERMAIN AS PER REGION STANDARD S-200.070.
- 7. ALL STORM SEWERS AND APPURTENANCES SHALL COMPLY WITH THE MUNICIPALITY OF CLARINGTON STANDARDS AND THE ONTARIO PLUMBING CODE.
  - STORM SEWER PIPE 450mm AND SMALLER SHALL BE DR35 PVC PIPE, CL P BEDDING
  - STORM SEWER MANHOLES AND CATCH BASIN MANHOLES SHALL BE AS PER OPSD 701.010
  - CATCH BASINS SHALL BE AS PER OPSD 705.010
  - MANHOLE GRATES SHALL BE AS PER OPSD 401.010
  - CATCH BASIN GRATES SHALL BE AS PER OPSD 400.020
  - ALL TRENCHES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH OPSD STANDARDS
  - CLEAR STONE BEDDING MATERIAL IS NOT TO BE USED IN ANY CASE AS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS.
- 8. GENERALLY, A MINIMUM OF 0.25m SHALL BE PROVIDED BETWEEN THE OUTSIDE OF PIPE BARRELS AT THE POINT OF CROSSING FOR STORM AND SANITARY SEWERS. A MINIMUM OF 0.50m SHALL BE PROVIDED BETWEEN THE OUTSIDE OF PIPE BARRELS AT THE POINT OF CROSSING FOR ALL SEWERS CROSSING WATER MAINS.
- 9. THE PARKING LOT SHALL CONSIST OF THE FOLLOWING UNLESS OTHERWISE APPROVED BY THE ENGINEER (SEE GRADING PLAN 122065-SG-1):
  - LIGHT DUTY ASPHALT HEAVY DUTY ASPHALT
  - 350mm GRANULAR 'B' -400mm GRANULAR 'B'
  - 150mm GRANULAR 'A' -150mm GRANULAR 'A'
  - 50mm HL3 ASPHALT -90mm HL3 ASPHALT (2 LIFTS)
  - 40mm HL3 ASPHALT -40mm HL3 ASPHALT
  - BARRIER CURB AS PER C-302
- 10. AVONDALE DRIVE TO BE RESTORED WITH THE FOLLOWING UPON REMOVAL OF WATER SERVICES:
  - 300mm GRANULAR 'B'
  - 150mm GRANULAR 'A'
  - 50mm HL3 ASPHALT
  - 40mm HL3 ASPHALT
  - CURB AND GUTTER SHALL BE RESTORED AS PER C-302
  - BULEVARD TO BE RESTORED WITH 150mm OF TOPSOIL AND SOD

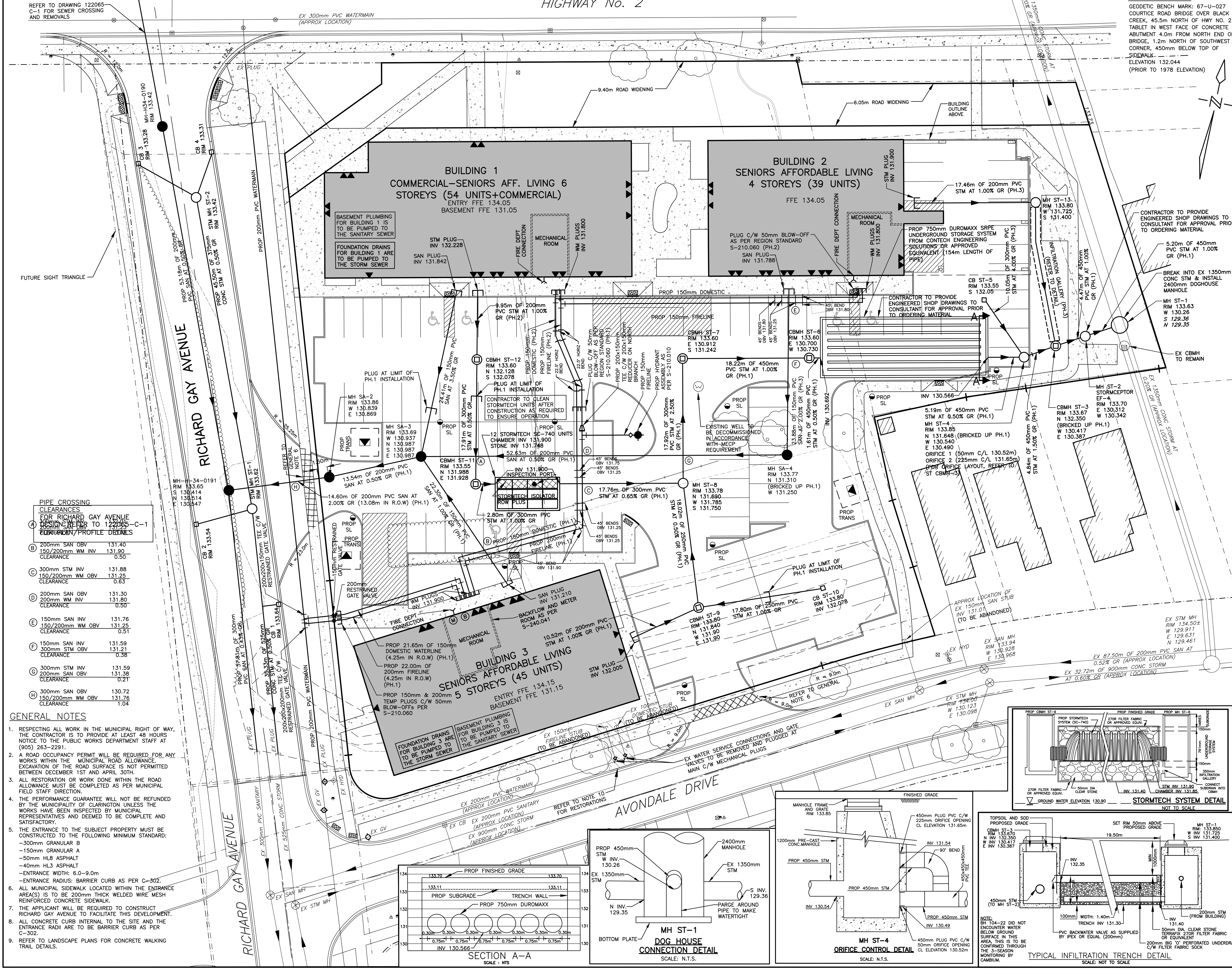


NO.	DATE	REVISION	BY
4.	03/27/2024	REVISED AS PER CONDITIONS OF APPROVAL COMMENTS	MH
3.	01/31/2024	REVISED AS PER REGION COMMENTS	MH

1697 HIGHWAY No 2, COURTICE, CLARINGTON  
SITE SERVICING PLAN

**D.G. BIDDLE & ASSOCIATES**  
CONSULTING ENGINEERS & PLANNERS  
96 King Street East  
Oshawa, Ontario, L1H 1B6  
Phone: 905-576-8500  
info@dgbiddle.com  
dgbiddle.com

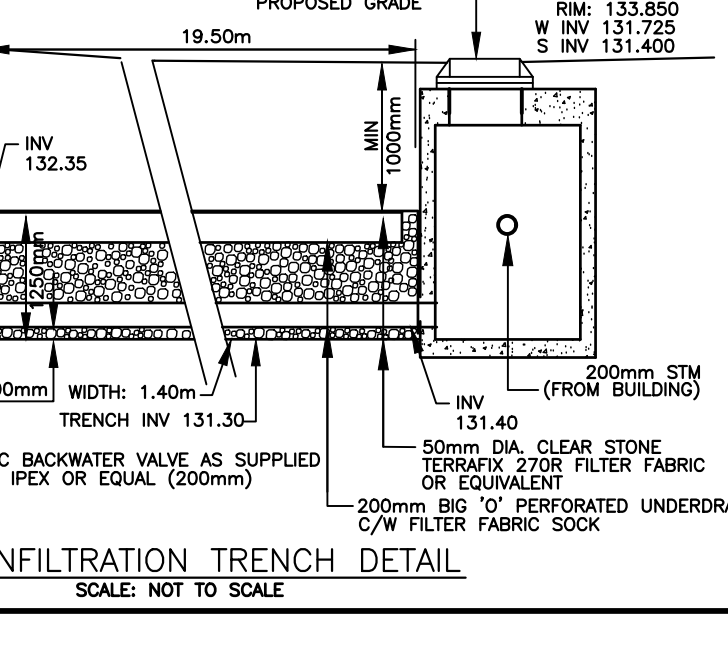
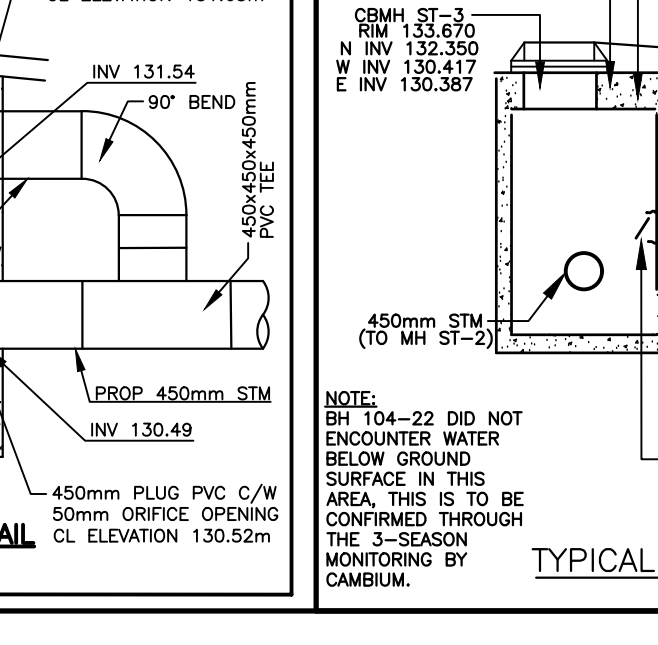
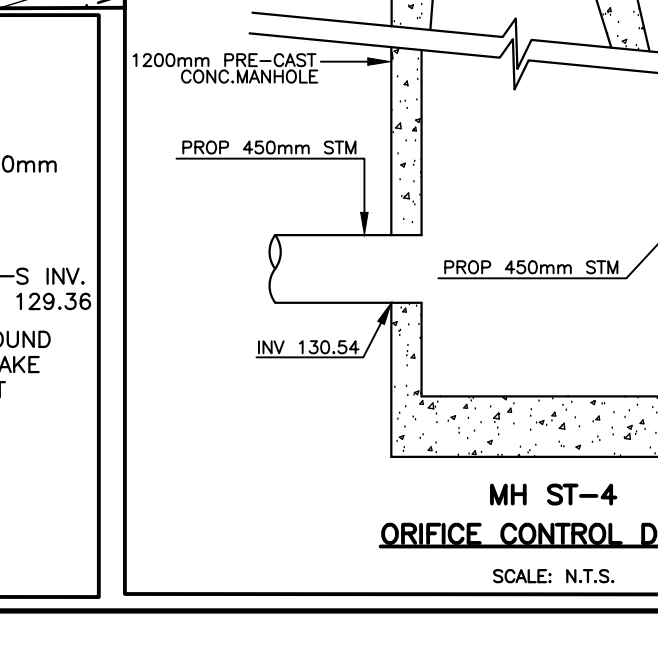
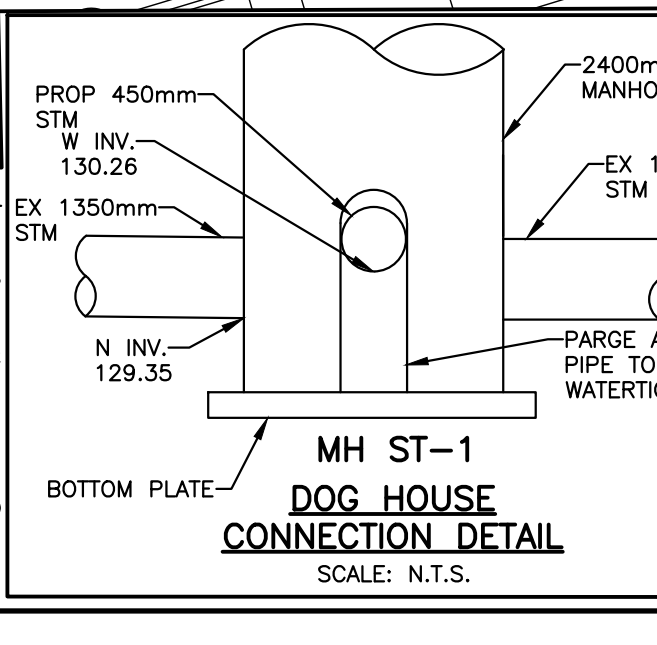
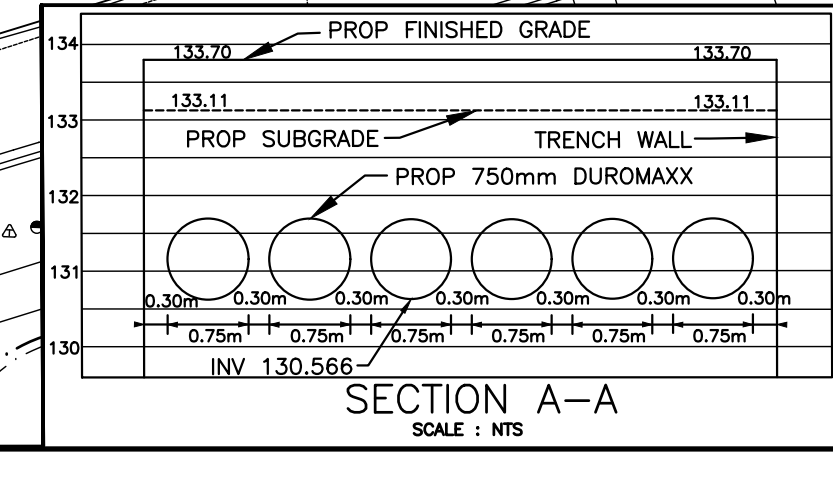
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DRAWING NO. SS-1  
SCALE: 1:250  
DRAWN BY: B.B.  
DESIGN BY: M.H.  
CHECKED BY: M.B.C.  
DATE: OCTOBER 2022



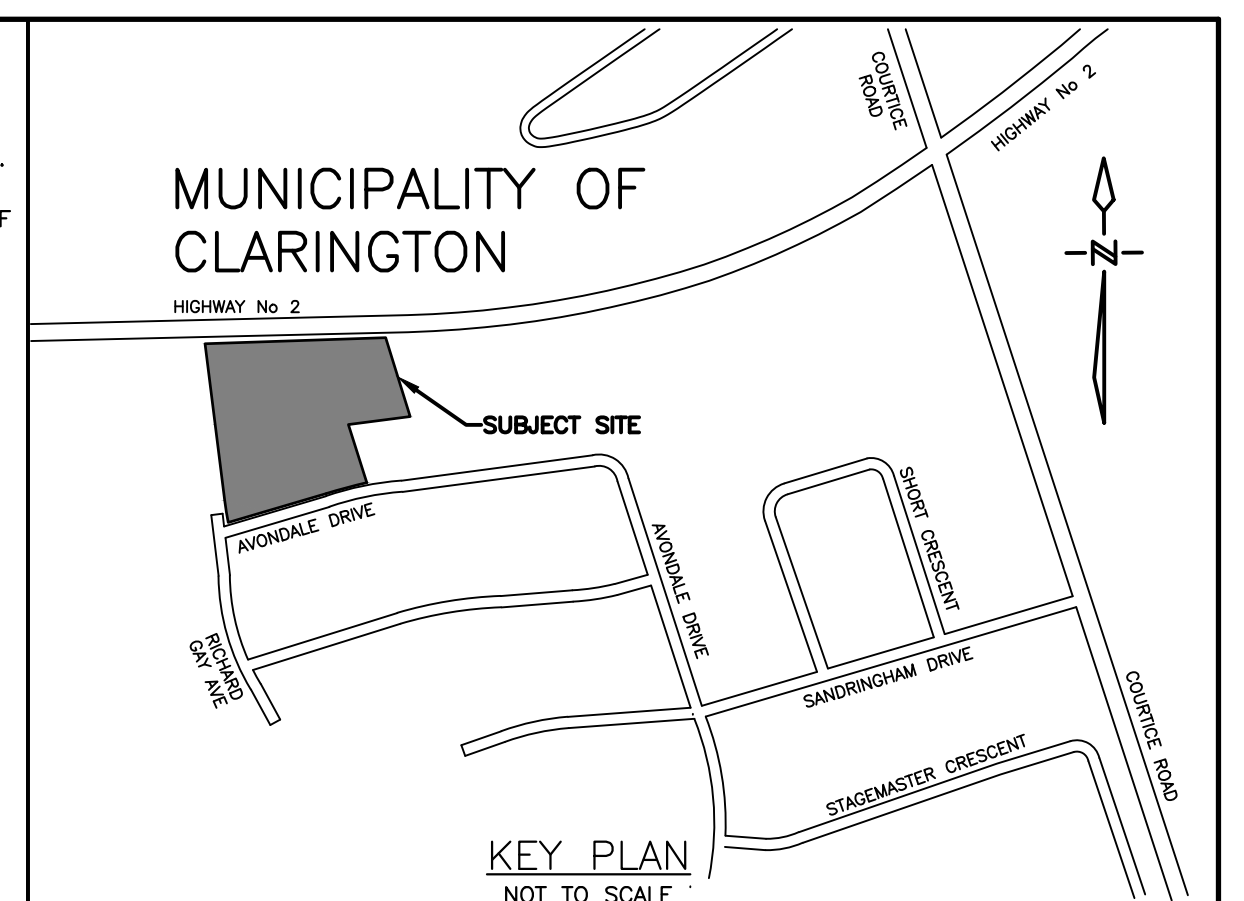
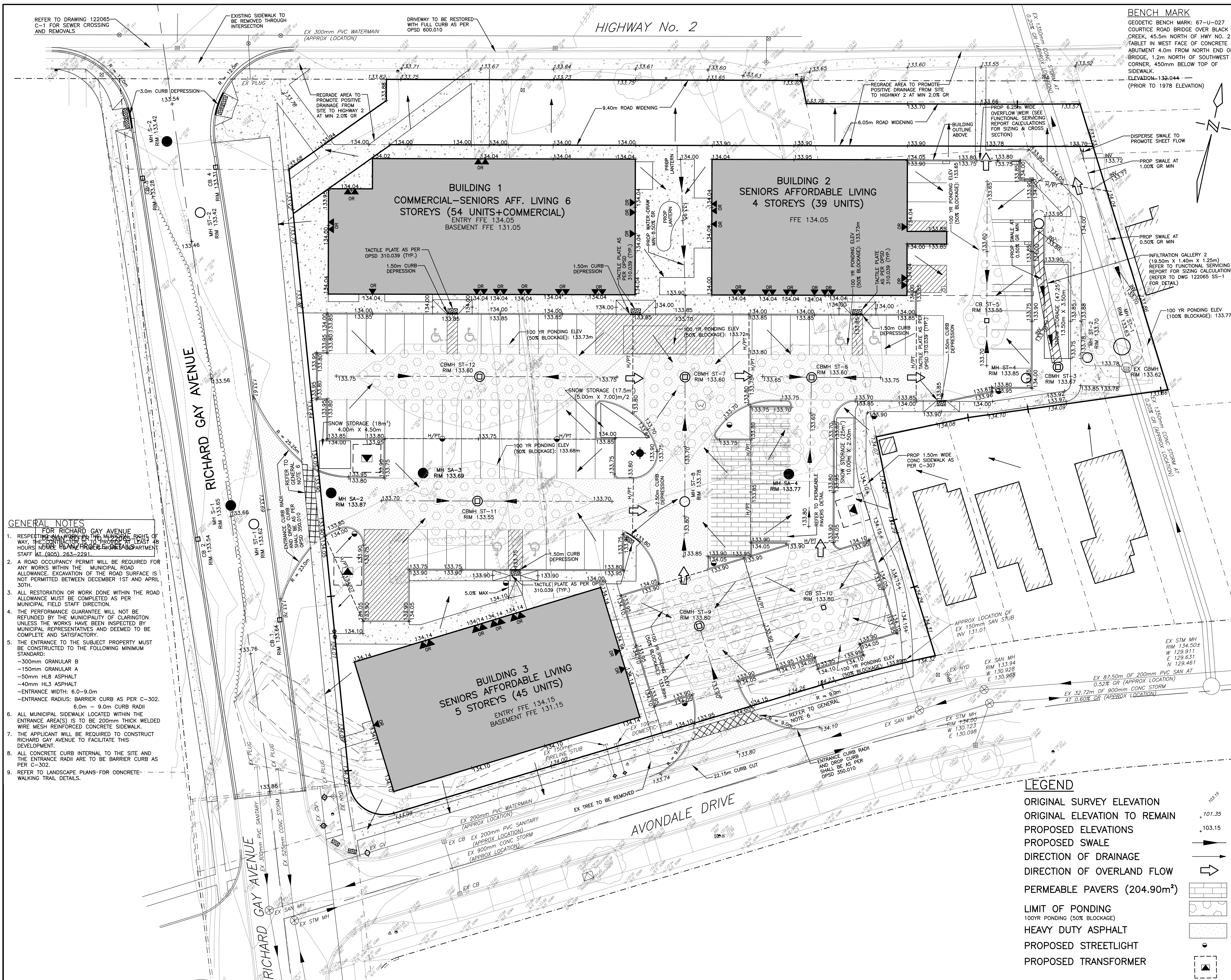
PIPE CROSSING CLEARANCES FOR RICHARD GAY AVENUE DESIGN REFER TO 122065-C-1 CLEARANCE PROFILE DETAILS

ITEM	DESCRIPTION	MIN. CLEARANCE
A	200mm SAN OBV	131.40
B	150/200mm WM INV	131.90
C	300mm STM INV	131.88
D	150/200mm WM OBV	131.25
E	200mm WM INV	131.80
F	200mm SAN OBV	131.30
G	200mm WM INV	131.80
H	150mm SAN INV	131.76
I	150/200mm WM OBV	131.25
J	300mm STM INV	131.88
K	200mm SAN OBV	131.38
L	200mm WM INV	131.80
M	150mm SAN INV	131.59
N	300mm STM INV	131.21
O	150mm SAN INV	131.59
P	300mm STM INV	131.59
Q	200mm SAN OBV	131.38
R	150/200mm WM OBV	131.76
S	300mm SAN OBV	130.72
T	150/200mm WM OBV	131.76
U	300mm SAN OBV	130.72
V	150/200mm WM OBV	131.76

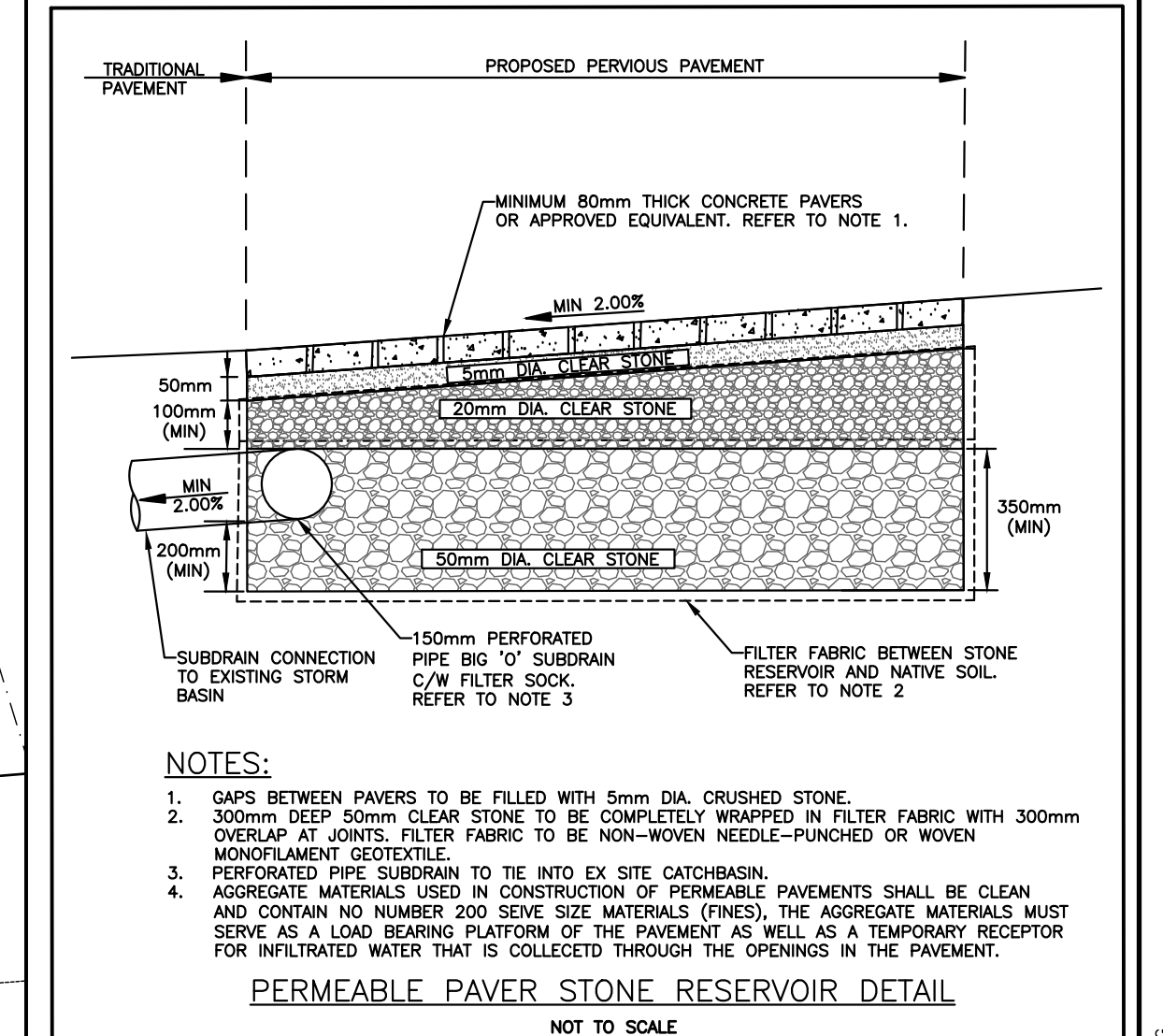
- GENERAL NOTES
- RESPECTING ALL WORK IN THE MUNICIPAL RIGHT OF WAY, THE CONTRACTOR IS TO PROVIDE AT LEAST 48 HOURS NOTICE TO THE PUBLIC WORKS DEPARTMENT STAFF AT (905) 263-2291.
  - A ROAD OCCUPANCY PERMIT WILL BE REQUIRED FOR ANY WORKS WITHIN THE MUNICIPAL RIGHT OF WAY. EXCAVATION OF THE ROAD SURFACE IS NOT PERMITTED BETWEEN DECEMBER 1ST AND APRIL 30TH.
  - ALL RESTORATION OR WORK DONE WITHIN THE ROAD ALLOWANCE MUST BE COMPLETED AS PER MUNICIPAL FIELD STAFF DIRECTION.
  - THE PERFORMANCE GUARANTEE WILL NOT BE REFUNDED BY THE MUNICIPALITY OF CLARINGTON UNLESS THE WORKS HAVE BEEN INSPECTED BY MUNICIPAL REPRESENTATIVES AND DEEMED TO BE COMPLETE AND SATISFACTORY.
  - THE ENTRANCE TO THE SUBJECT PROPERTY MUST BE CONSTRUCTED TO THE FOLLOWING MINIMUM STANDARD:
    - 300mm GRANULAR B
    - 150mm GRANULAR A
    - 50mm HL3 ASPHALT
    - 40mm HL3 ASPHALT
    - ENTRANCE WIDTH: 6.0-9.0m
    - ENTRANCE RADIUS: BARRIER CURB AS PER C-302.
  - ALL MUNICIPAL SIDEWALK LOCATED WITHIN THE ENTRANCE AREA(S) IS TO BE 200mm THICK WELDED WIRE MESH REINFORCED CONCRETE SIDEWALK.
  - THE APPLICANT WILL BE REQUIRED TO CONSTRUCT RICHARD GAY AVENUE TO FACILITATE THIS DEVELOPMENT.
  - ALL CONCRETE CURB INTERNAL TO THE SITE AND THE ENTRANCE RADI ARE TO BE BARRIER CURB AS PER C-302.
  - REFER TO LANDSCAPE PLANS FOR CONCRETE WALKING TRAIL DETAILS.



DATE PLOTTED: 2023/10/27 10:58 AM  
DRAWING NO: 122065-SS-1  
PROJECT NO: 122065  
SCALE: 1:250  
DATE: OCTOBER 2022



- SITE GRADING NOTES**
- THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND SERVICES TO BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION. CONCERNED UTILITIES TO BE GIVEN ADVANCED NOTICE FOR STAKE OUT. THE CONSULTANT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITIES SHOWN ON THE DRAWINGS.
  - QUANTITIES, DIMENSIONS AND ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR COMMENCING CONSTRUCTION.
  - ALL SLOPES SHALL BE CONSTRUCTED AT 3:1 (MAXIMUM) UNLESS OTHERWISE NOTED ON THE DRAWINGS.
  - ALL SWALES SHALL BE CONSTRUCTED WITH 2% MINIMUM GRADE UNLESS OTHERWISE NOTED ON THE DRAWINGS.
  - ALL SLOPES, SWALES AND OPEN SPACE AREAS SHALL BE SODDEN ON A MINIMUM OF 150mm OF TOPSOIL.
  - ALL DISTURBED AREAS WITHIN ABUTTING MUNICIPAL RIGHT OF WAYS SHALL BE SODDEN ON A MINIMUM OF 300mm OF TOPSOIL.
  - THE PARKING LOT SHALL CONSIST OF THE FOLLOWING UNLESS OTHERWISE APPROVED BY THE ENGINEER:  
**LIGHT DUTY ASPHALT**  
-350mm GRANULAR 'B'  
-150mm GRANULAR 'A'  
-50mm HL8 ASPHALT  
-40mm HL3 ASPHALT  
-BARRIER CURB AS PER C-302  
**HEAVY DUTY ASPHALT**  
-400mm GRANULAR 'B'  
-150mm GRANULAR 'A'  
-90mm HL8 ASPHALT (2 LIFTS)  
-40mm HL3 ASPHALT



NO.	DATE	REVISION	BY
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REVISIONS

1697 HIGHWAY No 2, COURTICE, CLARINGTON

**SITE GRADING PLAN**

**D.G. BIDDLE & ASSOCIATES**  
CONSULTING ENGINEERS & PLANNERS

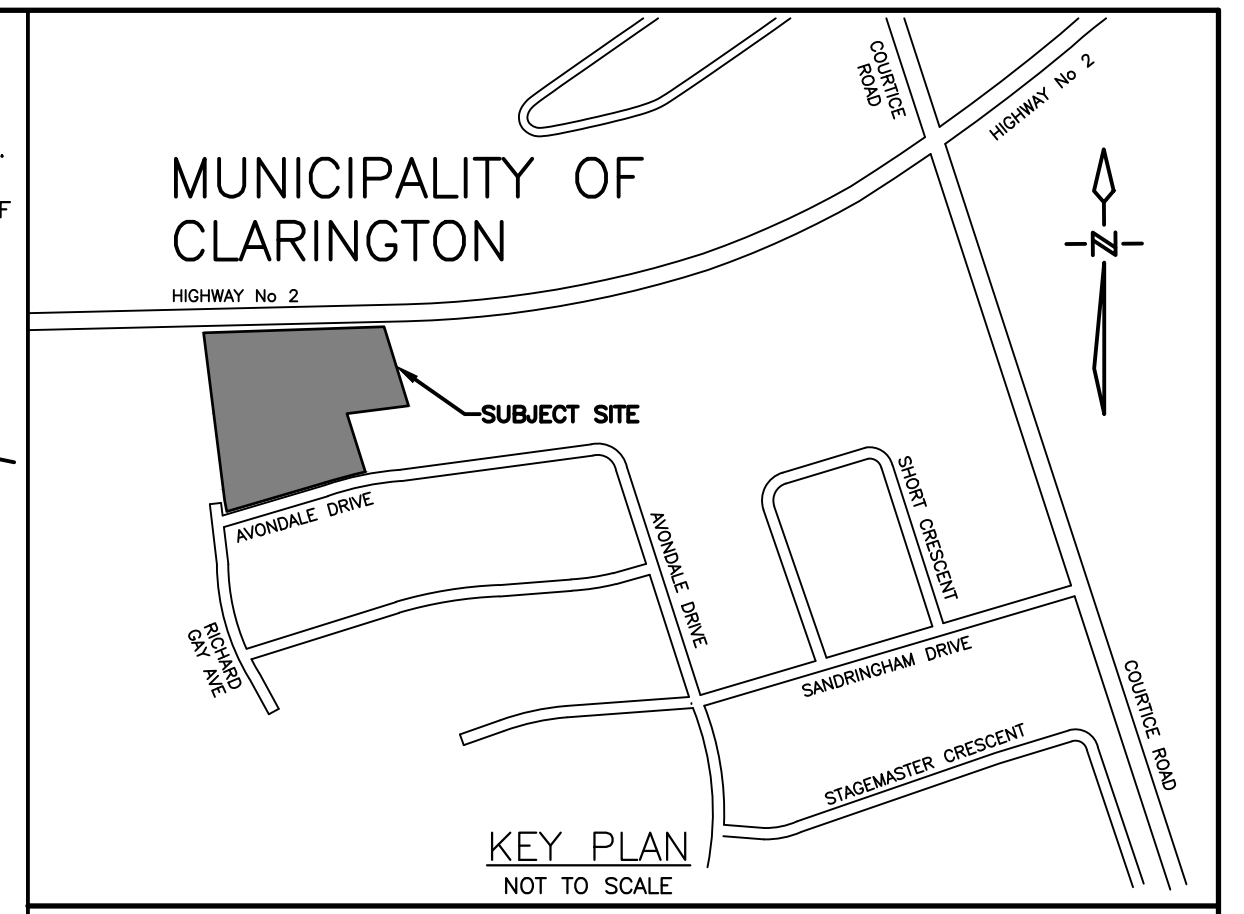
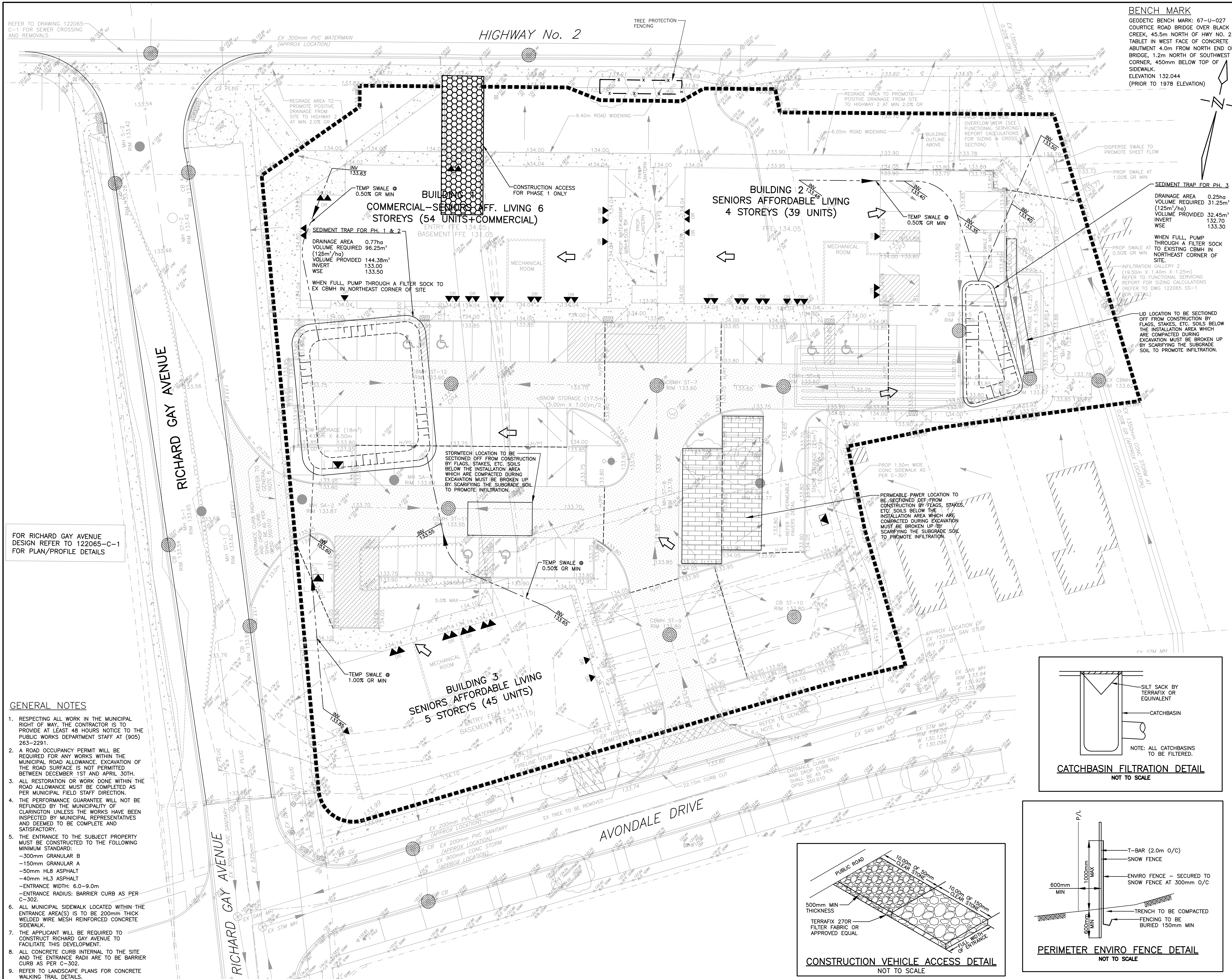
96 King Street East  
Oshawa, Ontario, L1H 1B6  
Phone: 905-576-8500  
info@dgbiddle.com  
dgbiddle.com

PROJECT NO. 122065  
DRAWING NO. SG-1

SCALE: 1:250  
DRAWN BY: B.B.  
DESIGN BY: M.H.  
CHECKED BY: M.B.C.  
DATE: OCTOBER 2022

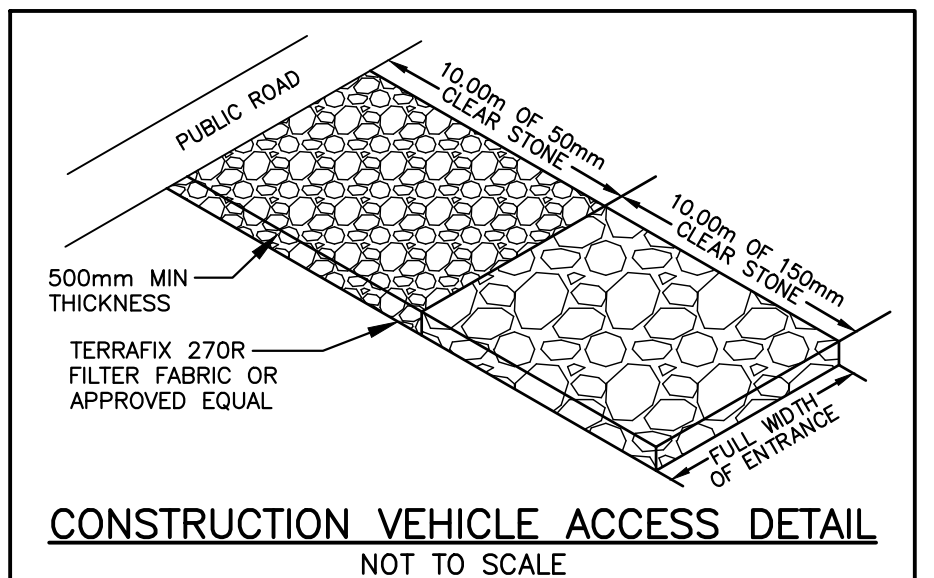
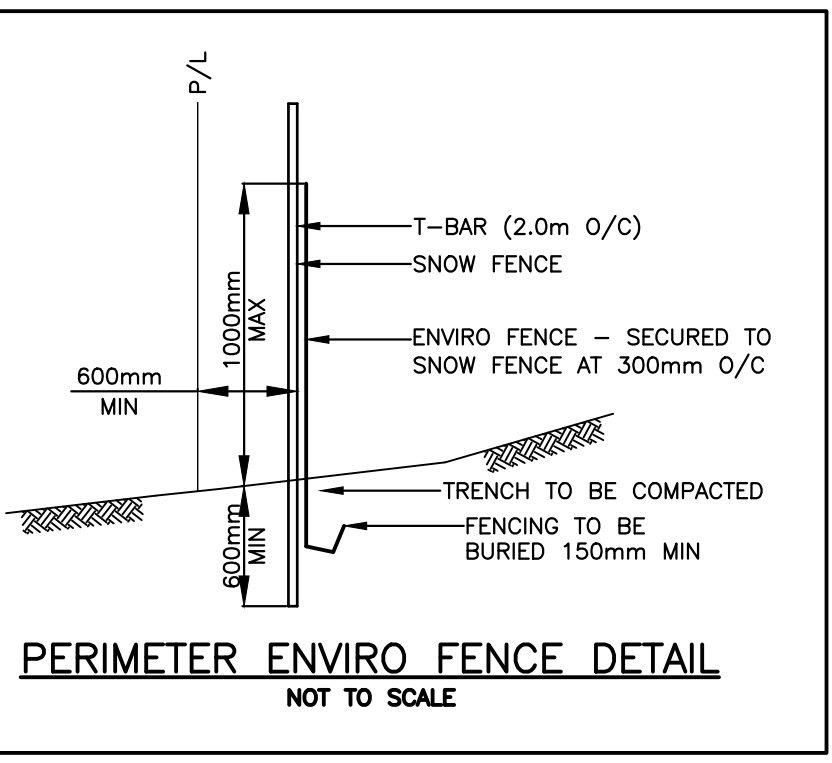
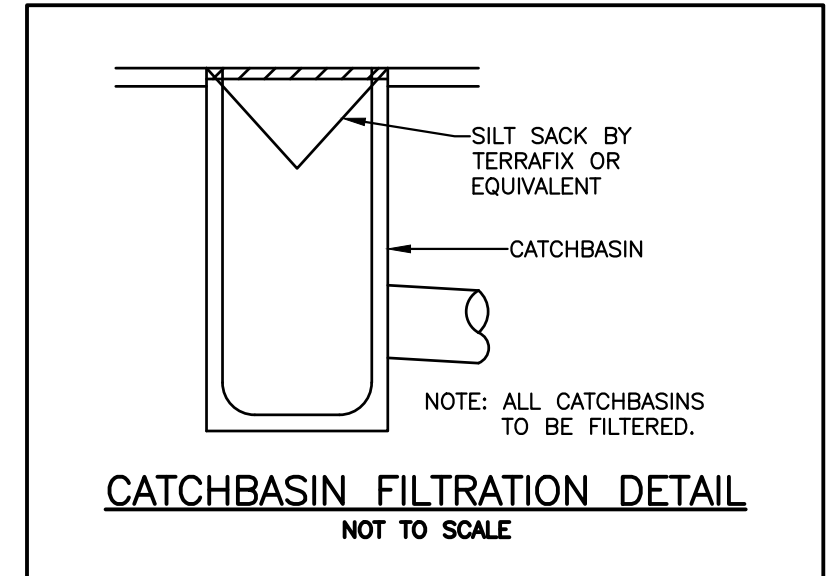
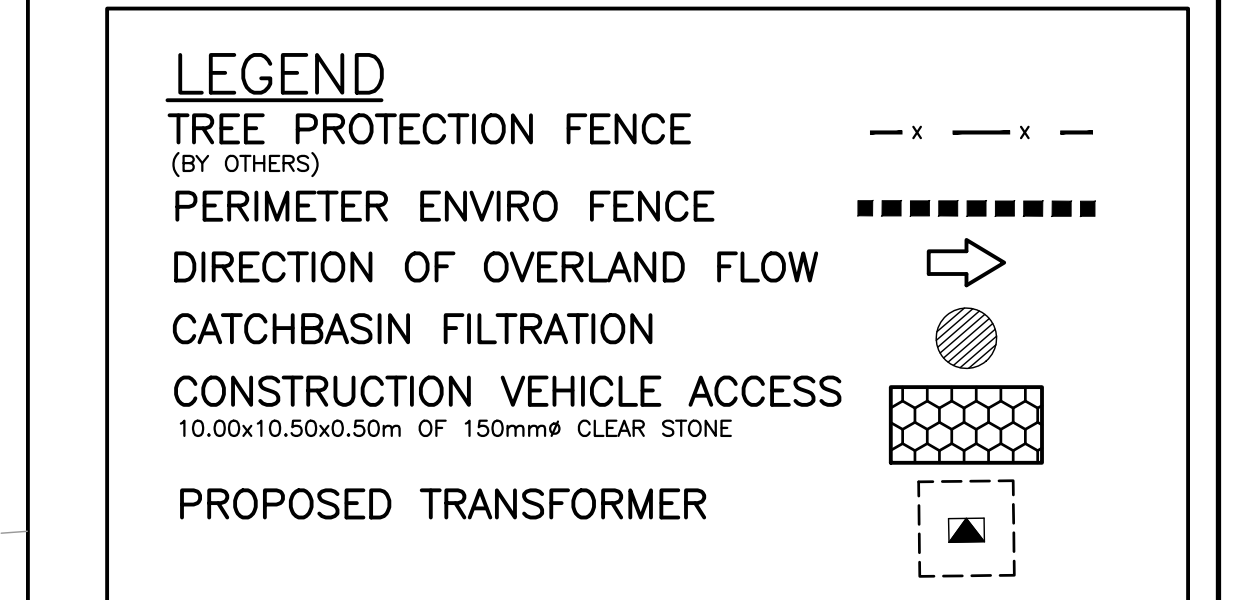
PROFESSIONAL ENGINEER  
M. B. GANSELL  
0561374  
MAR 27/24  
PROVINCE OF ONTARIO

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- DUST CONTROL MEASURES:**
- A. PRE-GRADING PLANNING**
- THE SITE SERVICING FOR THE SITE SHALL BE SCHEDULED SUCH THAT THE OVERALL TIME THE AREAS ARE LEFT OPEN TO WIND THAT CREATE BLOWING DUST FROM THE EARTHWORK OPERATIONS IS MINIMIZED.
  - THE TOPSOIL STOCKPILE (IF APPLICABLE) SHALL BE STABILIZED WITHIN 30 DAYS OF STOCKPILING MATERIALS IN ACCORDANCE WITH CITY'S CRITERIA. ALL DISTURBED LANDS OUTSIDE THE PHASE OF WORK SHALL BE STABILIZED/VEGETATED.
  - THE CONTRACTOR SHALL APPLY WATER TO HAUL ROADS AND STOCKPILES (IF APPLICABLE) BY WAY OF WATER TRUCK.
- B. WATERING (POST GRADING)**
- WITHIN AREAS WHERE EARTHWORKS AND/OR UNDERGROUND MUNICIPAL SERVICING IS ON-GOING, WATER IS TO BE UTILIZED AT SUFFICIENT QUANTITY TO PREVENT VISIBLE EMISSIONS FROM EXTENDING MORE THAN 30m FROM THE POINT OF ORIGIN.
- C. REDUCE VEHICLE SPEED**
- THE ON-SITE SPEED LIMIT FOR CONSTRUCTION VEHICLES SHALL BE MINIMIZED AND TO BE USED IN CONJUNCTION WITH WATERING TO PREVENT VISIBLE DUST EMISSIONS.
- D. RESTRICT ACTIVITIES DURING HIGH WIND PERIODS**
- THE HIGH VISIBILITY OF CERTAIN WORKS AND THE CLOSE PROXIMITY AND POPULATION IMPACT SHOULD BE TAKEN INTO CONSIDERATION WHEN SCHEDULING DUST-PRODUCING WORK. APPROPRIATE DUST CONTROL MEASURES SHALL BE IN PLACE IN SUCH SITUATIONS.
- E. ROAD CLEANING**
- SPILLAGE, EROSION OR MATERIALS "TRACKED OUT" ON A ROAD TO BE CLEANED USING MECHANICAL STREET SWEEPERS OR FLUSHER TRUCK AT LEAST BY THE END OF THE WORK DAY. HOWEVER, IF SPILLAGE EXTENDS MORE THAN 15m ALONG A PAVED PUBLIC ROADWAY, IT MUST BE CLEANED UP IMMEDIATELY.
  - IMPORTING AND EXPORTING OF MATERIALS ON AND OFF-SITE WILL BE SHUT DOWN DURING AND FOLLOWING UNCLEMATE WEATHER UNTIL THE ROAD SURFACES HAVE BEEN CLEANED.

- SEDIMENT CONTROL CONSTRUCTION SCHEDULE**
- INSTALL PERIMETER ENVIRO FENCE AND CONSTRUCTION VEHICLE ACCESS.
  - EXCAVATE PERIMETER SWALES AND SEDIMENT PONDS AS REQUIRED.
  - STRIP SITE OF TOPSOIL AND REMOVE OFF SITE OR STOCK PILE AND PROVIDE ENVIRO FENCE AROUND BOTTOM OF PILE.
  - INSTALL MINOR STORM SEWER SYSTEM ALONG WITH OTHER SERVICES.
  - INSTALL CATCHBASIN FILTRATION ON ALL CATCHBASINS AND CATCHBASIN.
  - SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED UNTIL ALL AREAS OF THE SITE HAVE BEEN STABILIZED WITH SOD OR ASPHALT.



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1697 HIGHWAY No 2, COURTYE, CLARINGTON

## EROSION AND SEDIMENT CONTROL PLAN

**D.G. BIDDLE & ASSOCIATES**  
CONSULTING ENGINEERS & PLANNERS

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Phone: 905-576-8500  
info@dgbidle.com  
dgbidle.com

PROJECT NO. 122065  
DRAWING NO. ES-1

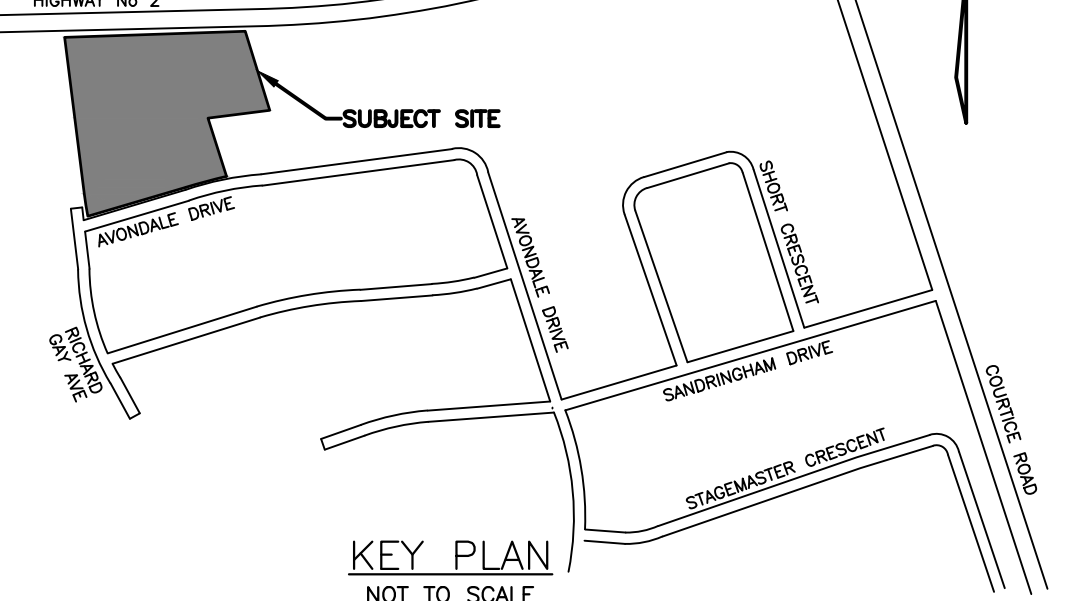
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DESIGN BY: M.H.  
CHECKED BY: M.B.C.  
DATE: OCTOBER 2022

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HIGHWAY No. 2

**BENCH MARK**  
 GEODETIC BENCH MARK: 67-U-027  
 COURTYARD BRIDGE OVER BLACK  
 CREEK, 45.5m NORTH OF HWY NO. 2.  
 TABLE IN WEST FACE OF CONCRETE  
 ABUTMENT 4.0m FROM NORTH END OF  
 BRIDGE, 1.2m NORTH OF SOUTHWEST  
 CORNER, 450mm BELOW TOP OF  
 SIDEWALK.  
 ELEVATION 132.044  
 (PRIOR TO 1978 ELEVATION)

MUNICIPALITY OF  
 CLARINGTON

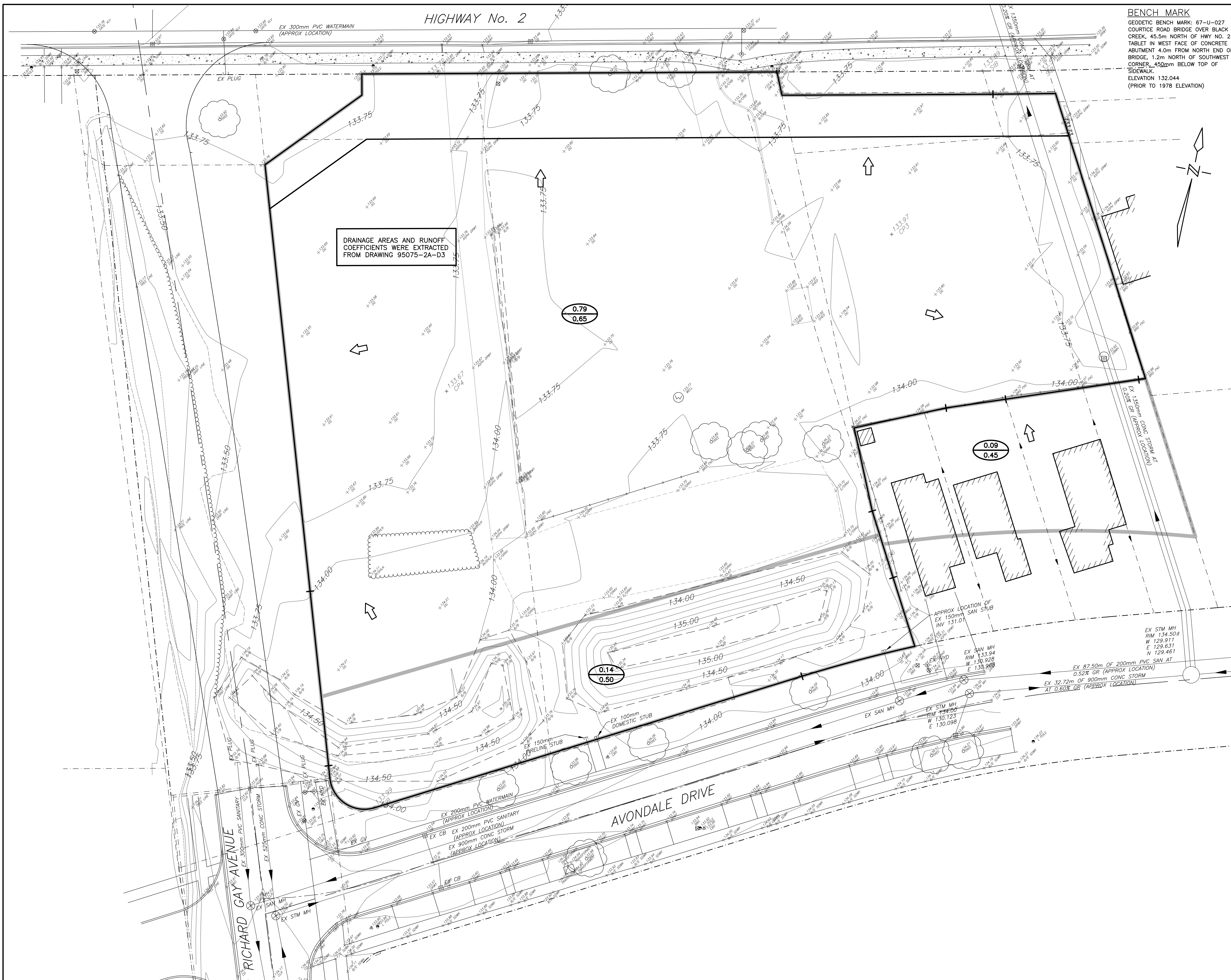


DRAINAGE AREAS AND RUNOFF  
 COEFFICIENTS WERE EXTRACTED  
 FROM DRAWING 95075-2A-D3

**LEGEND**

- DRAINAGE BOUNDARY
- DRAINAGE AREA (ha)
- RUN-OFF COEFFICIENT
- DIRECTION OF DRAINAGE

NOTE: THIS PLAN IS FOR STORM  
 DRAINAGE AREAS ONLY



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1697 HIGHWAY No. 2, COURTYARD, CLARINGTON

**PRE-DEVELOPMENT  
 STORM DRAINAGE PLAN**

**D.G. BIDDLE & ASSOCIATES**  
 CONSULTING ENGINEERS & PLANNERS

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 Phone: 905-576-8500  
 info@dgbiddle.com  
 dgbiddle.com

	SCALE: 1:250	PROJECT NO. 122065
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	DESIGN BY: M.H.	SD-1
	CHECKED BY: M.B.C.	DATE: OCTOBER 2022

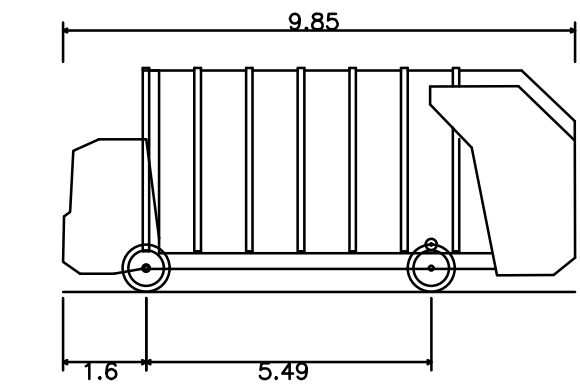
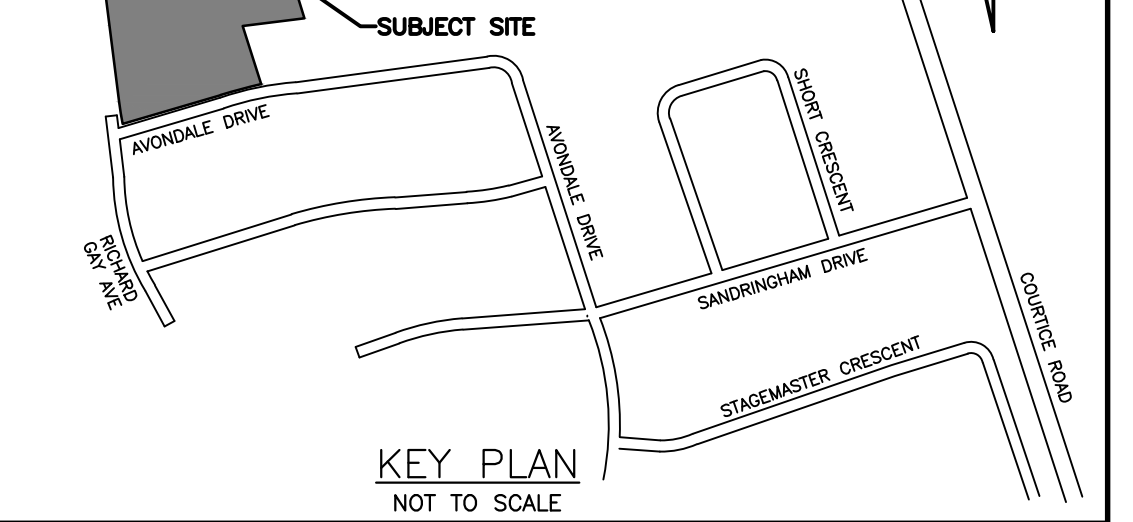
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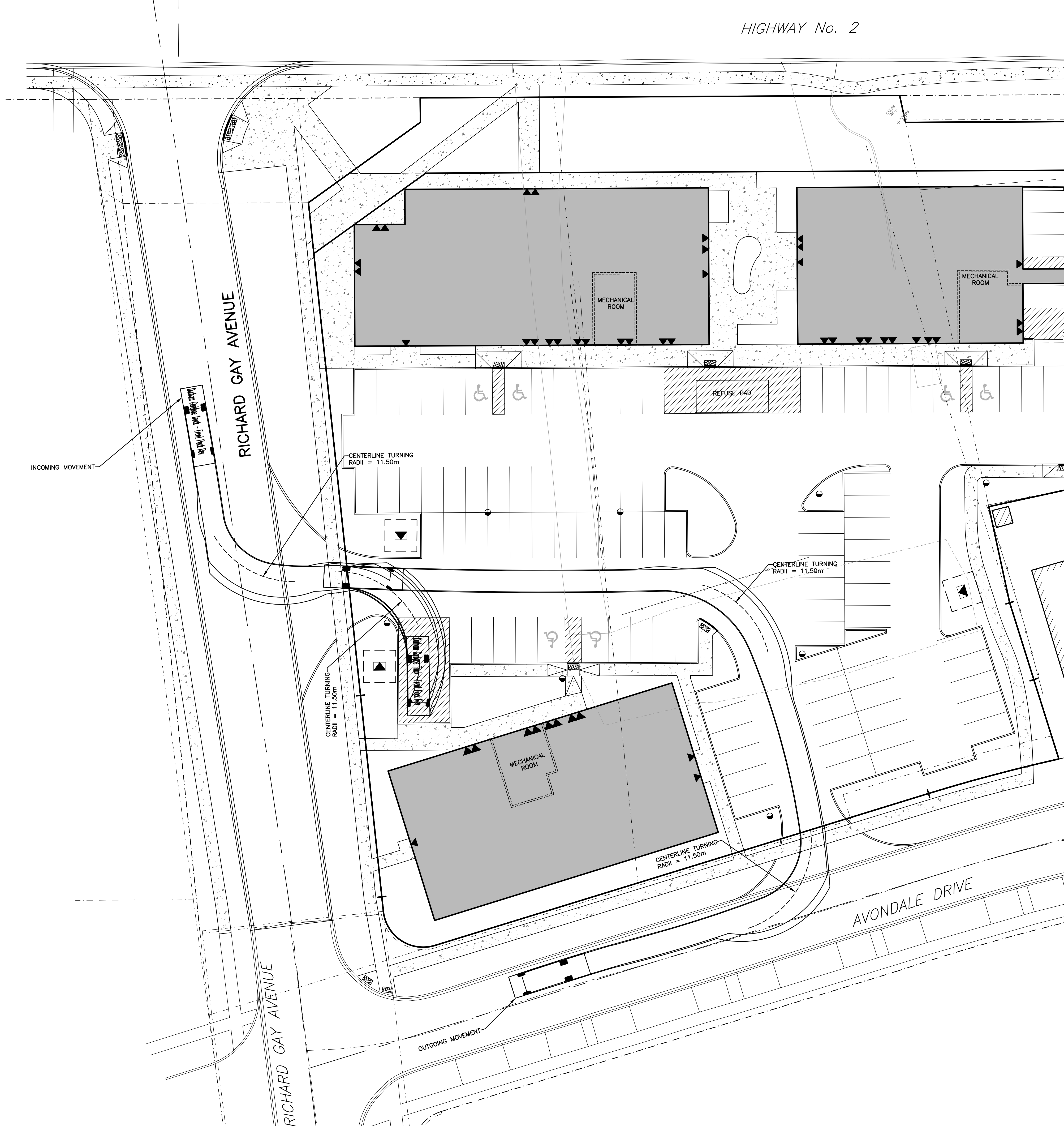
HIGHWAY No. 2

**BENCH MARK**  
 GEODETIC BENCH MARK: 67-U-027  
 COURTYARD ROAD BRIDGE OVER BLACK  
 CREEK, 45.5m NORTH OF HWY NO. 2.  
 TABLE IN WEST FACE OF CONCRETE  
 ABUTMENT 4.0m FROM NORTH END OF  
 BRIDGE, 1.2m NORTH OF SOUTHWEST  
 CORNER, 450mm BELOW TOP OF  
 SIDEWALK.  
 ELEVATION 132.044  
 (PRIOR TO 1978 ELEVATION)

MUNICIPALITY OF  
 CLARINGTON



Durham Garbage Truck - Front Pack Rev  
 Overall Length 9.850m  
 Overall Width 2.770m  
 Overall Body Height 4.310m  
 Min Body Ground Clearance 0.321m  
 Track Width 2.600m  
 Lock-to-lock time 6.00s  
 Curb to Curb Turning Radius 11.500m



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1697 HIGHWAY No. 2, COURTICE, CLARINGTON

TRUCK TURNING PLAN

**D.G. BIDDLE & ASSOCIATES**  
 CONSULTING ENGINEERS & PLANNERS  
 96 King Street East  
 Oshawa, Ontario, L1H 1B6  
 Phone: 905-576-8500  
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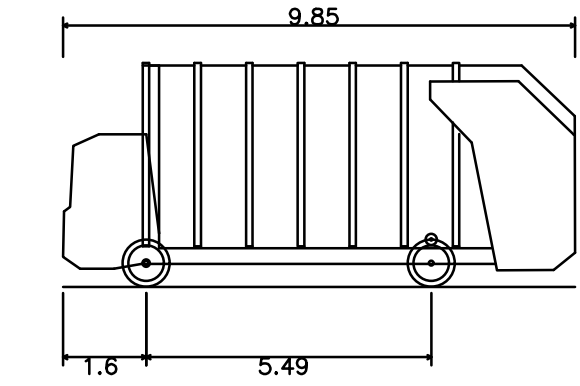
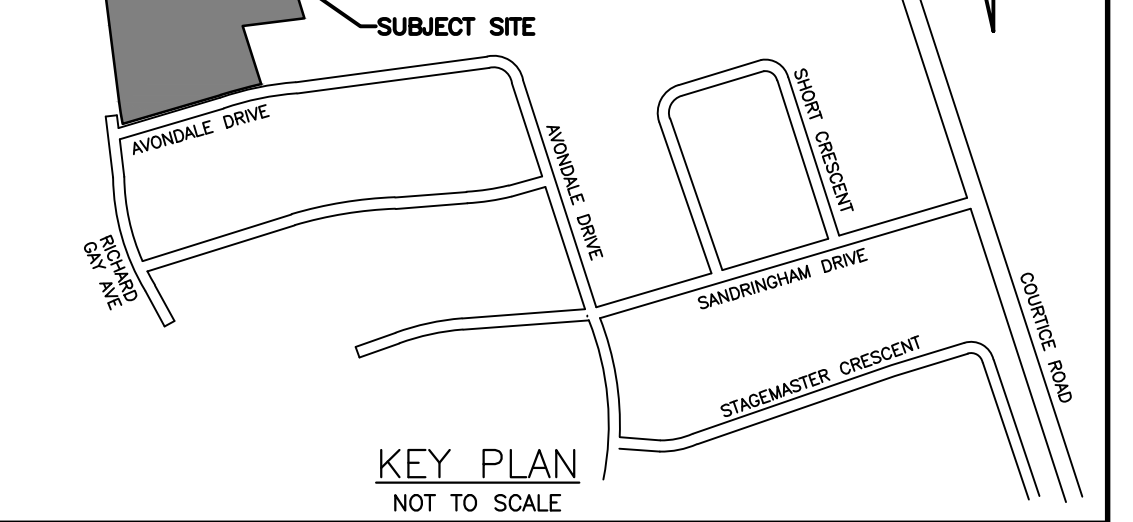
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	DESIGN BY: M.H.	
	CHECKED BY: M.B.C.	
DATE: OCTOBER 2022		

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HIGHWAY No. 2

**BENCH MARK**  
 GEODETIC BENCH MARK: 67-U-027  
 COURTYARD BRIDGE OVER BLACK  
 CREEK, 45.5m NORTH OF HWY NO. 2.  
 TABLET IN WEST FACE OF CONCRETE  
 ABUTMENT 4.0m FROM NORTH END OF  
 BRIDGE, 1.2m NORTH OF SOUTHWEST  
 CORNER, 450mm BELOW TOP OF  
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MUNICIPALITY OF  
 CLARINGTON

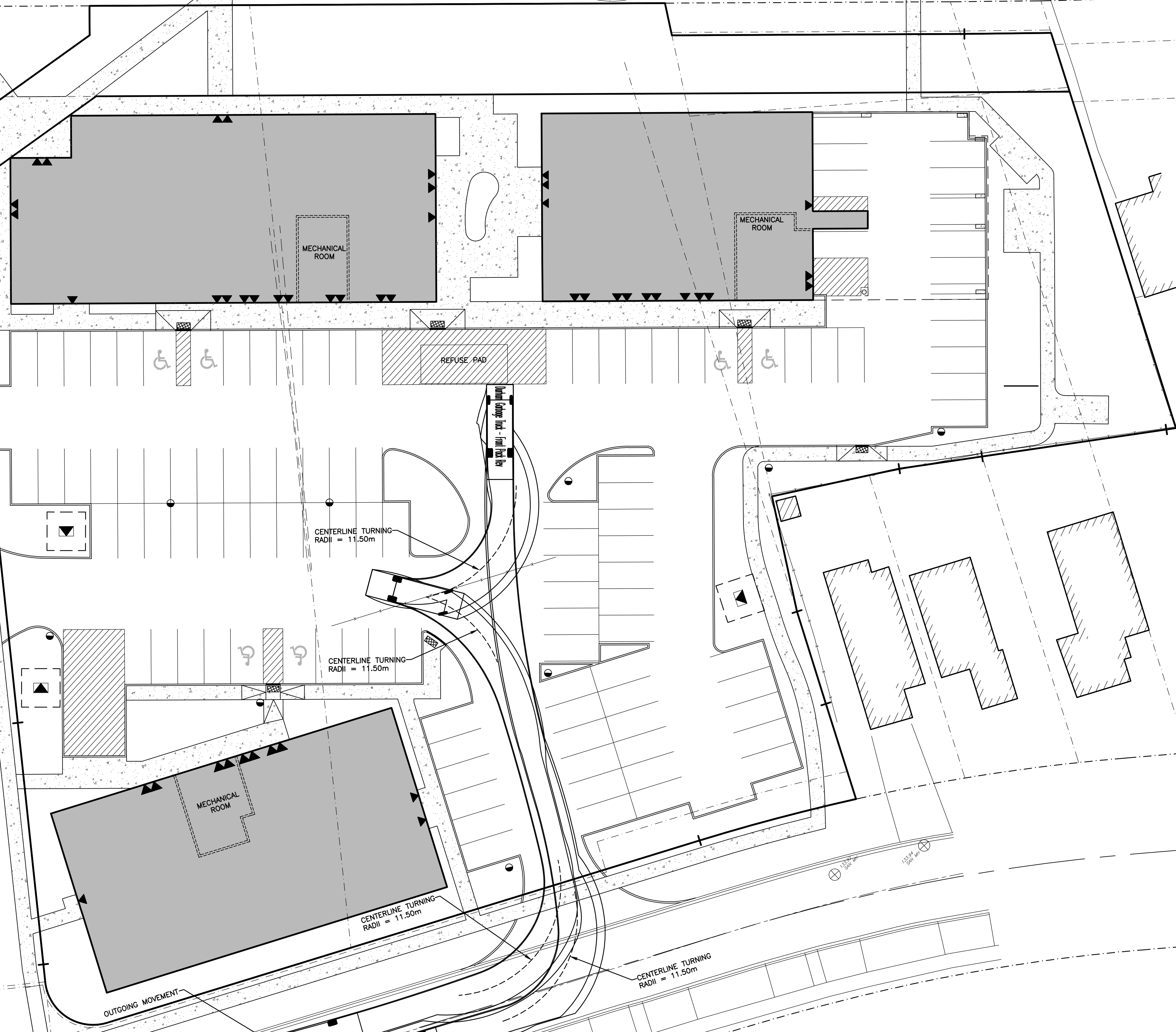


Durham Garbage Truck - Front Pack Rev  
 Overall Length 9.850m  
 Overall Width 2.770m  
 Overall Body Height 4.310m  
 Min Body Ground Clearance 0.321m  
 Track Width 2.600m  
 Lock-to-lock time 6.00s  
 Curb to Curb Turning Radius 11.500m

RICHARD GAY AVENUE

RICHARD GAY AVENUE

AVONDALE DRIVE



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1697 HIGHWAY No. 2, COURTYARD, CLARINGTON

TRUCK TURNING PLAN

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SCALE: 1:250	PROJECT NO. 122065
DRAWN BY: G.P.W.	DRAWING NO. TT-2
DESIGN BY: M.H.	
CHECKED BY: M.B.C.	
DATE: OCTOBER 2022	

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HIGHWAY No. 2

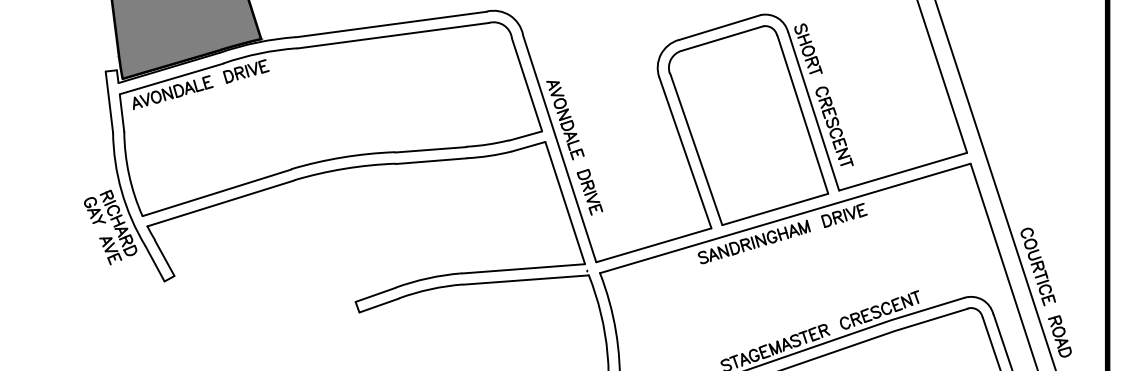
HIGHWAY No. 2

**BENCH MARK**  
GEODETIC BENCH MARK: 67-U-027  
COURTICE ROAD BRIDGE OVER BLACK  
CREEK, 45.5m NORTH OF HWY NO. 2.  
TABLET IN WEST FACE OF CONCRETE  
ABUTMENT 4.0m FROM NORTH END OF  
BRIDGE, 1.2m NORTH OF SOUTHWEST  
CORNER, 450mm BELOW TOP OF  
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ELEVATION 132.044  
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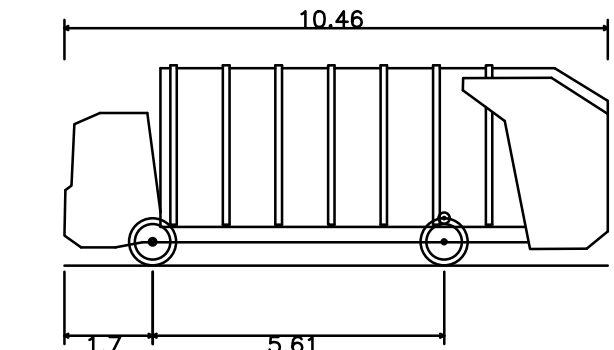
MUNICIPALITY OF  
CLARINGTON

HIGHWAY No. 2

SUBJECT SITE



KEY PLAN  
NOT TO SCALE

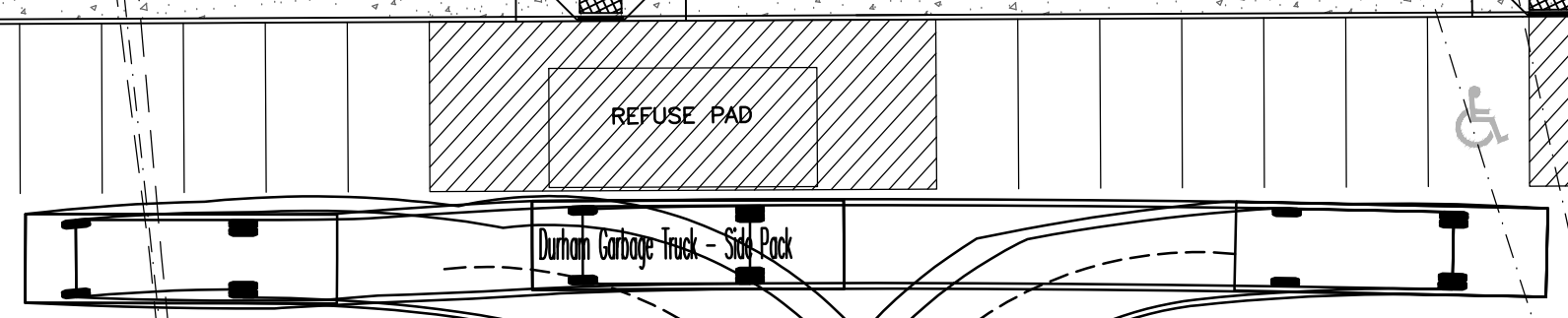
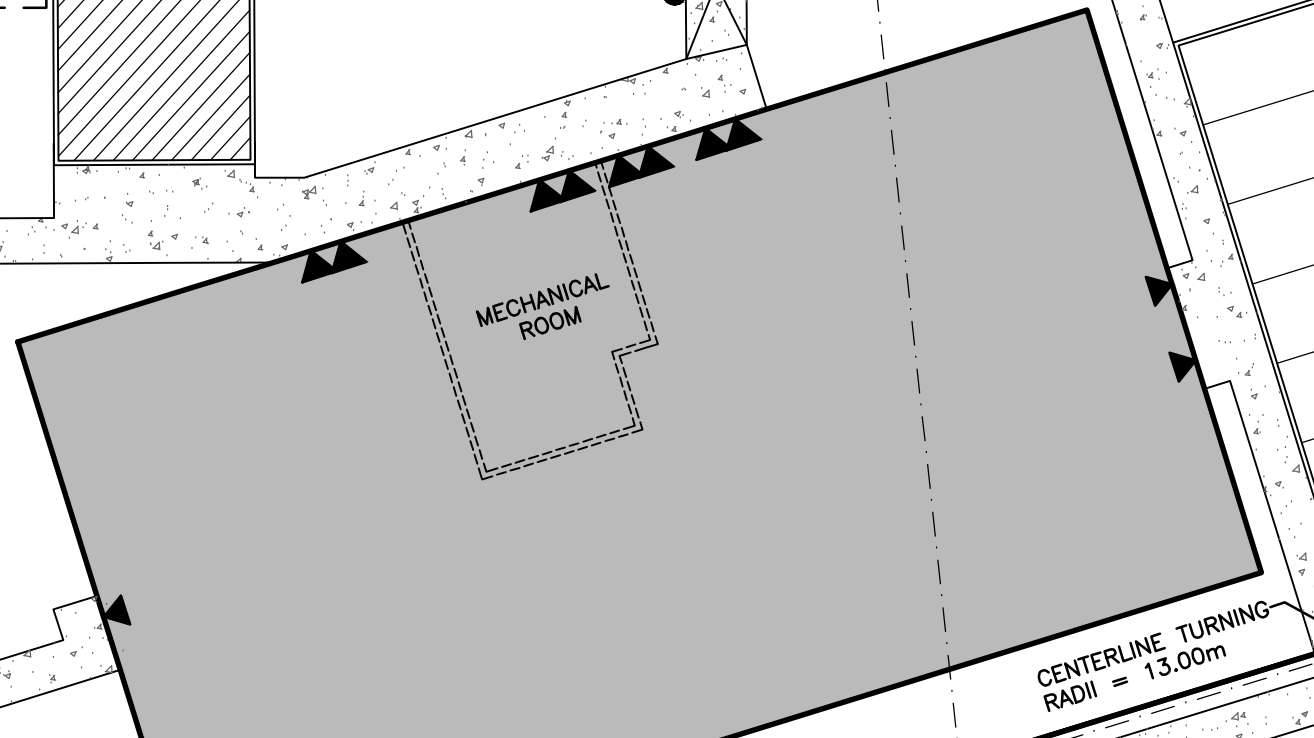
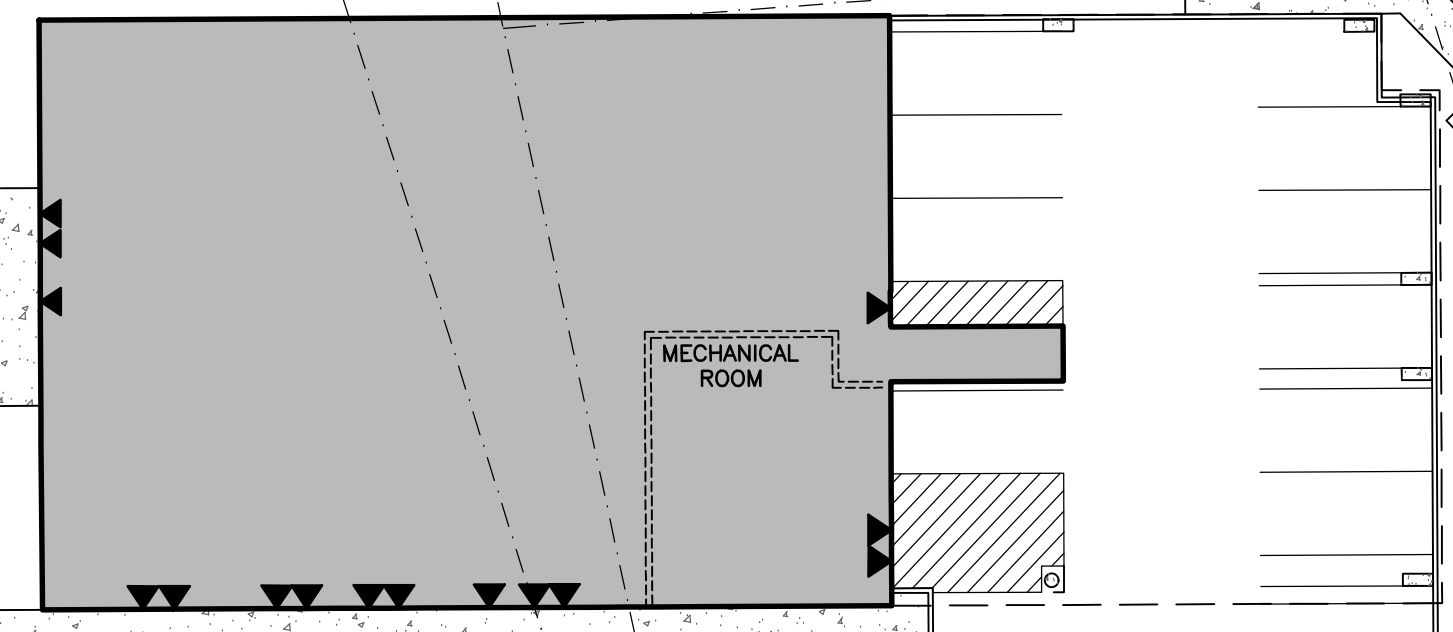
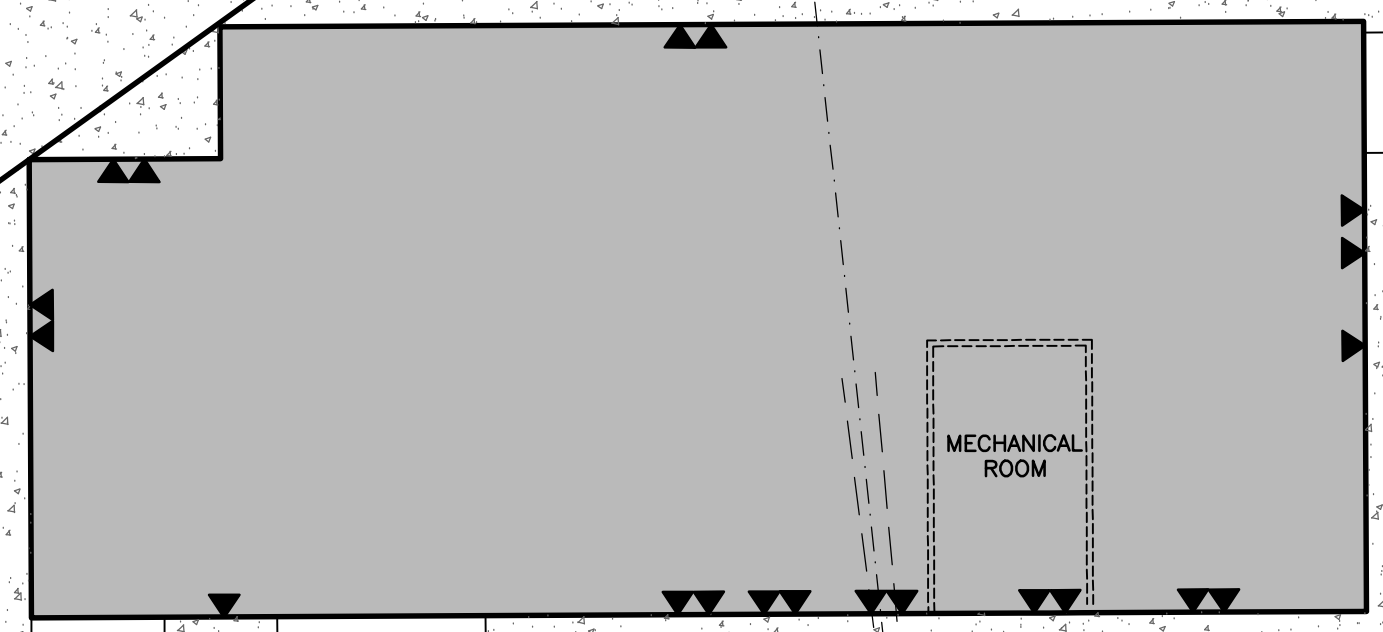


Durham Garbage Truck - Side Pack  
Overall Length 10.460m  
Overall Width 2.980m  
Overall Body Height 3.850m  
Min Body Ground Clearance 0.321m  
Track Width 2.600m  
Lock-to-lock time 6.00s  
Curb to Curb Turning Radius 13.000m

RICHARD GAY AVENUE

RICHARD GAY AVENUE

AVONDALE DRIVE



CENTERLINE TURNING  
RADII = 13.00m

CENTERLINE TURNING  
RADII = 13.00m

CENTERLINE TURNING  
RADII = 13.00m

CENTERLINE TURNING  
RADII = 13.00m

OUTGOING MOVEMENT

INCOMING MOVEMENT

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1697 HIGHWAY No. 2, COURTICE, CLARINGTON

### TRUCK TURNING PLAN

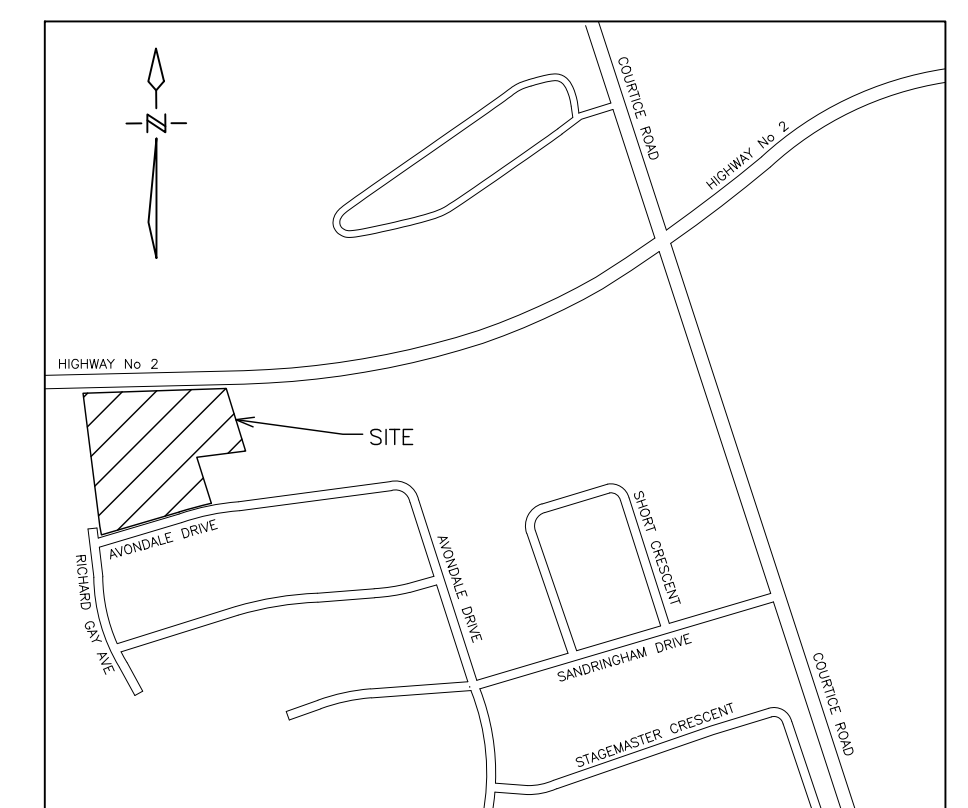
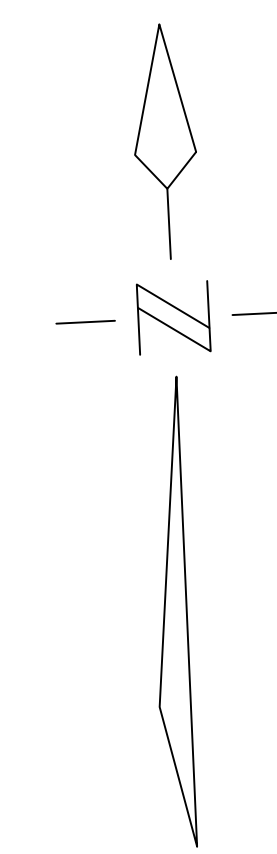
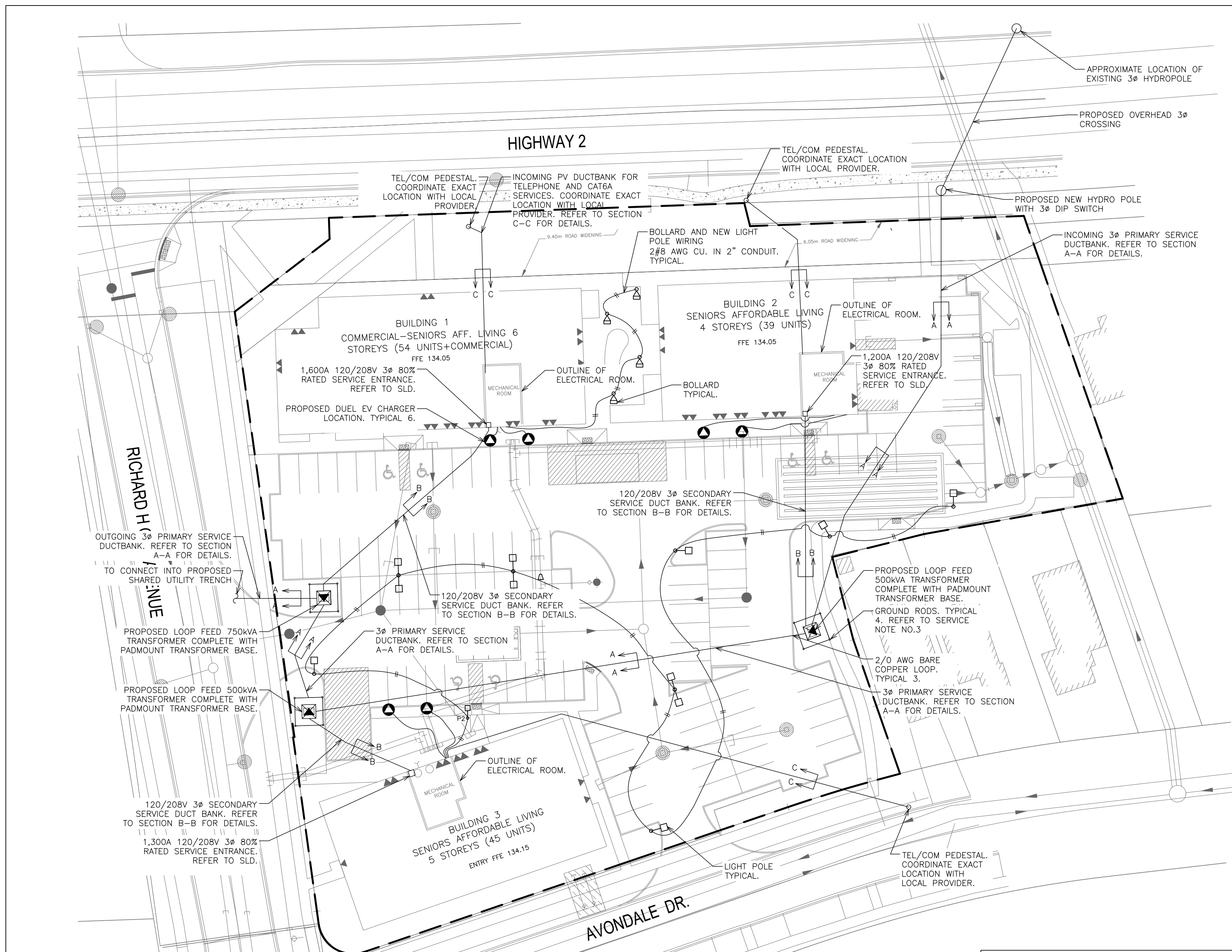
**D.G. BIDDLE & ASSOCIATES**  
CONSULTING ENGINEERS & PLANNERS

96 King Street East  
Oshawa, Ontario, L1H 1B6  
Phone: 905-576-8500  
info@dgbiddle.com  
dgbiddle.com

SCALE:	1:250
DRAWN BY:	G.P.W.
DESIGN BY:	M.H.
CHECKED BY:	M.B.C.
DATE:	OCTOBER 2022

PROJECT NO.  
**122065**  
DRAWING NO.  
**TT-3**

X:\GP\JOB FILES\122065\122065 - 1697 HIGHWAY 2, COURTICE\122065 DRAWINGS\122065-TRUCK TURNING PLAN.DWG



KEY PLAN  
N.T.S.

**GENERAL REQUIREMENTS FOR SITE ELECTRICAL WORK**

- ALL EQUIPMENT MUST BE APPROVED BY AN ACCREDITED APPROVAL AGENCY, OR ACCEPTED THROUGH FIELD EVALUATION OR BY AN INSPECTOR UNDER THE PROVISION OF RULE 2-024 OF THE CURRENT ONTARIO ELECTRICAL SAFETY CODE.
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- A MINIMUM WORKING SPACE OF 1m WITH SECURE FOOTING SHALL BE PROVIDED AND MAINTAINED ABOUT ELECTRICAL EQUIPMENT SUCH AS SWITCHBOARDS, PANELBOARDS, CONTROL PANELS, AND MOTOR CONTROL CENTRES WHICH ARE ENCLOSED IN METAL. RULE 2-308.
- ALL OVERCURRENT PROTECTION SHALL BE CAPABLE OF INTERRUPTING THE AVAILABLE FAULT CURRENT. RULE 14-012.
- EVERY PANELBOARD SHALL BE PROTECTED ON THE SUPPLY SIDE BY OVERCURRENT DEVICES HAVING A RATING NOT GREATER THAN THAT OF PANELBOARD. RULE 14-606(1).
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- RULE 14-102 REQUIRES GROUND FAULT PROTECTION ON GROUNDED CIRCUITS MORE THAN 150 VOLTS TO GROUND AND 1000 AMPERES OR MORE. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR AND SWITCHGEAR MANUFACTURER TO CO-ORDINATE THE GROUND FAULT SENSING METHOD WITH EACH PARTICULAR GROUNDING ARRANGEMENT.

**SERVICE SIZE CALCULATIONS:**  
BUILDING 1 - COMMERCIAL/SENIORS AFF. LIVING

TOTAL ESTIMATED DEMAND \_\_\_\_\_ 456,706W

SERVICE SIZE = 1,268A @ 120/208V 3φ  
OR  
1,600A @ 80% (FUSED MAIN)

**SERVICE SIZE CALCULATIONS:**  
BUILDING 2 - SENIORS AFF. LIVING

TOTAL ESTIMATED DEMAND \_\_\_\_\_ 333,006W

SERVICE SIZE = 925A @ 120/208V 3φ  
OR  
1,200A @ 80% (FUSED MAIN)

**SERVICE SIZE CALCULATIONS:**  
BUILDING 3 - SENIORS AFF. LIVING

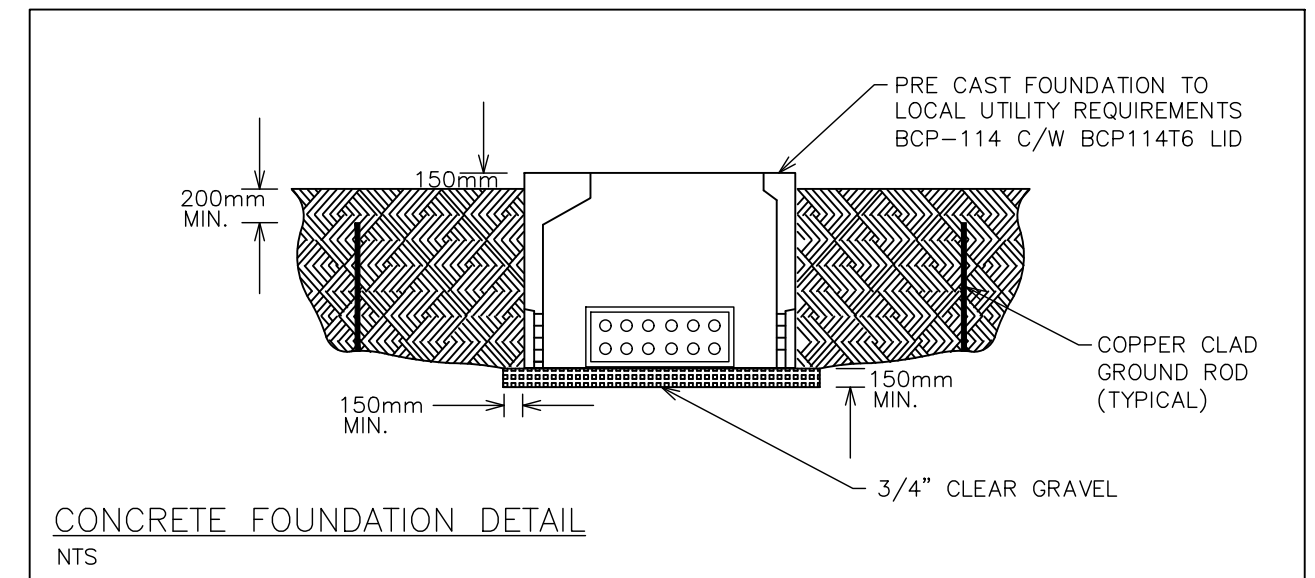
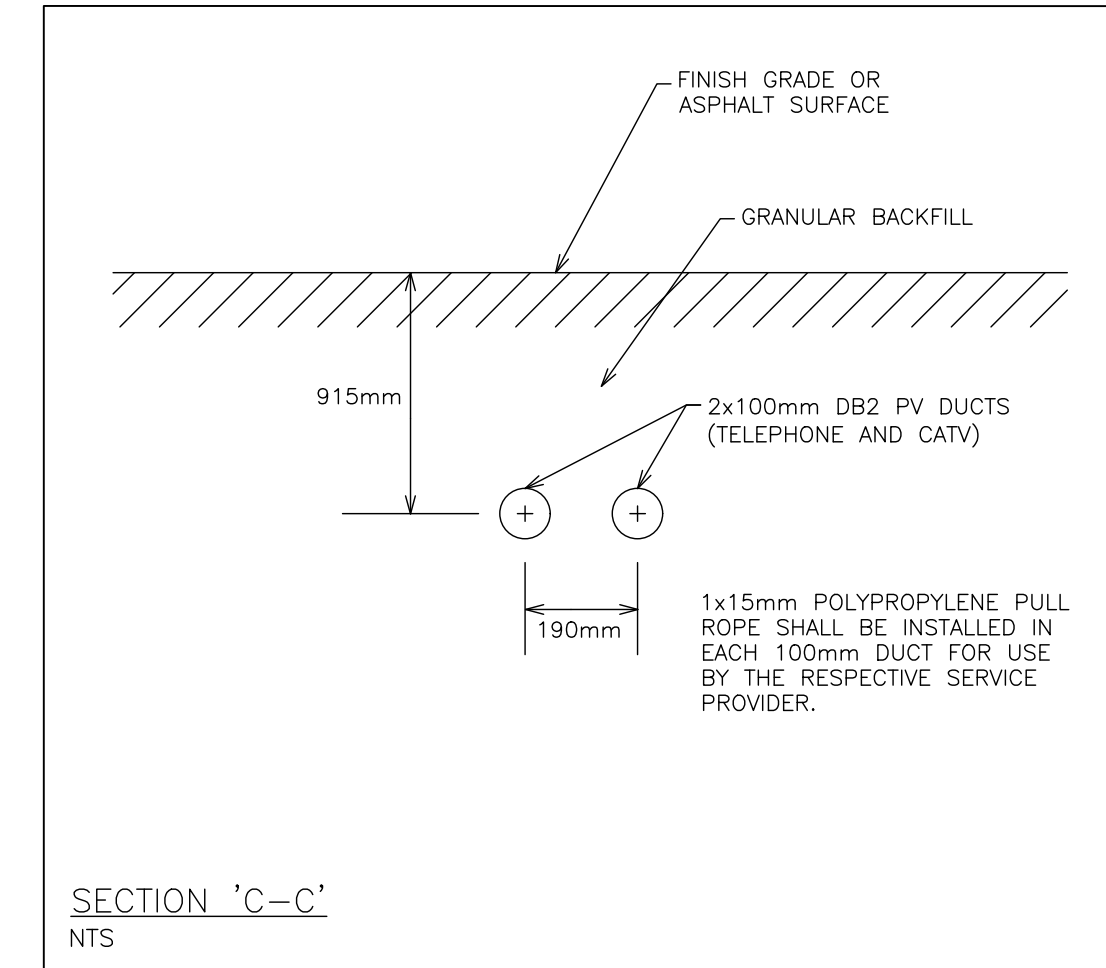
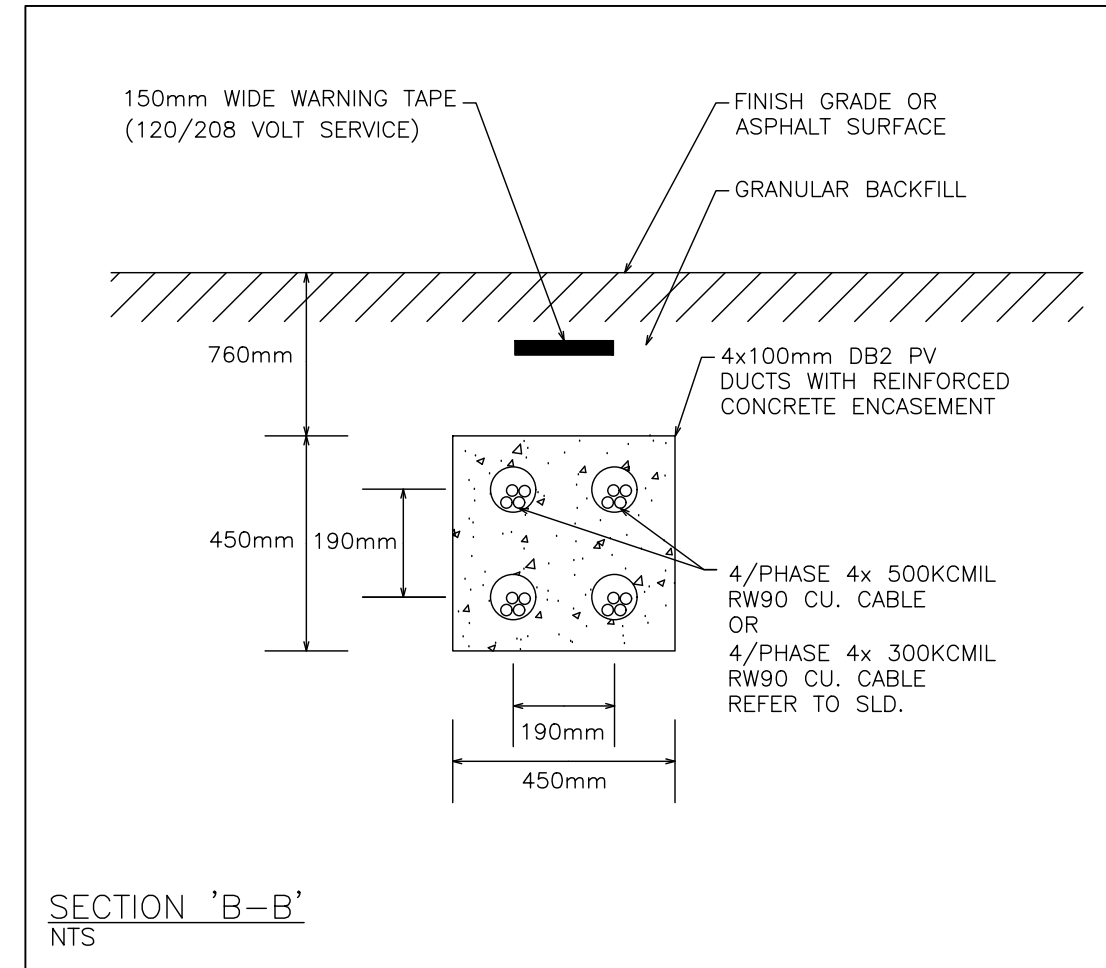
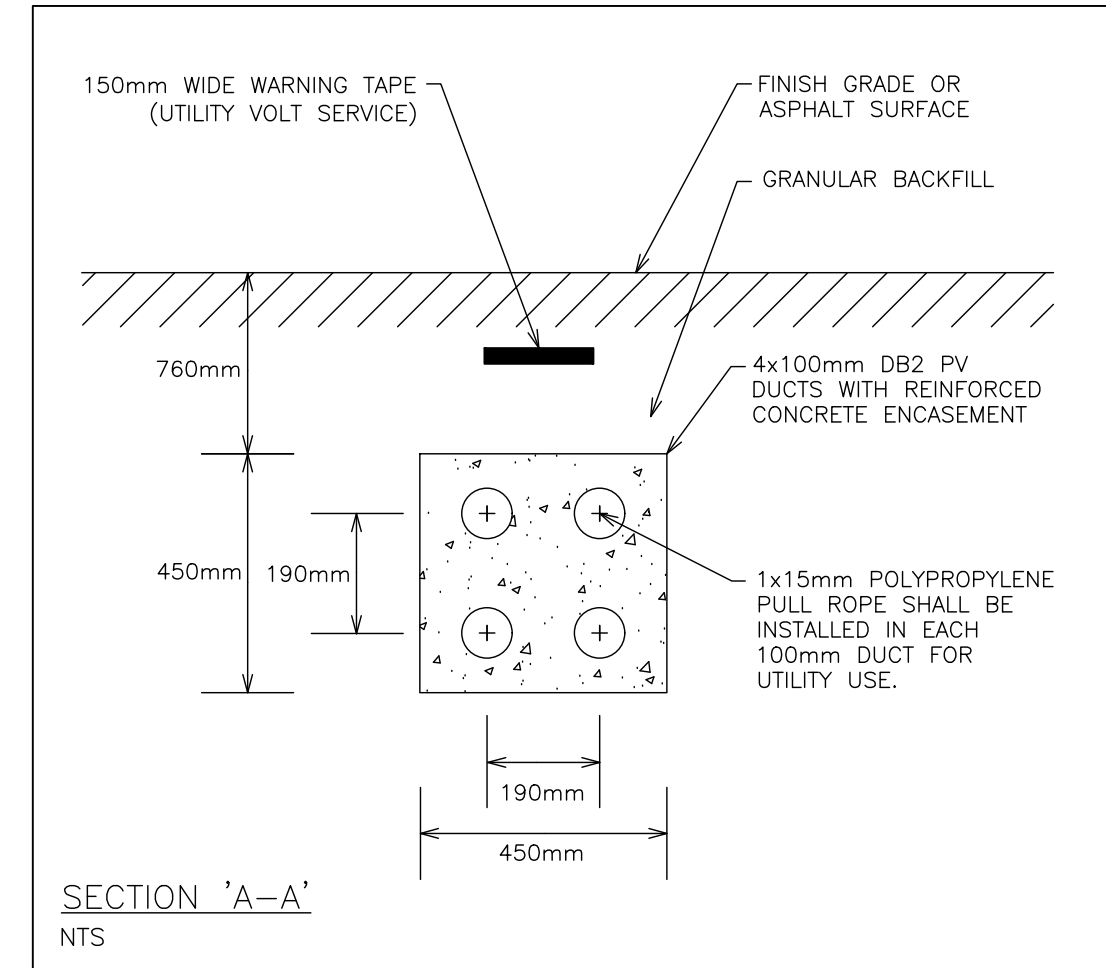
TOTAL ESTIMATED DEMAND \_\_\_\_\_ 358,906W

SERVICE SIZE = 1,011A @ 120/208V 3φ  
OR  
1,300A @ 80% (FUSED MAIN AT 1,250A)

- NOTES:**
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  - COORDINATE ALL INCOMING SERVICES WITH LIGHTING POLES, CONDUITS, GAS AND SITE SERVICES AS PER RELATED CIVIL DRAWINGS TO BE ACQUIRED BY CONTRACTOR.
  - REFER TO DRAWING SE-1 FOR SITE LIGHTING SCHEDULE AND DETAILS. COORDINATE ALL INCOMING SERVICES WITH LIGHTING POLES, CONDUITS, GAS AND SITE SERVICES AS PER RELATED CIVIL DRAWINGS TO BE ACQUIRED BY CONTRACTOR.
  - CONFIRM THE FOLLOWING INSTRUCTIONS WITH LOCAL AUTHORITY PRIOR TO COMMENCEMENT OF WORK.
  - THE ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL A PRECAST CONCRETE FOUNDATION, BASE AND LID EQUAL TO BROOKLIN CONCRETE PRODUCTS CATALOGS, BCP-114, BCP-114B AND BCP-114T6. THE BASE SHALL BE INSTALLED ON A 150mm BED OF 19mm CLEAR GRAVEL SET ON LEVEL UNDISTURBED OR COMPACTED EARTH. THE GRAVEL BED SHALL EXTEND 150mm BEYOND THE EDGES OF THE PRECAST CONCRETE BASE. THE SURFACE AREA AROUND THE TOP OF THE PRECAST CONCRETE FOUNDATION SHALL BE RESTORED TO THE ORIGINAL SITE CONDITION.
  - A CONTINUOUS LENGTH OF 2/0 AWG STRANDED COPPER GROUND WIRE SHALL BE INSTALLED A MINIMUM OF 400mm BELOW GRADE AROUND THE PRECAST CONCRETE FOUNDATION AND CONNECT TO FOUR (4) 19mm X 300mm GALVANIZED STEEL GROUND RODS BY FIVE (5) BURNDY CAT. NO. GRC3426 GROUND ROD CONNECTORS. TWO (2) 10"-0" COILS OF 2/0 AWG GROUND WIRE SHALL BE LEFT ABOVE THE PRECAST CONCRETE LID FOR CONNECTION TO THE PADMOUNT TRANSFORMER.
  - ELECTRICAL CONTRACTOR TO PROVIDE ALL GROUNDINGS, CABLE LUGS, ETC. TRANSFORMER AND FINAL CONNECTIONS BY LOCAL UTILITY.

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  - PULL ROPE MUST BE PROVIDED FOR ALL CONDUIT RUNS AND THE ENDS OF CONDUITS MUST BE CLEARLY MARKED (STAKED) AT THE PROPERTY LINE.

**NOT FOR CONSTRUCTION. REFER TO OFFER TO CONNECT BY HYDRO ONE DISTRIBUTION INC. FOR ALL DETAILS AND NOTES ASSOCIATED WITH THIS INSTALLATION.**



NO.	REVISION	DATE	BY	APPROVED
4.	REVISED AS PER CONDITIONS OF APPROVAL	MAR 26 F.K.	G.V.W.O	
3.	RE-ISSUED FOR SPA	JAN 26 F.K.	G.V.W.O	
2.	RE-ISSUED FOR SPA	NOV 01 B.P.	G.V.W.O	
1.	ISSUED FOR SPA	DEC 07 A.L.	G.V.W.O	

1697 DURHAM REGIONAL HIGHWAY 2, COURTYNE  
RICHARD H. GAY HOLDINGS

**SITE SERVICING  
SITE ELECTRICAL**

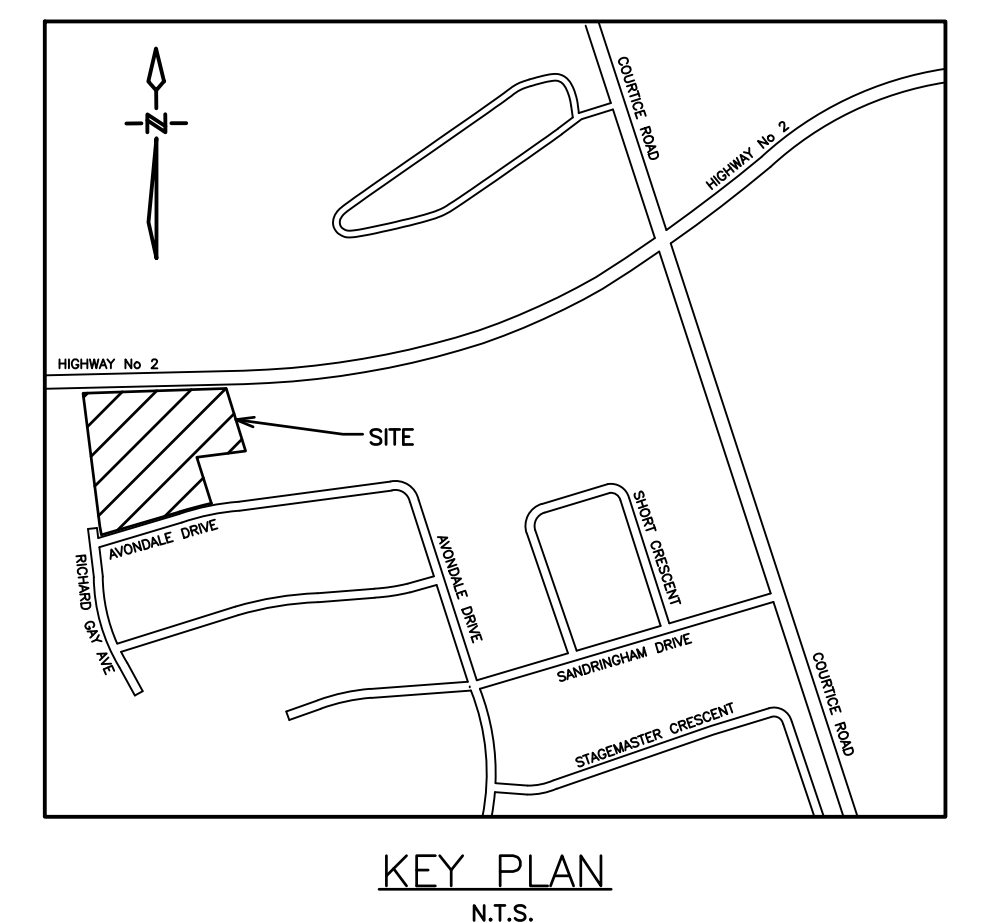
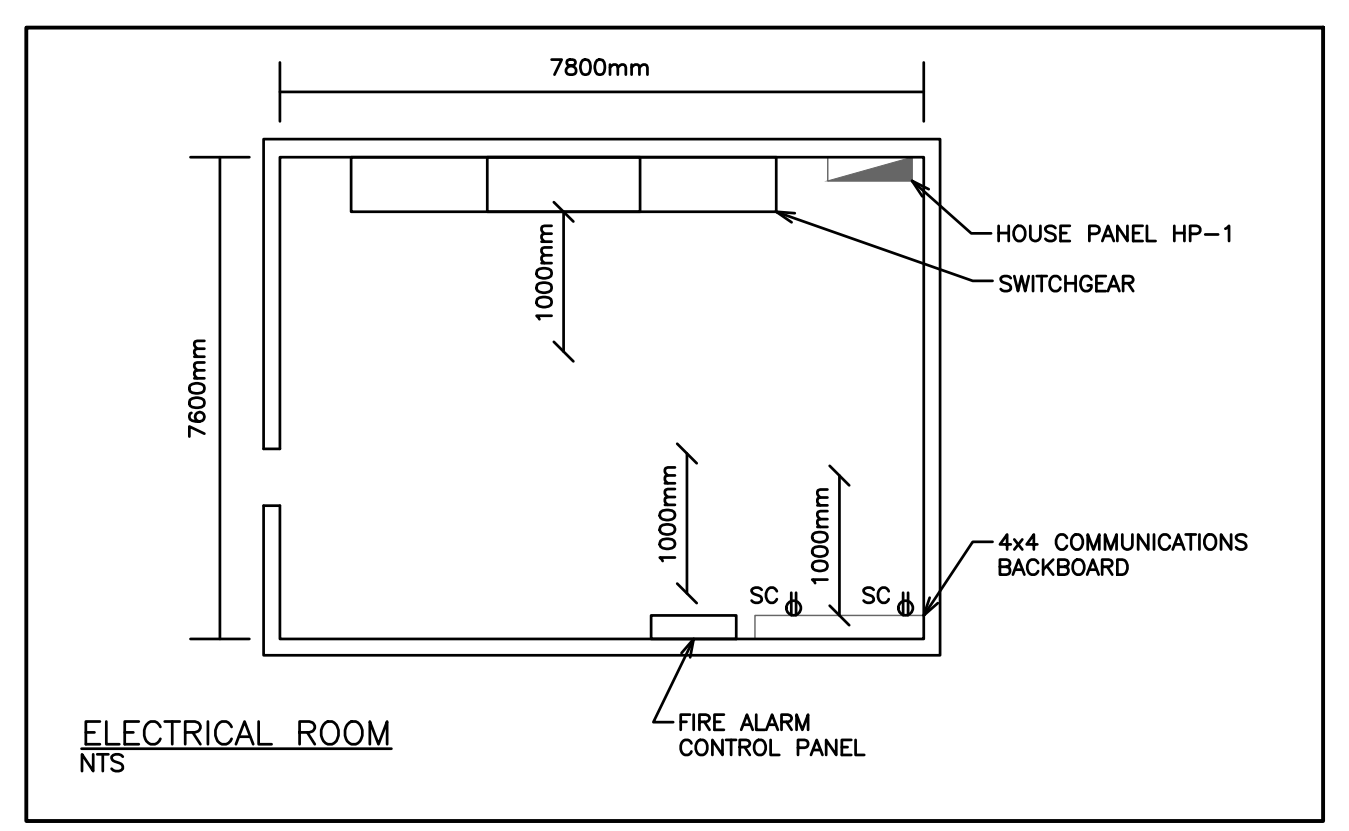
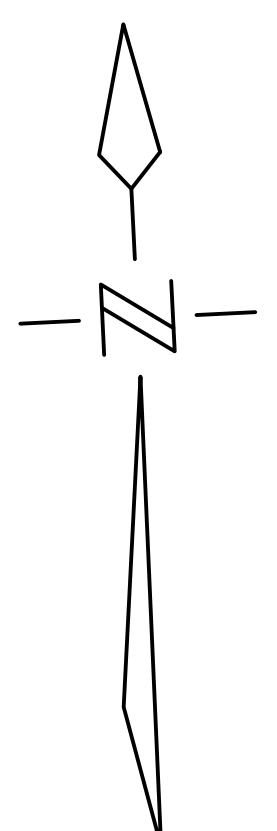
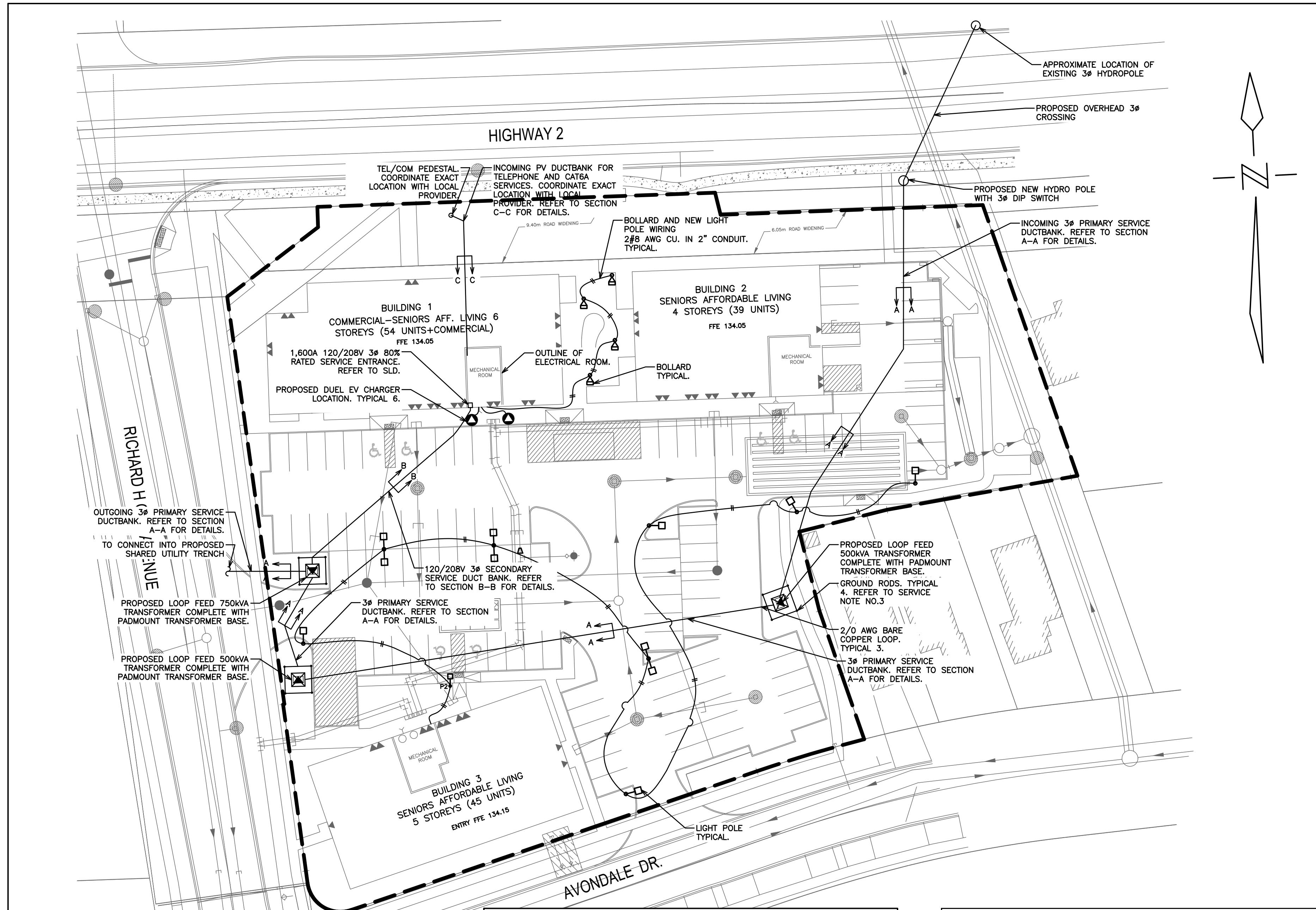
**D.G. Biddle & Associates Limited**  
consulting engineers and planners

96 KING STREET EAST • OSHAWA, ON L1H 1B6  
PHONE (905) 576-8500 • FAX (905) 576-9730  
INFO@DGBIDDLE.COM

SCALE: 1:400  
PROJECT NO. 122065  
DRAWING NO. SE-1  
DESIGN BY: A.L.  
CHECKED BY: G.V.W.O  
DATE: MARCH 2024

G.V.W. OSBORNE  
100136545  
03/27/24  
PROVINCE OF ONTARIO

CAD FILE: 122065 SE  
PLOT DATE: 03/26/2024  
SUBMISSION: COND.APRVL



- GENERAL REQUIREMENTS FOR SITE ELECTRICAL WORK**
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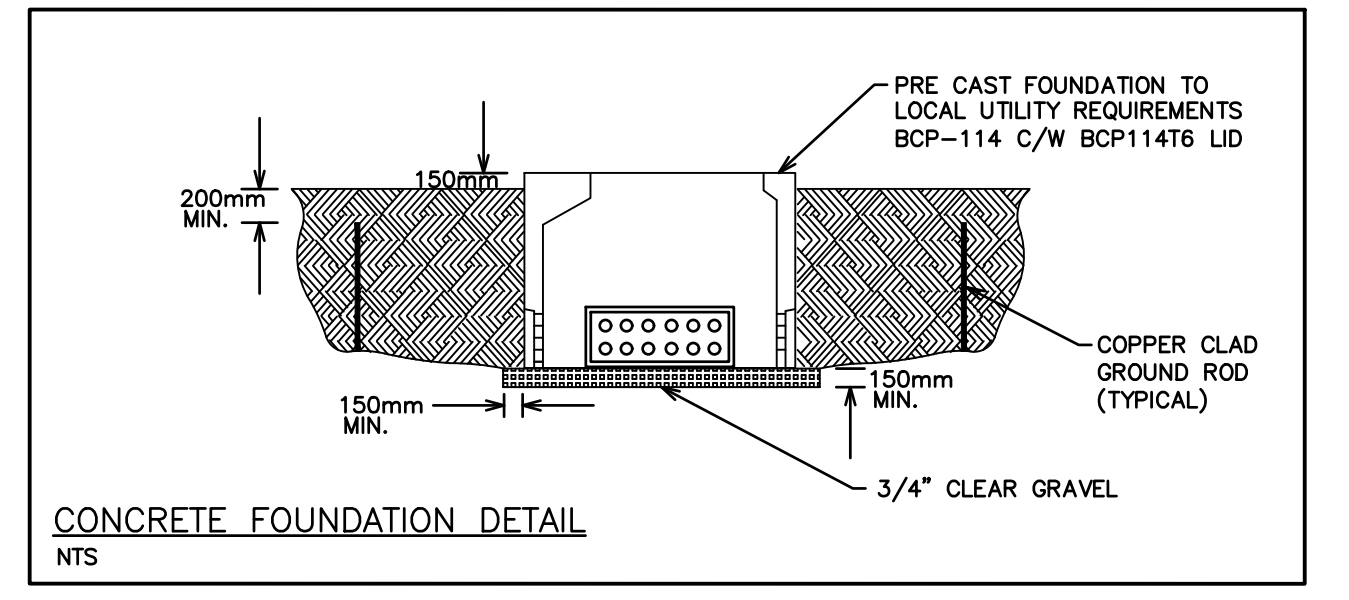
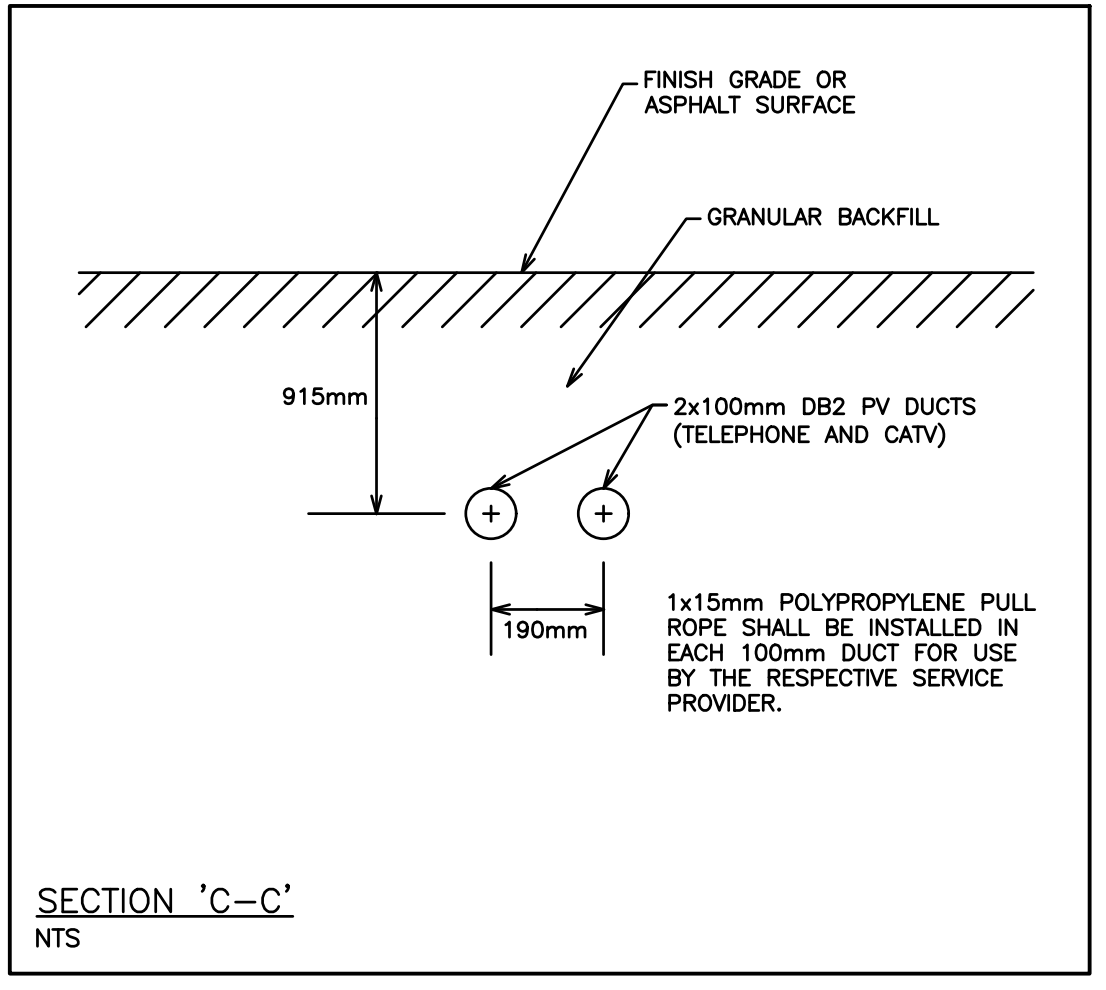
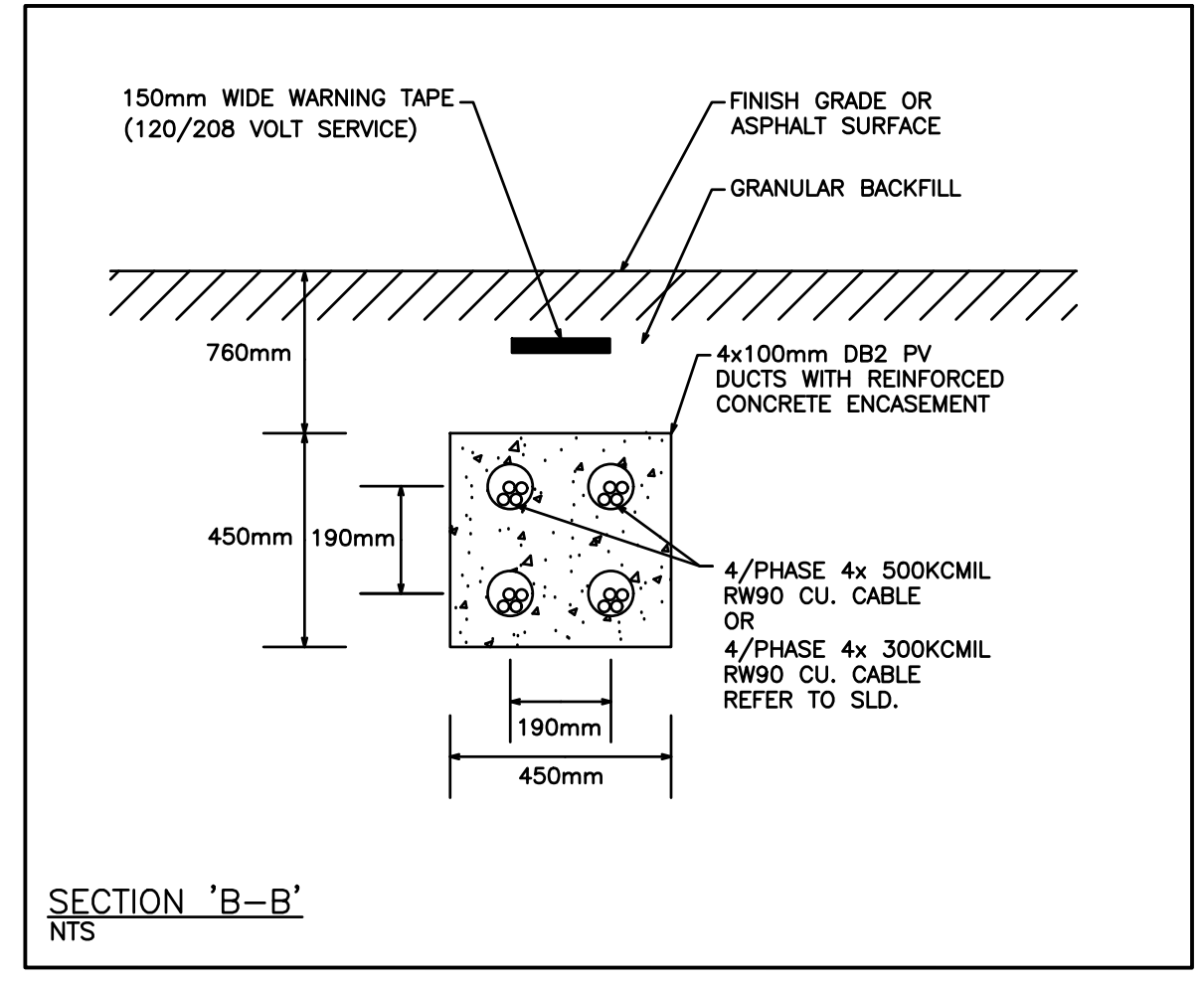
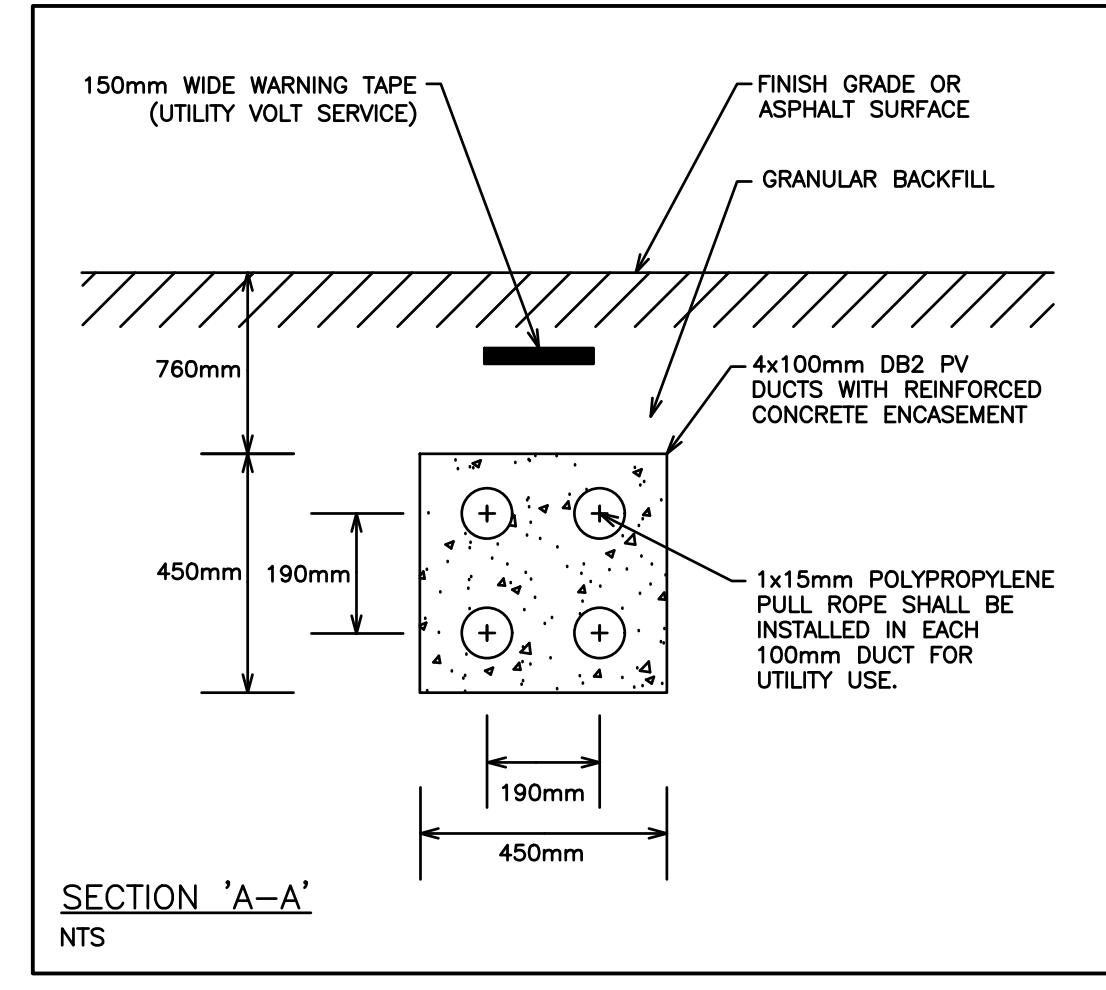
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**FAULT CURRENT CALCULATION (BUILDING#1):**  
 ASSUMING A SYSTEM X/R RATIO OF 3.8 ON THE 13.8KV LINE AND A 750kVA UTILITY TRANSFORMER (X<sub>R</sub> = 5.8), A 3-PHASE FAULT ON THE MAIN SWITCHBOARD AS PER ANSI C-37, IS ESTIMATED TO BE 27.1KA. THE MAIN DISCONNECT SHALL BE SIZED ACCORDINGLY. THE 1600A MAIN BREAKER SHALL BE BRACED FOR NO LESS THAN 61.2KA.

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**SERVICE SIZE CALCULATIONS: BUILDING 1 - COMMERCIAL/SENIORS AFF. LIVING**

**ESTIMATED SERVICE DEMAND TYPICAL 2-BEDROOM TENANT SUITES**

FIRST 45m²	3,500W
SECOND 45m²	1,500W
ELECTRIC RANGE	6,000W
DISHWASHER	1,500W
ELECTRIC WATER HEATER (25x4,500W)	1,125W
ELECTRIC CLOTHES DRYER/WASHER	1,000W
AIR HANDLING UNIT	2,500W
UNIT ELECTRICAL DEMAND	17,125W
UNIT ELECTRICAL DEMAND LESS A/C	14,625W
SERVICE SIZE 17,125W = 48A (60A PANEL)	

**COMMERCIAL SPACE 101**

ELECTRICAL DEMAND (493m²x25W/m²)	12,325W
MISCELLANEOUS	40,000W
TOTAL ESTIMATED DEMAND	52,325W
SERVICE SIZE 52,325W = 146A (200A PANEL)	

**AMMENITY SPACE 108**

ELECTRICAL DEMAND (128m²x25W/m²)	3,200W
MISCELLANEOUS	20,000W
TOTAL ESTIMATED DEMAND	23,200W
SERVICE SIZE 23,200W = 65A (100A PANEL)	

**AMMENITY SPACE 109**

ELECTRICAL DEMAND (109m²x25W/m²)	2,725W
MISCELLANEOUS	20,000W
TOTAL ESTIMATED DEMAND	22,725W
SERVICE SIZE 22,725W = 64A (100A PANEL)	

**ESTIMATED SUITES DEMAND**

1 SUITES (14,625w x 1.0x1)	14,625W
2 SUITES (14,625w x 0.65x2)	19,013W
2 SUITES (14,625w x 0.40x2)	11,700W
15 SUITES (14,625w x 0.25x15)	54,844W
30 SUITES (14,625w x 1.0x30)	43,875W
AIR HANDLING UNITS (2,500w x 50)	125,000W
SUITES TOTAL	269,056W

**ESTIMATED BUILDING DEMAND**

ELEVATOR LOADS (72,000w x 0.75)	54,000W
GARBAGE TRISSORTER (7,200w x 0.75)	5,400W
BUILDING MISCELLANEOUS (30,000w)	30,000W
TOTAL ESTIMATED DEMAND	456,706W
SERVICE SIZE = 1,268A @ 120/208V 3φ	
OR 1,600A @ 80% (FUSED MAIN)	

NO.	REVISION	DATE	BY	APPROVED
4.	REVISED AS PER CONDITIONS OF APPROVAL	MAR 26	F.K.	G.V.W.O
3.	RE-ISSUED FOR SPA	JAN 26	F.K.	G.V.W.O
2.	RE-ISSUED FOR SPA	NOV 01	B.P.	G.V.W.O
1.	ISSUED FOR SPA	DEC 07	A.L.	G.V.W.O

REVISIONS

1697 DURHAM REGIONAL HIGHWAY 2, COURTYE  
RICHARD H. GAY HOLDINGS

**SITE SERVICING - BLD 1**  
**SITE ELECTRICAL**

**D.G. Biddle & Associates Limited**  
 consulting engineers and planners

96 KING STREET EAST • OSHAWA, ON L1H 1B6  
 PHONE (905) 576-8500 FAX (905) 576-9730  
 INFO@DGBIDDLE.COM

SCALE: 1:400

PROJECT NO. 122065

DRAWN BY: A.L. DRAWING NO. SE-2

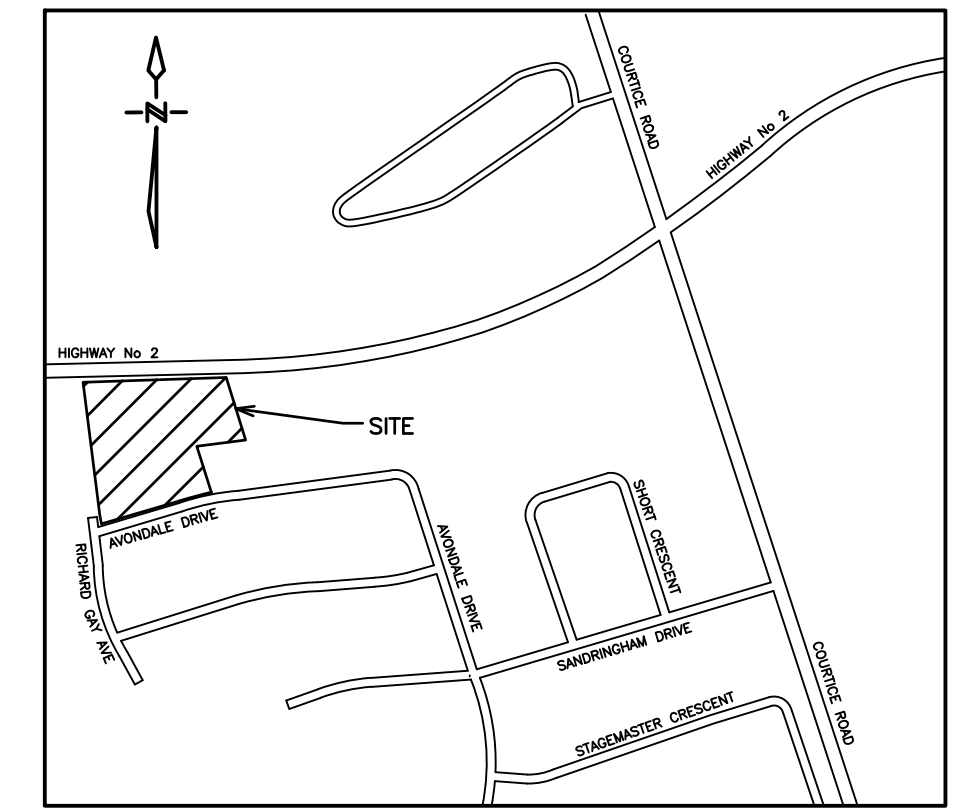
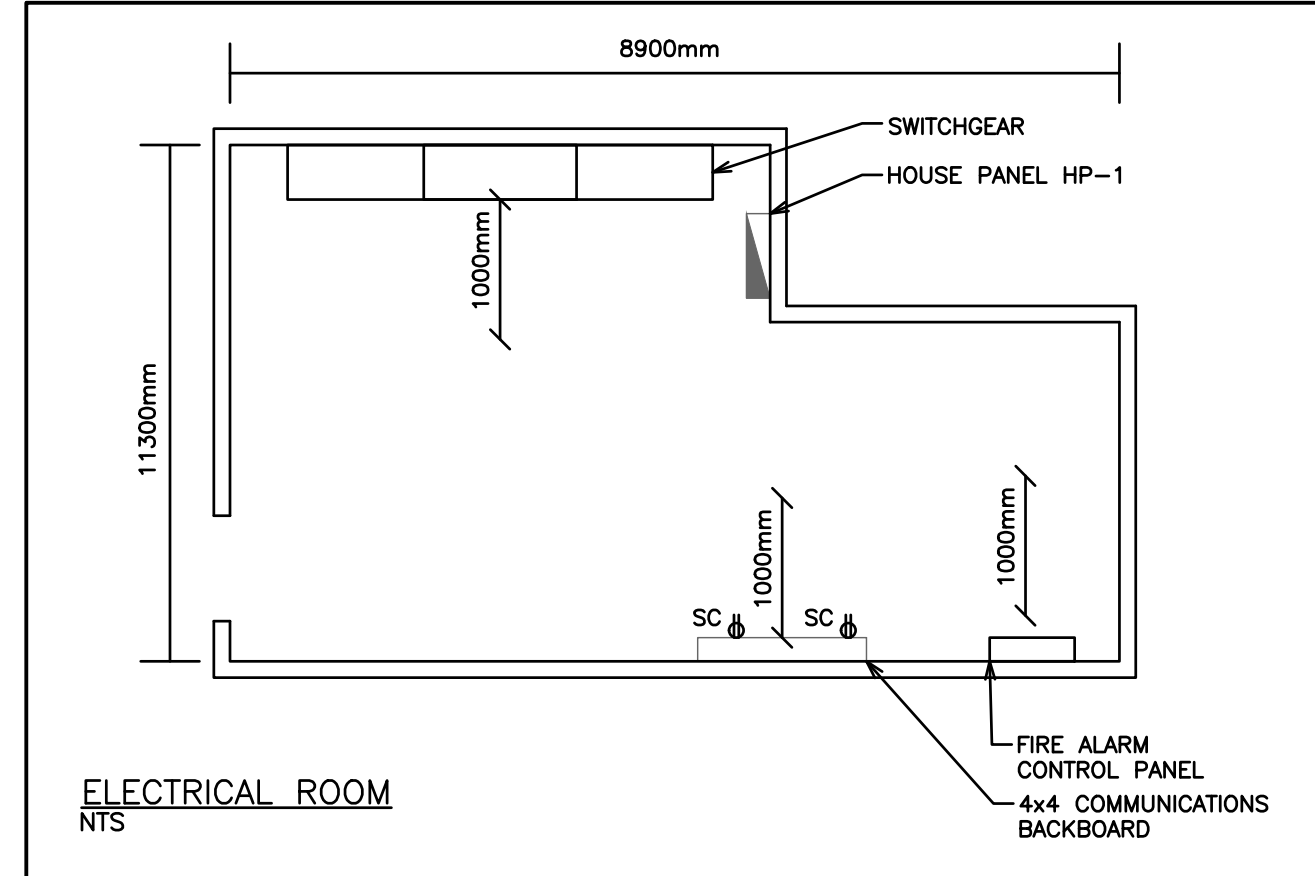
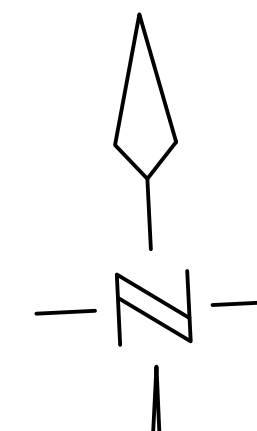
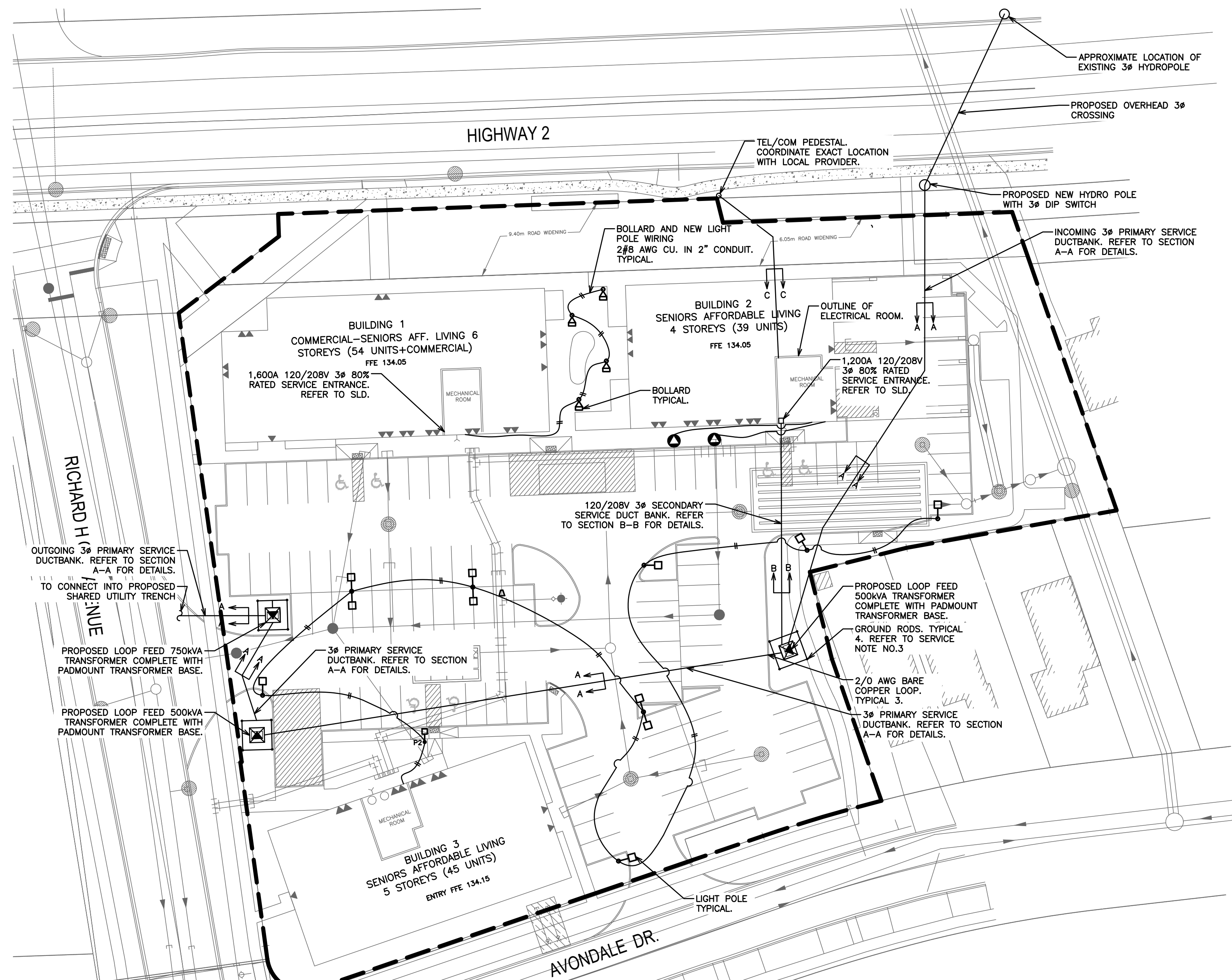
DESIGN BY: A.L.

CHECKED BY: G.V.W.O. CAD FILE: 122065 SE

DATE: MARCH 2024. PLOT DATE: 03/26/2024

SUBMISSION: COND. APPROVAL





KEY PLAN  
N.T.S.

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  - ALL DETAILS SHOWN ARE SCHEMATIC BY NATURE AND ARE TO BE USED FOR SCOPE OF WORK PURPOSES ONLY. COORDINATE WITH ALL TRADES AND MANUFACTURERS BEST PRACTICES AND DIRECTIONS.
  - CONTRACTOR TO COORDINATE EXACT LENGTH OF SECONDARY RUNS ON SITE AND PROVIDE CONDUCTORS TO SUIT. CONTRACTOR TO PROVIDE CONDUCTOR SIZES C/W LENGTH OF RUN TO ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
  - ELECTRICAL SCOPE OF WORK: THE CONTRACTOR IS ASSUMED TO BE OF MASTER ELECTRICIAN EXPERIENCE AND SHALL PROVIDE ANY APPLICABLE SINGLE LINE DIAGRAMS, PANEL SCHEDULES AND CIRCUIT PLAN DESIGNS REQUIRED TO PROVIDE A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM. THIS PRICE SHALL BE INCLUDED IN THE CONTRACTORS BASE BID PRICE. NO CLAIM FOR EXTRA PAYMENT WILL BE ALLOWED FOR FAILURE TO INCLUDE THIS COST INTO THE BASE BID. BIDDERS SHALL ACCEPT SOLE RESPONSIBILITY FOR ANY ERROR OR NEGLECT IN PRICING THE ABOVE ITEMS IN THERE BID.
  - COORDINATE ALL INCOMING SERVICES WITH LIGHTING POLES, CONDUITS, GAS AND SITE SERVICES AS PER RELATED CIVIL DRAWINGS TO BE ACQUIRED BY CONTRACTOR.
  - REFER TO DRAWING SL-1 FOR SITE LIGHTING SCHEDULE AND DETAILS. COORDINATE ALL INCOMING SERVICES WITH LIGHTING POLES, CONDUITS, GAS AND SITE SERVICES AS PER RELATED CIVIL DRAWINGS TO BE ACQUIRED BY CONTRACTOR.
  - CONFIRM THE FOLLOWING INSTRUCTIONS WITH LOCAL AUTHORITY PRIOR TO COMMENCEMENT OF WORK.
  - THE ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL A PRECAST CONCRETE FOUNDATION, BASE AND LID EQUAL TO BROOKLIN CONCRETE PRODUCTS CATINGS, BCP 114, BCP 114B AND BCP 114T6. THE BASE SHALL BE INSTALLED ON A 150mm BED OF 19mm CLEAR GRAVEL SET ON LEVEL UNDISTURBED OR COMPACTED EARTH. THE GRAVEL BED SHALL EXTEND 150mm BEYOND THE EDGES OF THE PRECAST CONCRETE BASE. THE SURFACE AREA AROUND THE TOP OF THE PRECAST CONCRETE FOUNDATION SHALL BE RESTORED TO THE ORIGINAL SITE CONDITION.
  - A CONTINUOUS LENGTH OF 2/0 AWG STRANDED COPPER GROUND WIRE SHALL BE INSTALLED A MINIMUM OF 400mm BELOW GRADE AROUND THE PRECAST CONCRETE FOUNDATION AND CONNECT TO FOUR (4) 19mm X 300mm GALVANIZED STEEL GROUND RODS BY FIVE (5) BURNDY CAT. NO. GRC3426 GROUND ROD CONNECTORS. TWO (2) 10"-0" COILS OF 2/0 AWG GROUND WIRE SHALL BE LEFT ABOVE THE PRECAST CONCRETE LID FOR CONNECTION TO THE PADMOUNT TRANSFORMER.
  - ELECTRICAL CONTRACTOR TO PROVIDE ALL GROUNDINGS, CABLE LUGS, ETC. TRANSFORMER AND FINAL CONNECTIONS BY LOCAL UTILITY.

SERVICE SIZE CALCULATIONS:  
BUILDING 2 - SENIORS AFF. LIVING

ESTIMATED SERVICE DEMAND  
TYPICAL 2-BEDROOM TENANT SUITES

FIRST 45m <sup>2</sup>	3,500W
SECOND 45m <sup>2</sup>	1,500W
ELECTRIC RANGE	6,000W
DISHWASHER	1,500W
ELECTRIC WATER HEATER (25% x 4.500W)	1,125W
ELECTRIC CLOTHES DRYER/WASHER	1,000W
AIR HANDLING UNIT	2,500W
UNIT ELECTRICAL DEMAND	17,125W
UNIT ELECTRICAL DEMAND LESS A/C	14,625W

SERVICE SIZE 17,125W = 48A (60A PANEL)  
208V x 3

AMMENITY SPACE

ELECTRICAL DEMAND (30m x 25W/m <sup>2</sup> )	750W
MISCELLANEOUS	15,000W
TOTAL ESTIMATED DEMAND	15,750W

SERVICE SIZE 15,750W = 44A (60A PANEL)  
208V x 3

ESTIMATED SUITES DEMAND

1 SUITES (13,625W x 1.0x1)	13,625W
2 SUITES (13,625W x 0.65x2)	17,713W
2 SUITES (13,625W x 0.40x2)	10,900W
15 SUITES (13,625W x 0.25x15)	51,094W
18 SUITES (13,625W x 0.10x18)	24,525W
AIR HANDLING UNITS (2,500W x 38)	95,000W
SUITES TOTAL	212,856W

ESTIMATED BUILDING DEMAND

LAUNDRY ROOM	15,000W
ELEVATOR LOADS (72,000W x 0.75)	54,000W
GARBAGE TRISOVERTER (7,200W x 0.75)	5,400W
BUILDING MISCELLANEOUS (20,000W)	30,000W
TOTAL ESTIMATED DEMAND	333,006W

SERVICE SIZE = 925A @ 120/208V 3 $\phi$   
OR  
1,200A @ 80% (FUSED MAIN)

4. REVISED AS PER CONDITIONS OF APPROVAL	MAR 26	F.K.	G.V.W.O	
3. RE-ISSUED FOR SPA	JAN 26	F.K.	G.V.W.O	
2. RE-ISSUED FOR SPA	NOV 01	B.P.	G.V.W.O	
1. ISSUED FOR SPA	DEC 07	A.L.	G.V.W.O	
NO.	REVISION	DATE	BY	APPROVED

1697 DURHAM REGIONAL HIGHWAY 2, COURTYARD  
RICHARD H. GAY HOLDINGS

SITE SERVICING - BLD 2  
SITE ELECTRICAL

D.G. Biddle & Associates Limited  
consulting engineers and planners  
96 KING STREET EAST • OSHAWA, ON L1H 1B6  
PHONE (905) 576-8500 FAX (905) 576-9730  
INFO@DGBIDDLE.COM

SCALE:	1:400	PROJECT NO.	122065
DRAWN BY:	A.L.	DRAWING NO.	SE-3
DESIGN BY:	A.L.	CAD FILE:	122065 SE
CHECKED BY:	G.V.W.O	PLOT DATE:	03/28/2024
DATE:	MARCH 2024	SUBMISSION:	COND.APRVL

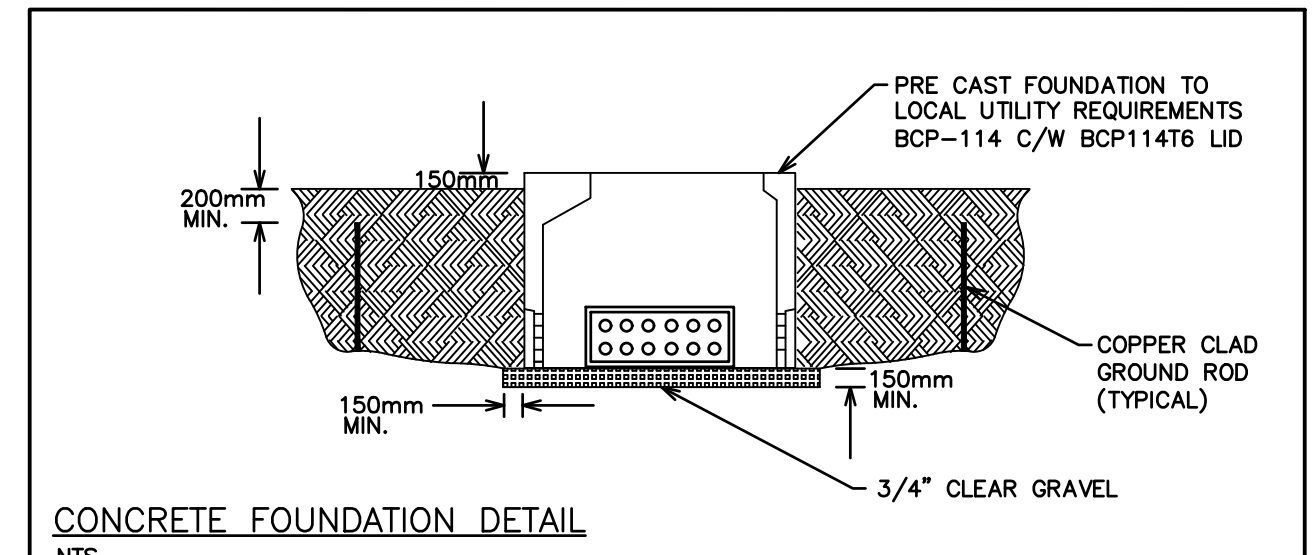
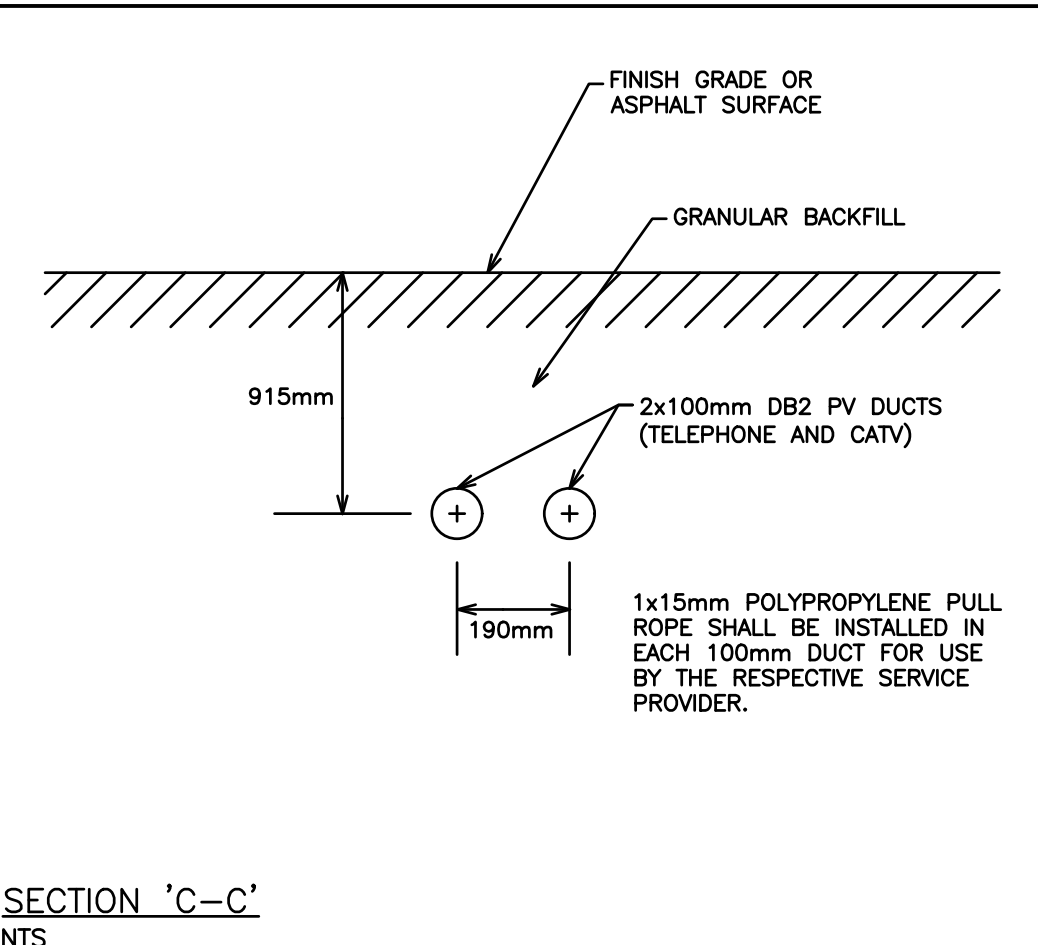
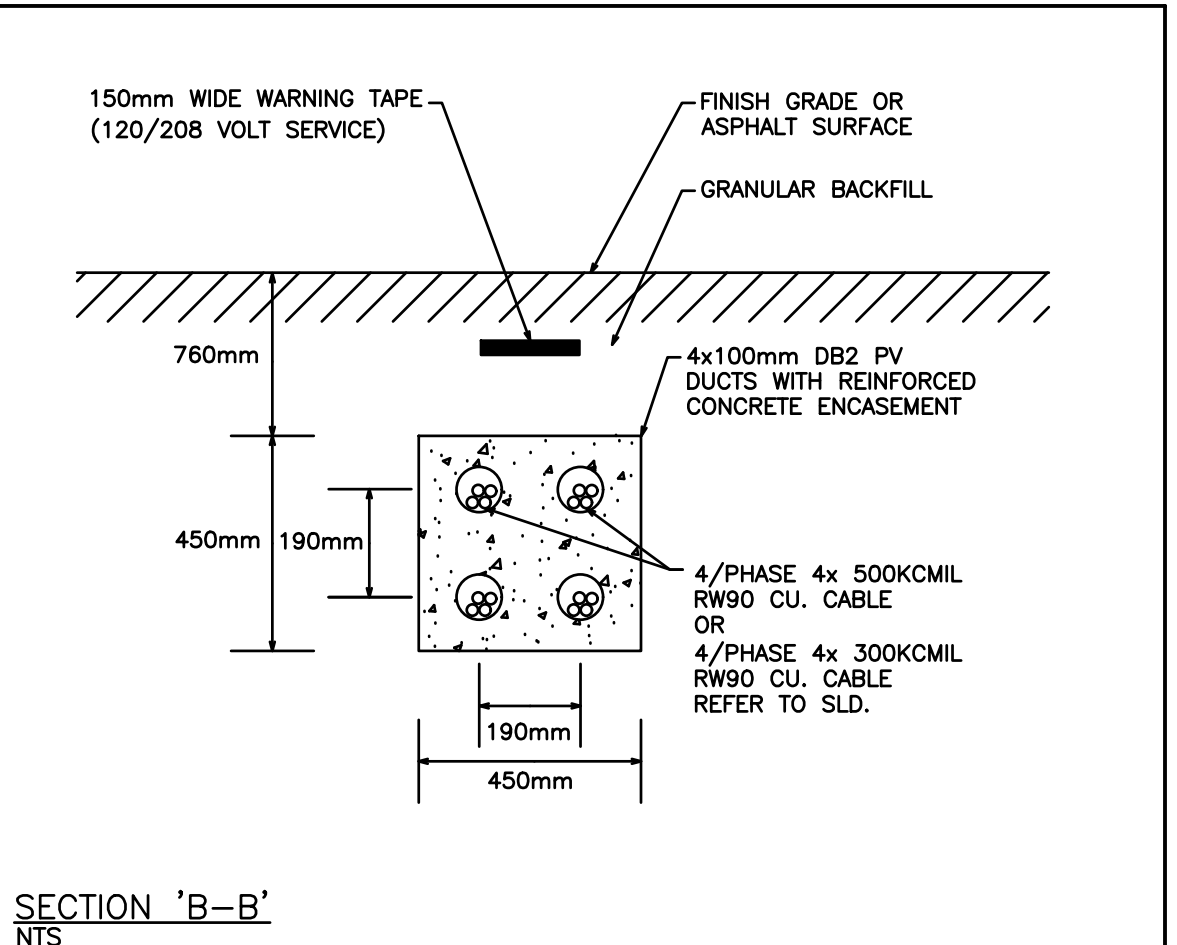
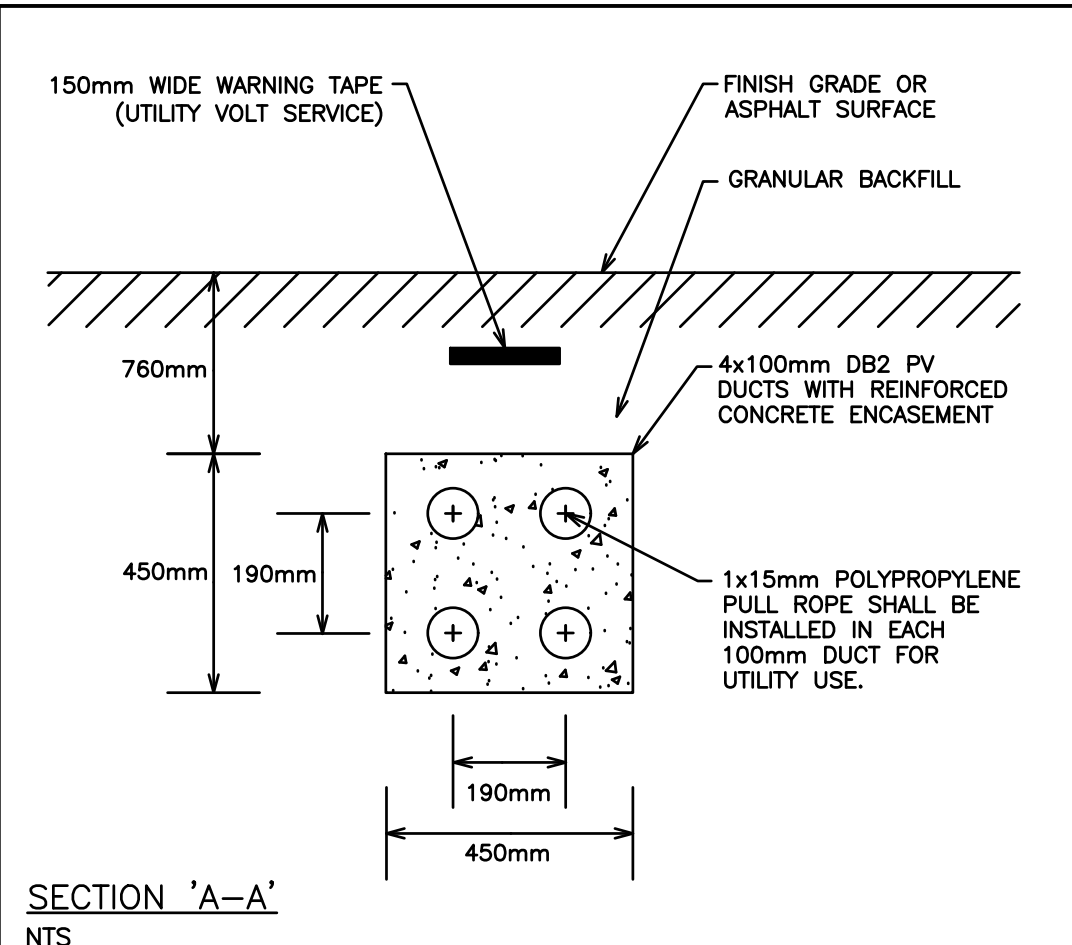


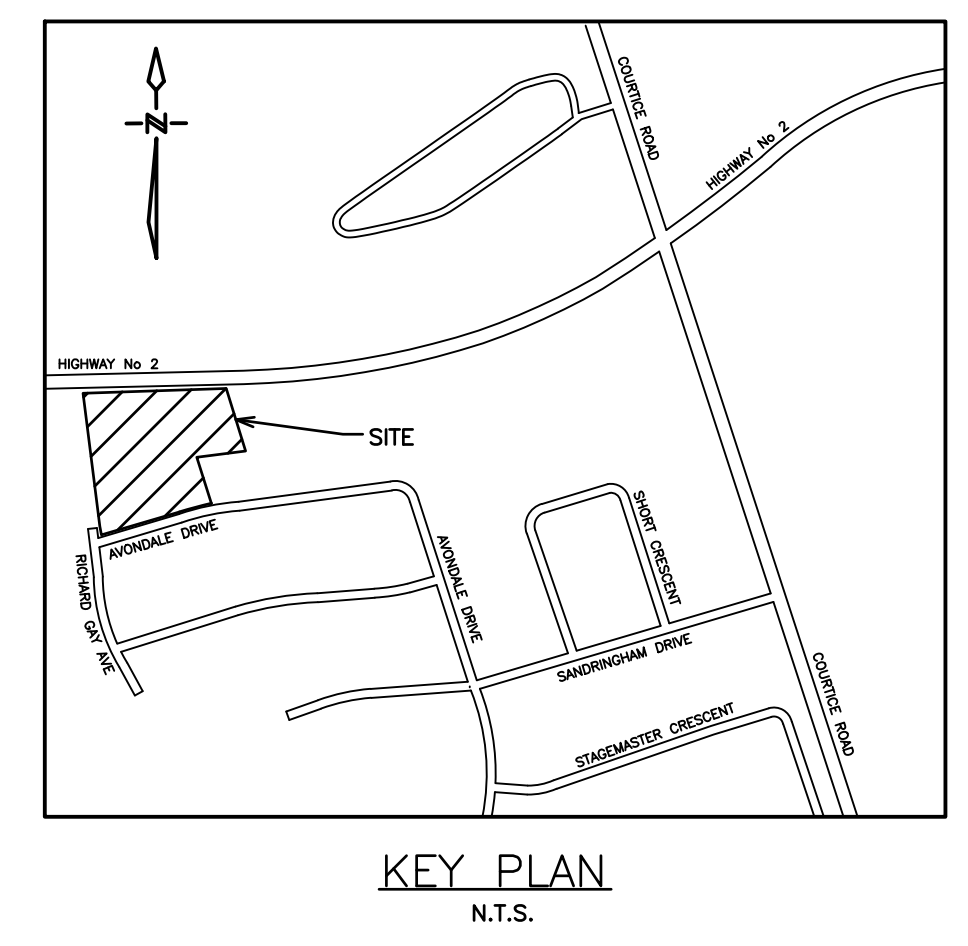
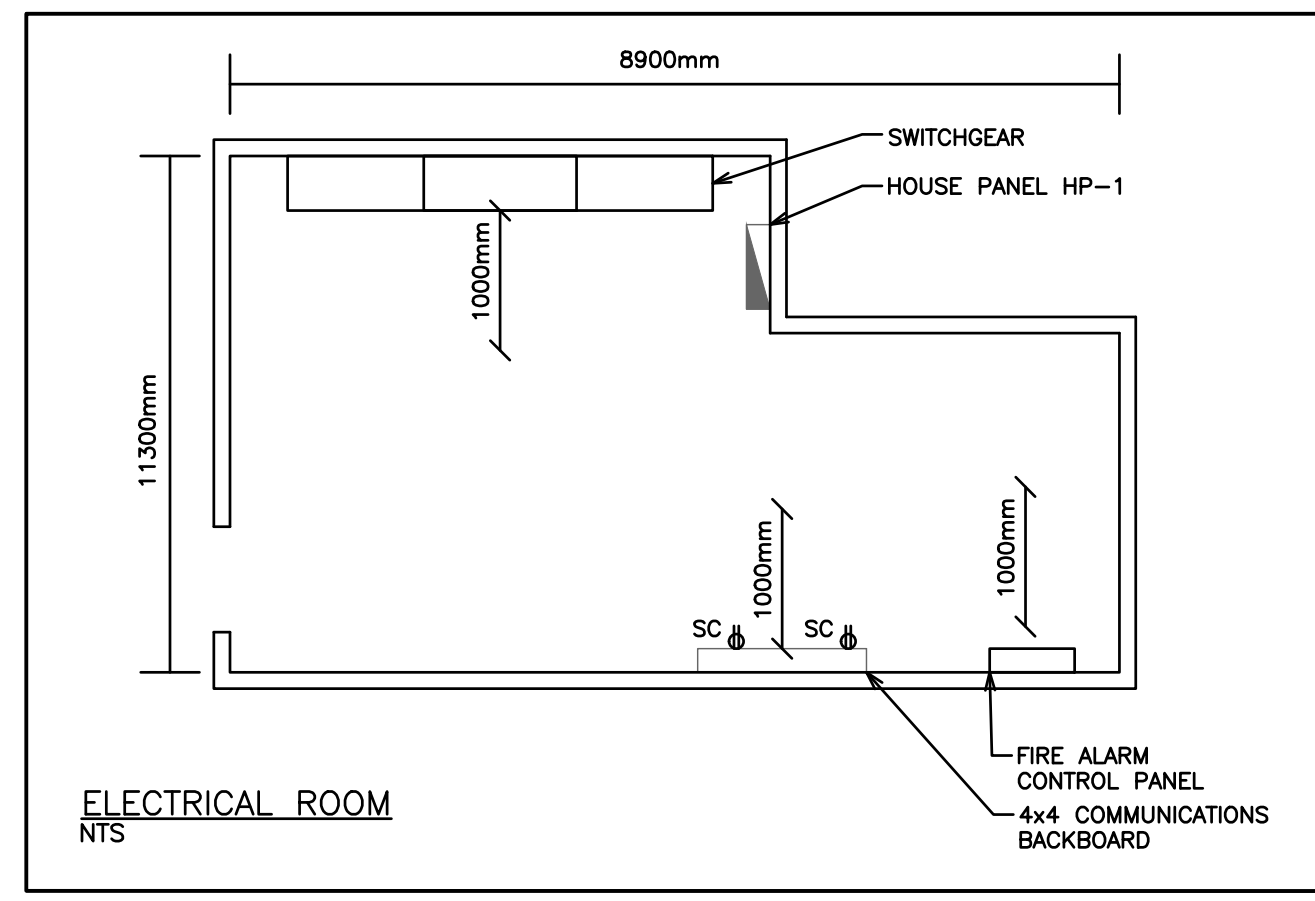
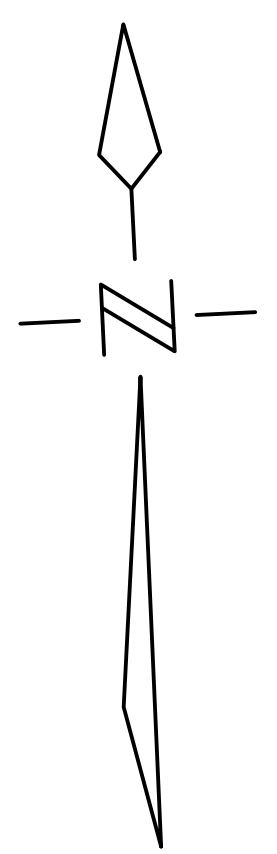
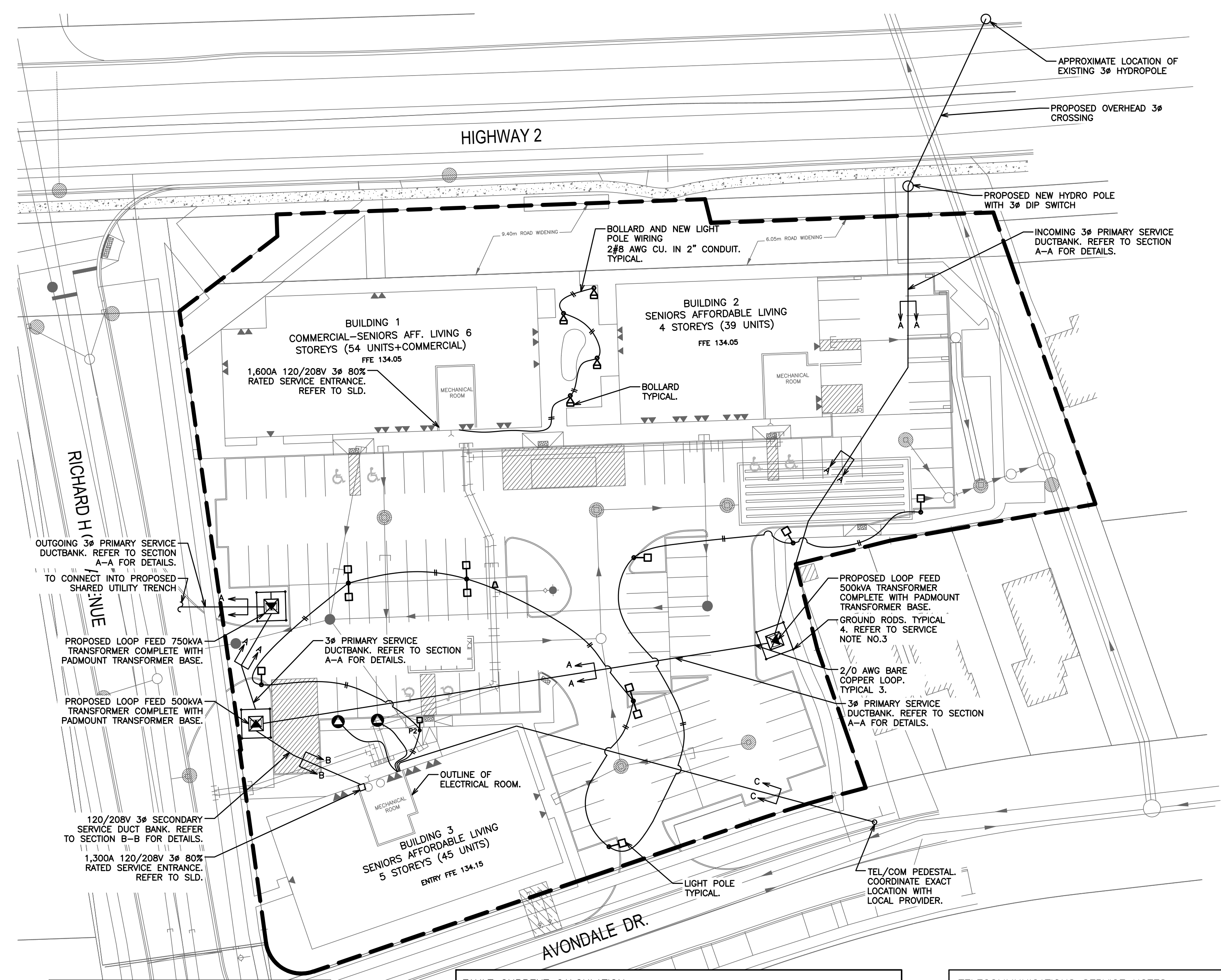
NOT FOR CONSTRUCTION. REFER TO OFFER TO CONNECT BY HYDRO ONE DISTRIBUTION INC. FOR ALL DETAILS AND NOTES ASSOCIATED WITH THIS INSTALLATION.

FAULT CURRENT CALCULATION:  
ASSUMING A SYSTEM X/R RATIO OF 3.8 ON THE 13.8KV LINE AND A 500KVA UTILITY TRANSFORMER (X/R = 3.8), A 3-PHASE FAULT ON THE MAIN SWITCHBOARD AS PER ANSI C-37, IS ESTIMATED TO BE 31.6KA. THE MAIN DISCONNECT SHALL BE SIZED ACCORDINGLY. THE 1200A MAIN BREAKER SHALL BE BRACED FOR NO LESS THAN 63.3KA.

TELECOMMUNICATIONS SERVICE NOTES:

- A MINIMUM SEPERATION FROM POWER CONDUITS OF NOT LESS THAN 100mm OF CONCRETE (2500 P-S-I) OR 300mm OF WELL TAPPED EARTH IS REQUIRED.
- PULL ROPE MUST BE PROVIDED FOR ALL CONDUIT RUNS AND THE ENDS OF CONDUITS MUST BE CLEARLY MARKED (STAKED) AT THE PROPERTY LINE.





**GENERAL REQUIREMENTS FOR SITE ELECTRICAL WORK**

- ALL EQUIPMENT MUST BE APPROVED BY AN ACCREDITED APPROVAL AGENCY, OR ACCEPTED THROUGH FIELD EVALUATION OR BY AN INSPECTOR UNDER THE PROVISION OF RULE 2-024 OF THE CURRENT ONTARIO ELECTRICAL SAFETY CODE.
- AT EACH DISTRIBUTION POINT, CIRCUIT BREAKERS, FUSES AND SWITCHES SHALL BE MARKED, ADJACENT THERETO, IN A CONSPICUOUS AND LEGIBLE MANNER TO INDICATE CLEARLY WHICH INSTALLATION OR PORTION OF INSTALLATION THEY PROTECT OR CONTROL AND THE MAXIMUM RATING OF OVERCURRENT DEVICE THAT IS PERMITTED. RULE 2-100(3).
- RACEWAYS ENTERING A BUILDING AND FORMING PART OF AN UNDERGROUND SERVICE SHALL BE SEALED AND SHALL:
  - ENTER THE BUILDING ABOVE GROUND WHERE PRACTICABLE; OR
  - BE SUITABLY DRAINED; OR
  - BE INSTALLED IN SUCH A WAY THAT MOISTURE AND GAS WILL NOT ENTER THE BUILDING. RULE 6-300(6).
- WHERE WARNING TAPE IS USED TO COMPLY WITH RULE 12-012(11) AS SHOWN ON DRAWING SE-1, THE TAPE MUST BE BURIED APPROXIMATELY HALFWAY BETWEEN THE INSTALLATION AND GRADE LEVEL, COVERING THE WIDTH OF THE RACEWAYS OR CABLES INSTALLED.
- A MINIMUM WORKING SPACE OF 1m WITH SECURE FOOTING SHALL BE PROVIDED AND MAINTAINED ABOUT ELECTRICAL EQUIPMENT SUCH AS SWITCHBOARDS, PANELBOARDS, CONTROL PANELS, AND MOTOR CONTROL CENTRES WHICH ARE ENCLOSED IN METAL. RULE 2-308.
- ALL OVERCURRENT PROTECTION SHALL BE CAPABLE OF INTERRUPTING THE AVAILABLE FAULT CURRENT. RULE 14-012.
- EVERY PANELBOARD SHALL BE PROTECTED ON THE SUPPLY SIDE BY OVERCURRENT DEVICES HAVING A RATING NOT GREATER THAN THAT OF PANELBOARD. RULE 14-606(1).
- THE RATING OR SETTING OF OVERCURRENT DEVICES SHALL NOT EXCEED THE ALLOWABLE CAPACITY OF THE CONDUCTORS THAT THEY PROTECT. RULE 14-104.
- RULE 14-102 REQUIRES GROUND FAULT PROTECTION ON GROUNDED CIRCUITS MORE THAN 150 VOLTS TO GROUND AND 1000 AMPERES OR MORE. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR AND SWITCHGEAR MANUFACTURER TO CO-ORDINATE THE GROUND FAULT SENSING METHOD WITH EACH PARTICULAR GROUNDING ARRANGEMENT.

- NOTES:**
- TENDERING OF THESE DOCUMENTS IS DONE UNDER THE MUTUAL UNDERSTANDING THAT ALL CONTRACTORS ARE EXPERIENCED AND LICENSED IN THE WORKS BEING PROVIDED AND THAT ALL COMPONENTS OF A FULLY FUNCTIONING SYSTEM WILL BE INCLUDED WHETHER SHOWN OR NOT SHOWN BUT IMPLIED FOR A COMPLETE SYSTEM.
  - ALL DETAILS SHOWN ARE SCHEMATIC BY NATURE AND ARE TO BE USED FOR SCOPE OF WORK PURPOSES ONLY. COORDINATE WITH ALL TRADES AND MANUFACTURERS BEST PRACTICES AND DIRECTIONS.
  - CONTRACTOR TO COORDINATE EXACT LENGTH OF SECONDARY RUNS ON SITE AND PROVIDE CONDUCTORS TO SUIT. CONTRACTOR TO PROVIDE CONDUCTOR SIZES C/W LENGTH OF RUN TO ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
  - ELECTRICAL SCOPE OF WORK: THE CONTRACTOR IS ASSUMED TO BE OF MASTER ELECTRICIAN EXPERIENCE AND SHALL PROVIDE ANY APPLICABLE SINGLE LINE DIAGRAMS, PANEL SCHEDULES AND CIRCUIT PLAN DESIGNS REQUIRED TO PROVIDE A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM. THIS PRICE SHALL BE INCLUDED IN THE CONTRACTORS BASE BID PRICE. NO CLAIM FOR EXTRA PAYMENT WILL BE ALLOWED FOR FAILURE TO INCLUDE THIS COST INTO THE BASE BID. BIDDERS SHALL ACCEPT SOLE RESPONSIBILITY FOR ANY ERROR OR NEGLECT IN PRICING THE ABOVE ITEMS IN THERE BID.
  - COORDINATE ALL INCOMING SERVICES WITH LIGHTING POLES, CONDUITS, GAS AND SITE SERVICES AS PER RELATED CIVIL DRAWINGS TO BE ACQUIRED BY CONTRACTOR.
  - REFER TO DRAWING SUI-1 FOR SITE LIGHTING SCHEDULE AND DETAILS. COORDINATE ALL INCOMING SERVICES WITH LIGHTING POLES, CONDUITS, GAS AND SITE SERVICES AS PER RELATED CIVIL DRAWINGS TO BE ACQUIRED BY CONTRACTOR.
  - CONFIRM THE FOLLOWING INSTRUCTIONS WITH LOCAL AUTHORITY PRIOR TO COMMENCEMENT OF WORK.
    - THE ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL A PRECAST CONCRETE FOUNDATION, BASE AND LID EQUAL TO BROOKLIN CONCRETE PRODUCTS CATALOGS, BCP 114, BCP 114B AND BCP 114T6. THE BASE SHALL BE INSTALLED ON A 150mm BED OF 19mm CLEAR GRAVEL SET ON LEVEL UNDISTURBED OR COMPACTED EARTH. THE GRAVEL BED SHALL EXTEND 150mm BEYOND THE EDGES OF THE PRECAST CONCRETE BASE. THE SURFACE AREA AROUND THE TOP OF THE PRECAST CONCRETE FOUNDATION SHALL BE RESTORED TO THE ORIGINAL SITE CONDITION.
    - A CONTINUOUS LENGTH OF 2/0 AWG STRANDED COPPER GROUND WIRE SHALL BE INSTALLED A MINIMUM OF 400mm BELOW GRADE AROUND THE PRECAST CONCRETE FOUNDATION AND CONNECT TO FOUR (4) 19mm X 300mm GALVANIZED STEEL GROUND RODS BY FIVE (5) BURNDY CAT. NO. GRC3426 GROUND ROD CONNECTORS. TWO (2) 10'-0" COILS OF 2/0 AWG GROUND WIRE SHALL BE LEFT ABOVE THE PRECAST CONCRETE LID FOR CONNECTION TO THE PADMOUNT TRANSFORMER.
    - ELECTRICAL CONTRACTOR TO PROVIDE ALL GROUNDINGS, CABLE LUGS, ETC. TRANSFORMER AND FINAL CONNECTIONS BY LOCAL UTILITY.

**SERVICE SIZE CALCULATIONS:**  
BUILDING 3 - SENIORS AFF. LIVING

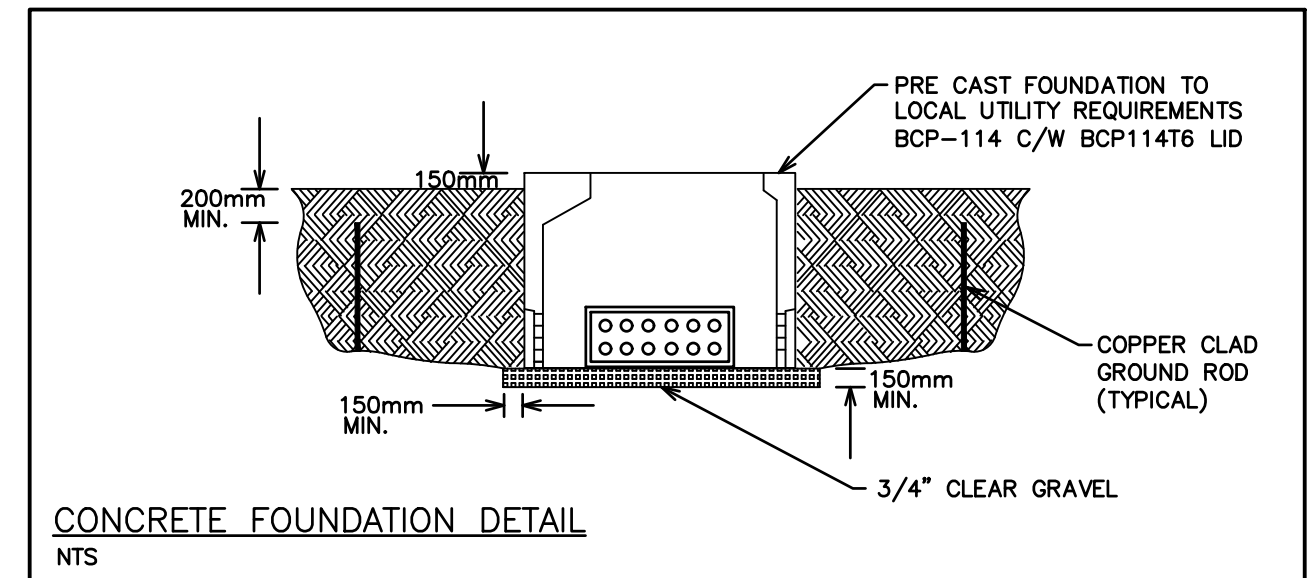
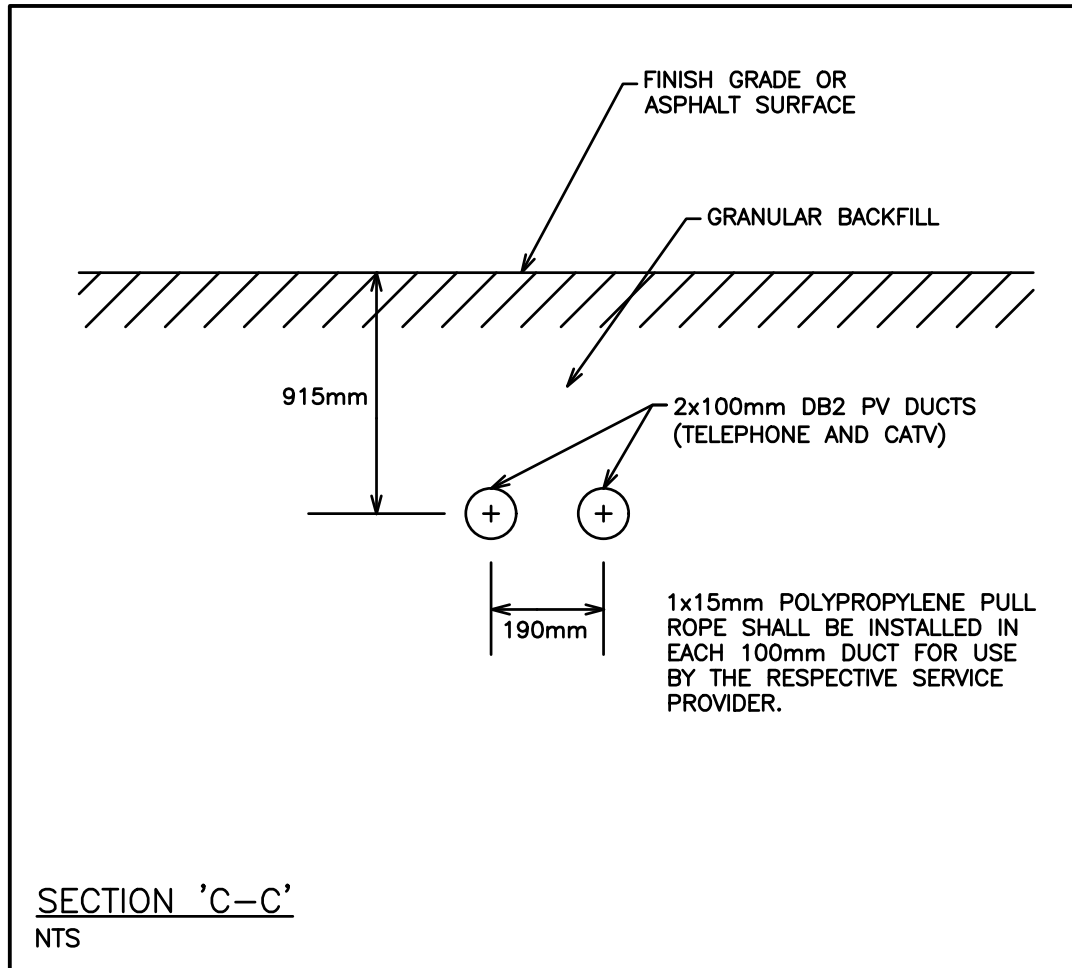
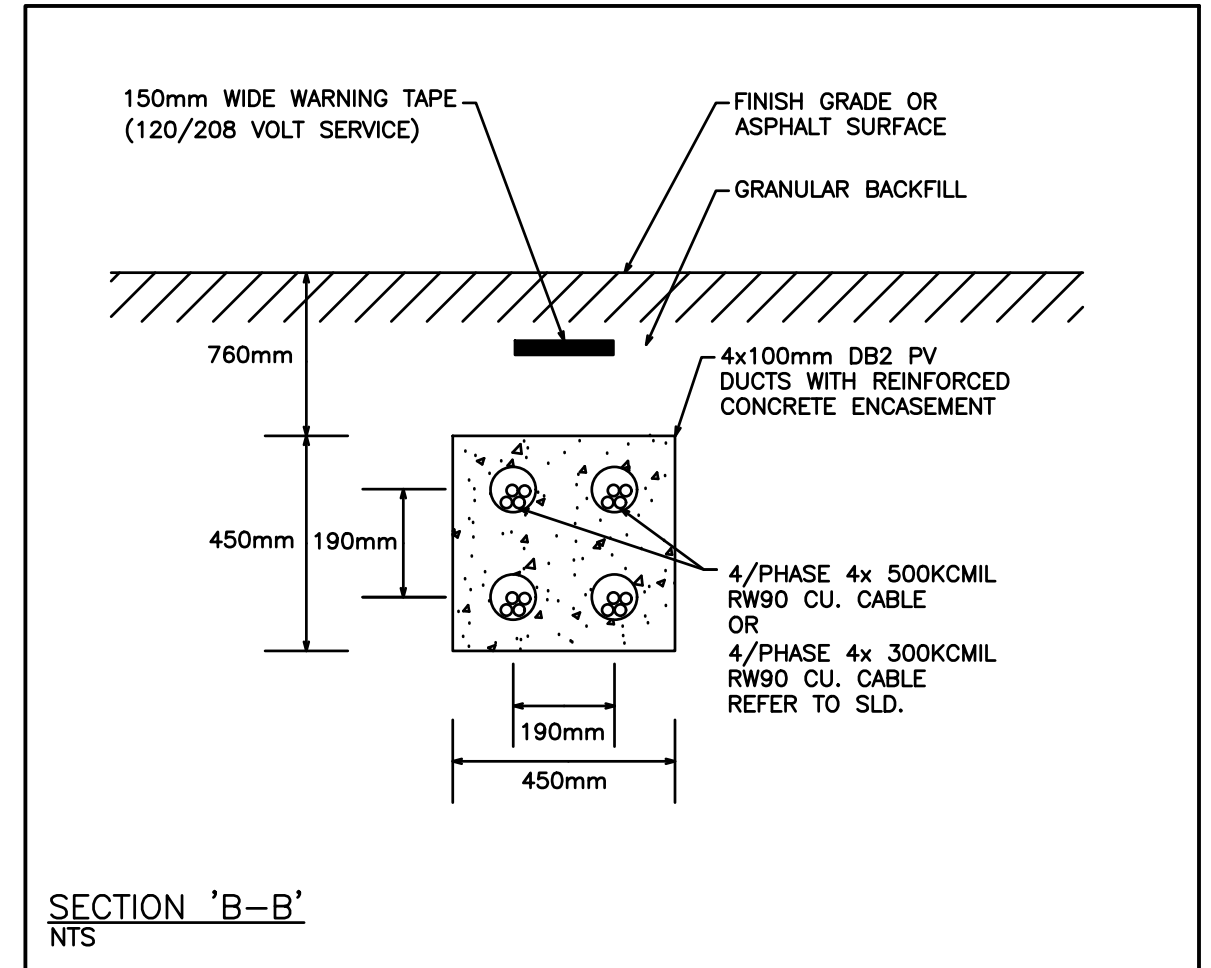
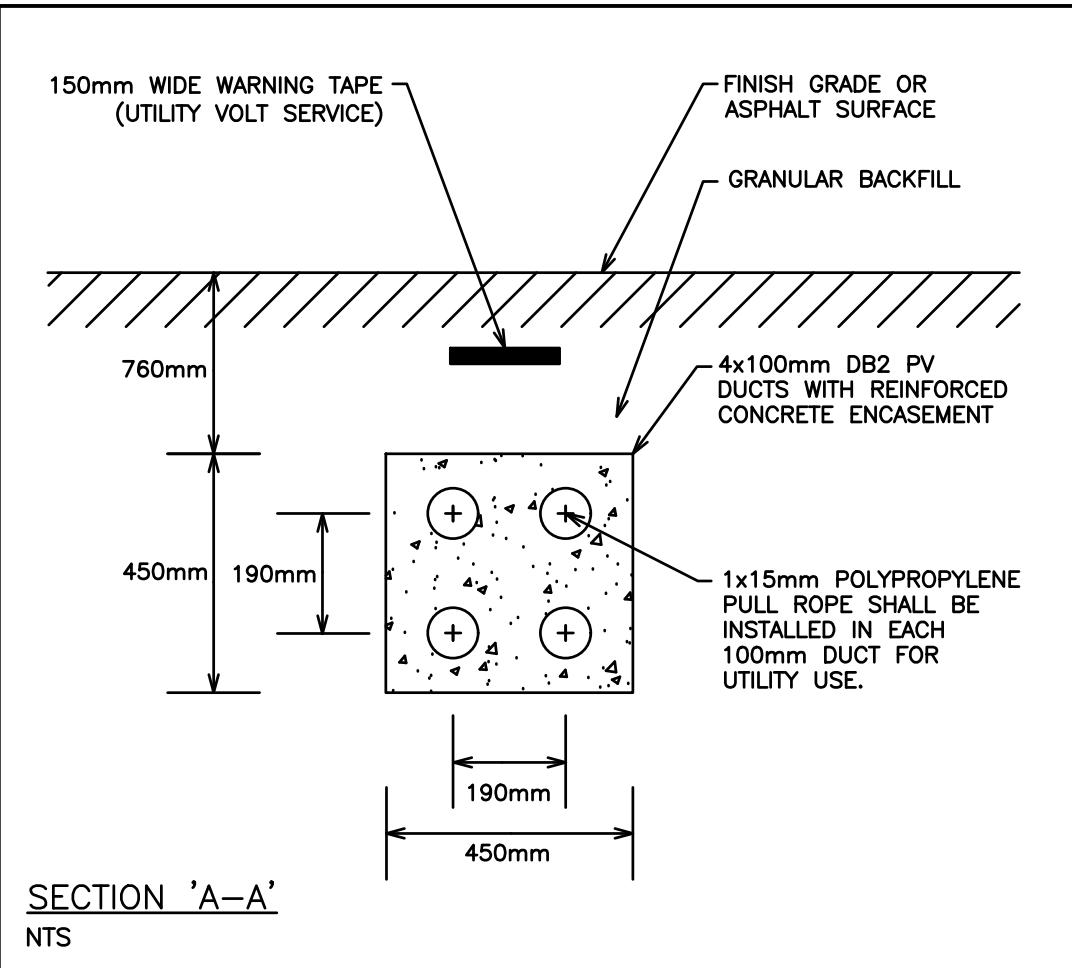
ESTIMATED SERVICE DEMAND	
TYPICAL 2-BEDROOM TENANT SUITES	
FIRST 45m <sup>2</sup>	3,500W
SECOND 45m <sup>2</sup>	1,500W
ELECTRIC RANGE	6,000W
DISHWASHER	1,500W
ELECTRIC WATER HEATER (25% x 4,500W)	1,125W
ELECTRIC CLOTHES DRYER/WASHER	1,000W
AIR HANDLING UNIT	2,500W
UNIT ELECTRICAL DEMAND	16,125W
UNIT ELECTRICAL DEMAND LESS A/C	13,625W
SERVICE SIZE 17,125W = 45A (60A PANEL)	
208Vx3Ø	
AMMENITY SPACE	
ELECTRICAL DEMAND (30m <sup>2</sup> x25W/m <sup>2</sup> )	750W
MISCELLANEOUS	15,000W
TOTAL ESTIMATED DEMAND	15,750W
SERVICE SIZE 15,750W = 44A (60A PANEL)	
208Vx3Ø	
ESTIMATED SUITES DEMAND	
1 SUITES (13,625x1.0x1)	13,625W
2 SUITES (13,625x0.65x2)	17,113W
2 SUITES (13,625x0.40x2)	10,900W
15 SUITES (13,625x0.25x15)	51,094W
26 SUITES (13,625x0.10x26)	35,425W
AIR HANDLING UNITS (2,500x46)	115,000W
SUITES TOTAL	243,756W
ESTIMATED BUILDING DEMAND	
LAUNDRY ROOM	15,000W
ELEVATOR LOADS (72,000x0.75)	54,000W
GARBAGE TRISSORTER (7,200x0.75)	5,400W
BUILDING MISCELLANEOUS (20,000W)	25,000W
TOTAL ESTIMATED DEMAND	358,906W
SERVICE SIZE = 1,011A @ 120/208V 3Ø	
OR	
1,300A @ 80% (FUSED MAIN AT 1,250A)	

**NOT FOR CONSTRUCTION. REFER TO OFFER TO CONNECT BY HYDRO ONE DISTRIBUTION INC. FOR ALL DETAILS AND NOTES ASSOCIATED WITH THIS INSTALLATION.**

**FAULT CURRENT CALCULATION:**  
ASSUMING A SYSTEM X/R RATIO OF 3.8 ON THE 13.8KV LINE AND A 500KVA UTILITY TRANSFORMER (X/R = 3.8), A 3-PHASE FAULT ON THE MAIN SWITCHBOARD AS PER ANSI C-37, IS ESTIMATED TO BE 34.2KA. THE MAIN DISCONNECT SHALL BE SIZED ACCORDINGLY. THE 1250A MAIN BREAKER SHALL BE BRACED FOR NO LESS THAN 63.3KA.

**TELECOMMUNICATIONS SERVICE NOTES:**

- A MINIMUM SEPERATION FROM POWER CONDUITS OF NOT LESS THAN 100mm OF CONCRETE (2500 P-S-I) OR 300mm OF WELL TAPPED EARTH IS REQUIRED.
- PULL ROPE MUST BE PROVIDED FOR ALL CONDUIT RUNS AND THE ENDS OF CONDUITS MUST BE CLEARLY MARKED (STAKED) AT THE PROPERTY LINE.



NO.	REVISION	DATE	BY	APPROVED
4.	REVISED AS PER CONDITIONS OF APPROVAL	MAR 26	F.K.	G.V.W.O
3.	RE-ISSUED FOR SPA	JAN 26	F.K.	G.V.W.O
2.	RE-ISSUED FOR SPA	NOV 01	B.P.	G.V.W.O
1.	ISSUED FOR SPA	DEC 07	A.L.	G.V.W.O

1697 DURHAM REGIONAL HIGHWAY 2, COURTYARD  
RICHARD H. GAY HOLDINGS

**SITE SERVICING - BLD 3**  
**SITE ELECTRICAL**

**D.G. Biddle & Associates Limited**  
consulting engineers and planners  
96 KING STREET EAST • OSHAWA, ON L1H 1B6  
PHONE (905) 576-8500 FAX (905) 576-9730  
INFO@DGBIDDLE.COM

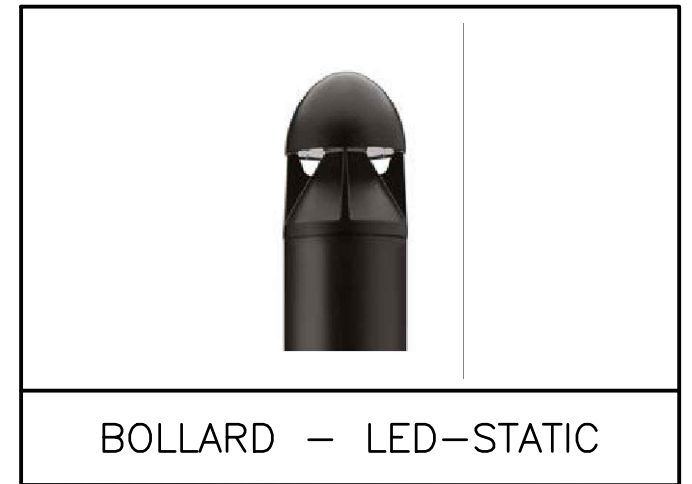
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PROJECT NO. 122065  
DRAWN BY: A.L.  
DESIGN BY: A.L.  
CHECKED BY: G.V.W.O  
DATE: MARCH 2024

PROVINCE OF ONTARIO  
LICENSED PROFESSIONAL ENGINEER  
G.V.W. OSBORNE  
100136545  
03/27/24

DRAWING NO. SE-4  
CAD FILE: 122065 SE  
PLOT DATE: 03/26/2024  
SUBMISSION: COND.APRVL



PHOTOMETRIC VALUES  
MODELED AT 1.5m ABOVE  
FINISHED GRADE.

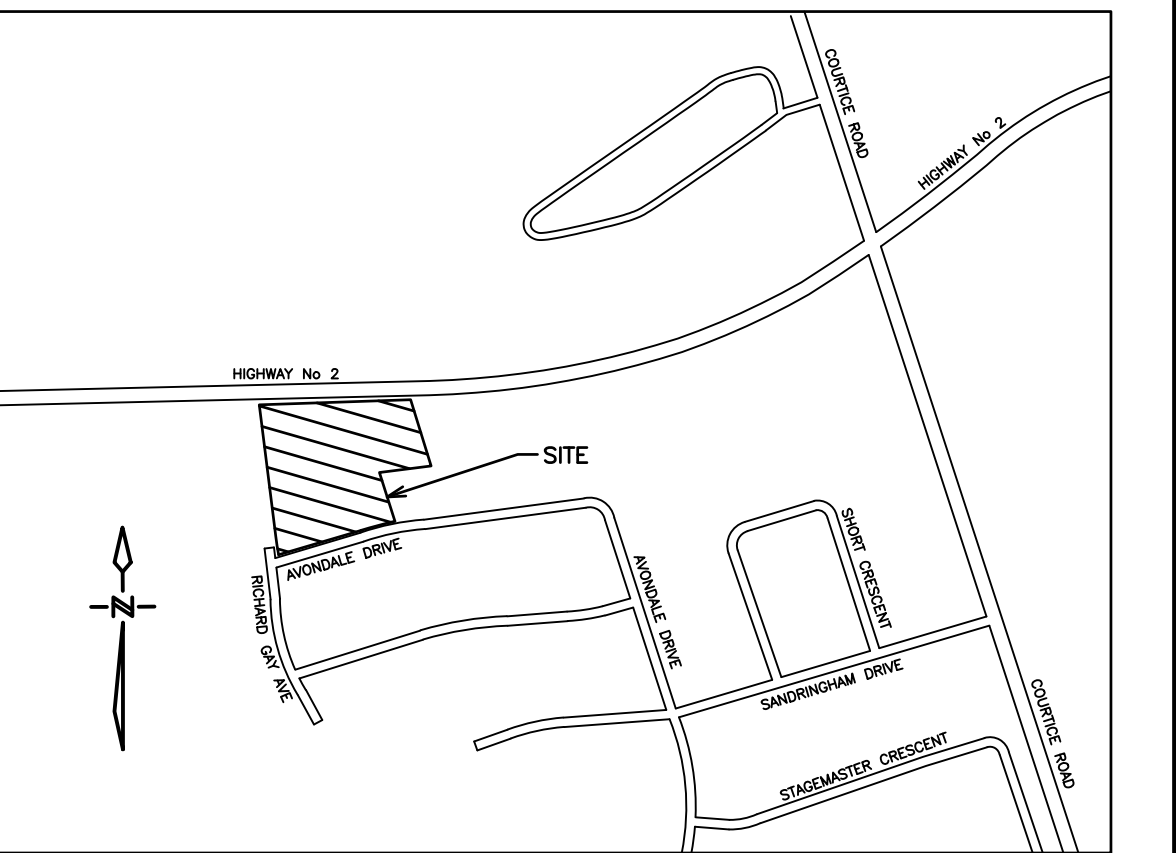
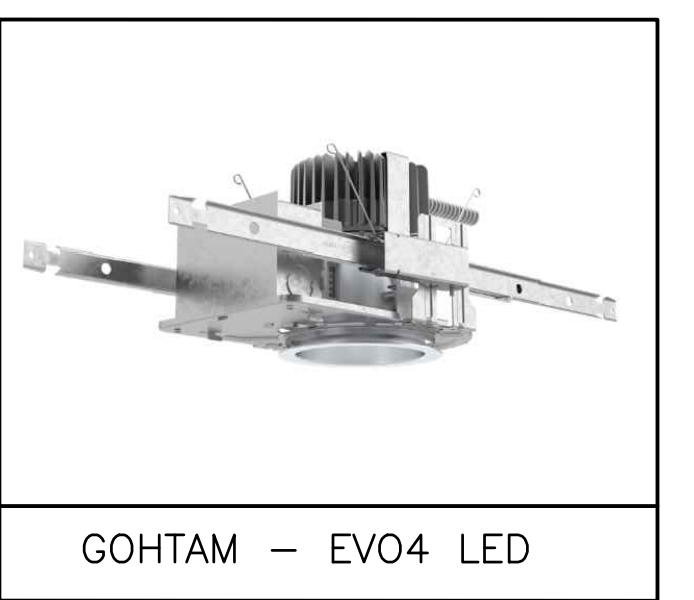


**LEGEND**

	CANOPY LIGHTS
	POLE LIGHTS
	GARAGE LIGHTS
	BOLLARD LIGHTS
	WALL LIGHTS
	PHOTOMETRIC VALUES (SHOWN IN FOOTCANDLES)
	ISOMETRIC LIGHT CURVES

**POLE SCHEDULE**

TAG	MANUFACTURER	DESCRIPTION	HEIGHT	MODEL NUMBER	NOTES
A	DYNAPOLE	4" STRAIGHT, SQUARE, STEEL POLE, BLACK	6 m	SS4-20	REFER TO LIGHT POLE BASE DETAIL



**PRELIMINARY**  
NOT FOR CONSTRUCTION

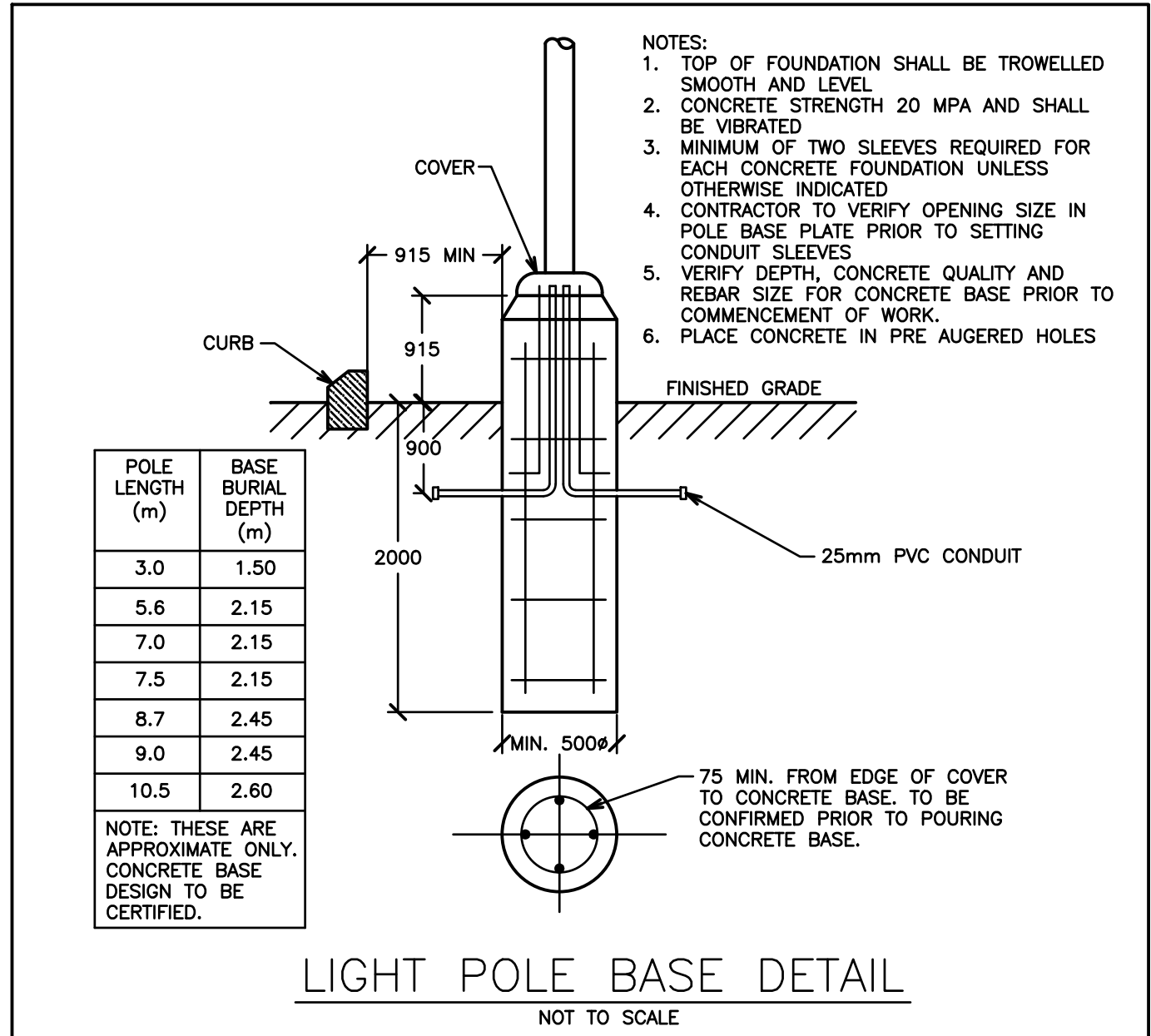
**STANDARD ABBREVIATIONS**

AFG	ABOVE FINISHED GRADE
CTE	CONNECT TO EXISTING
C/W	COMPLETE WITH

**NUMERIC SUMMARY**

LOCATION	AVERAGE	MAXIMUM	MINIMUM	AVG/MIN	MAX/MIN
ACCESSIBLE PARKING BUILDING#1	4.07	14.10	0.50	8.14	28.20
ACCESSIBLE PARKING BUILDING#2	3.44	8.70	0.90	3.82	9.67
ACCESSIBLE PARKING BUILDING#3	4.05	5.20	2.80	1.45	1.86
GENERAL PARKING	1.54	14.10	0.03	51.33	470.00
BUILDING#1 MAIN ENTRANCE	23.20	35.40	12.10	1.92	2.93
BUILDING#2 MAIN ENTRANCE	38.73	53.80	10.30	3.76	5.22
BUILDING#3 MAIN ENTRANCE	19.33	23.60	11.90	1.62	1.98

- SITE LIGHTING NOTES**
- ALL NEW OUTSIDE LIGHTS TO BE CONTROLLED BY BUILDING PHOTOCELL AT HIGH LEVEL AND TIME SWITCH. COORDINATE CONTROLS AND POWER REQUIREMENTS WITH BUILDING DISTRIBUTION DRAWINGS.
  - THIS DRAWING INDICATES ALL PROPOSED OUTDOOR LIGHTING FIXTURES FOR THIS PROPOSED DEVELOPMENT. THE LIGHTING DESIGN IS IN ACCORDANCE WITH THE APPLICABLE LIGHTING ZONE AS ESTABLISHED BY THE PLANNING DEPARTMENT, AND DESIGNED WITH AN AVERAGE TO MINIMUM RATIO IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY GUIDELINES. THIS LIGHTING DESIGN WILL NOT CREATE ANY OBJECTIONABLE GLARE FOR ADJACENT PROPERTIES.
  - CONTRACTOR TO BE RESPONSIBLE FOR LOCATION OF ALL EXISTING UNDERGROUND & OVERHEAD UTILITIES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCE NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT. THE CONSULTANT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF EXISTING UTILITIES AS INDICATED ON THIS DRAWING.
  - CONTRACTOR TO REVIEW LIGHT FIXTURE SHOP DRAWINGS WITH CLIENT AND ENGINEER PRIOR TO COMMENCEMENT OF WORK FOR FINAL APPROVAL.
  - FINAL LOCATIONS OF WALL MOUNTED LIGHTING TO BE APPROVED BY ARCHITECT AND OWNER PRIOR TO COMMENCEMENT OF WORK.
  - PHOTOMETRIC VALUES ARE SHOWN IN FOOTCANDLES WITH ISOMETRIC LIGHT CURVES
  - ALL LIGHT FIXTURES TO BE FULL CUT-OFF, DOWNLIGHTING ONLY, DARK SKY COMPLIANT.



**SITE LIGHTING SCHEDULE**

**WALL LIGHTS**

TAG	SYMBOL	DESCRIPTION	WATTAGE	MODEL NUMBER	MOUNTING HEIGHT
W1		LITHONIA WdGE1 LED WALL SCONCE, FULL CUT-OFF, 3000K	10 W	WdGE1 LED P1 30K 80CRI VF SRM DBLXD	2.75m AFG
W2		LITHONIA WdGE1 LED WALL SCONCE, FULL CUT-OFF, 3000K	10 W	WdGE1 LED P1 30K 80CRI VF SRM DBLXD	3.66m AFG
W3		LITHONIA WdGE1 LED WALL SCONCE, FULL CUT-OFF, 3000K	71 W	WdGE3 LED P3 30K 70CRI R4 SRM DBLXD	3.66m AFG
W4		LITHONIA WdGE1 LED WALL SCONCE, FULL CUT-OFF, 3000K	88 W	WdGE3 LED P4 30K 80CRI RFT SRM DBLXD	3.66m AFG

**POLE LIGHTS**

TAG	SYMBOL	DESCRIPTION	POLE	WATTAGE	MODEL NUMBER	MOUNTING HEIGHT
P1		D-SERIES SIZE 1 LED AREA LUMINAIRE, FULL CUT-OFF, 3000K	A	51 W	DSX1 LED P1 30K 80CRI T3M MWOLT SPA DBLXD	7.00m AFG
P2		D-SERIES SIZE 1 LED AREA LUMINAIRE, FULL CUT-OFF, 3000K	A	124 W	DSX1 LED P4 30K 80CRI T3M MWOLT SPA DBLXD	7.00m AFG
P3		D-SERIES SIZE 1 LED AREA LUMINAIRE, FULL CUT-OFF, 3000K	A	51 W	DSX1 LED P1 30K 80CRI BLC4 MWOLT SPA DBLXD	7.00m AFG

**CANOPY & GARAGE LIGHTS**

TAG	SYMBOL	DESCRIPTION	WATTAGE	MOUNTING	MODEL NUMBER
C1		GOTHAM LED ROUND DOWNLIGHT, FULL CUT-OFF, 3000K	9 W	RECESSED	EVO4 30/10 AR MD LD 120 GZ1 NLT
C2		SLENDERFORM LED CANOPY, SFC GEN2, 4000K	38 W	RECESSED	SFC-SW-48L-250-NW-G2

**BOLLARD LIGHTS**

TAG	SYMBOL	DESCRIPTION	WATTAGE	MODEL NUMBER	HEIGHT
B1		D-SERIES ROUND, LED-STATIC, SYMMETRIC 16 LEDS, 4000K	28 W	DSX1 LED 16C 530 40K SYM	1.00m AFG

NO.	DATE	REVISION	BY
5.	MAR 26	REVISED AS PER CONDITIONS OF APPROVAL	F.K.
4.	JAN 26	RE-ISSUED FOR SPA	F.K.
3.	NOV 1	RE-ISSUED FOR SPA	B.P.
2.	OCT 20	ISSUED FOR COORDINATION	F.K.
1.	DEC 07	ISSUED FOR SPA	A.L.

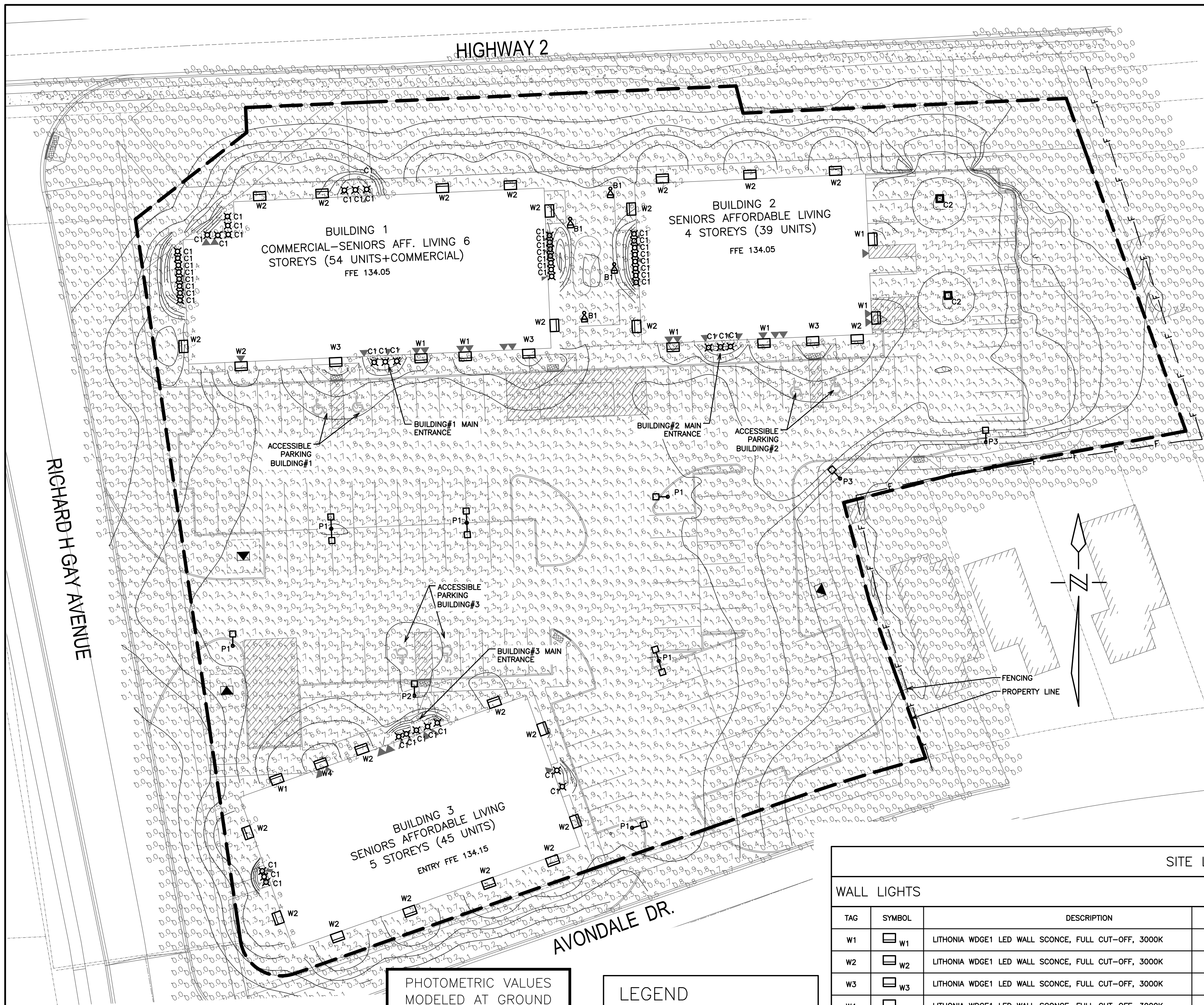
REVISIONS  
1697 DURHAM REGIONAL HIGHWAY NO.2, COURTYARD

**SITE LIGHTING PHOTOMETRIC PLAN**

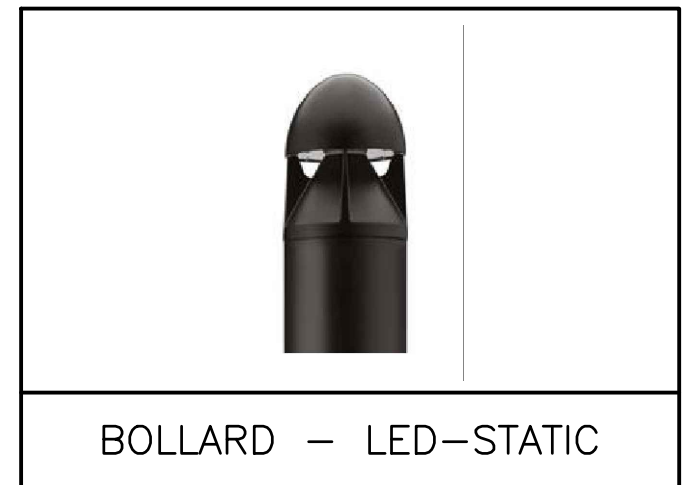
**D.G. Biddle & Associates Limited**  
consulting engineers and planners  
96 KING STREET EAST OSHAWA, ON L1H 1B6  
PHONE (905) 576-8500 • FAX (905) 576-9730  
info@dgbiddle.com

SCALE: 1:300	PROJECT NO. 122065
DRAWN BY: B.P.	DRAWING NO. SL-1
DESIGN BY: B.P./S.D.	
CHECKED BY: G.V.W.O.	
DATE: MARCH 2024	



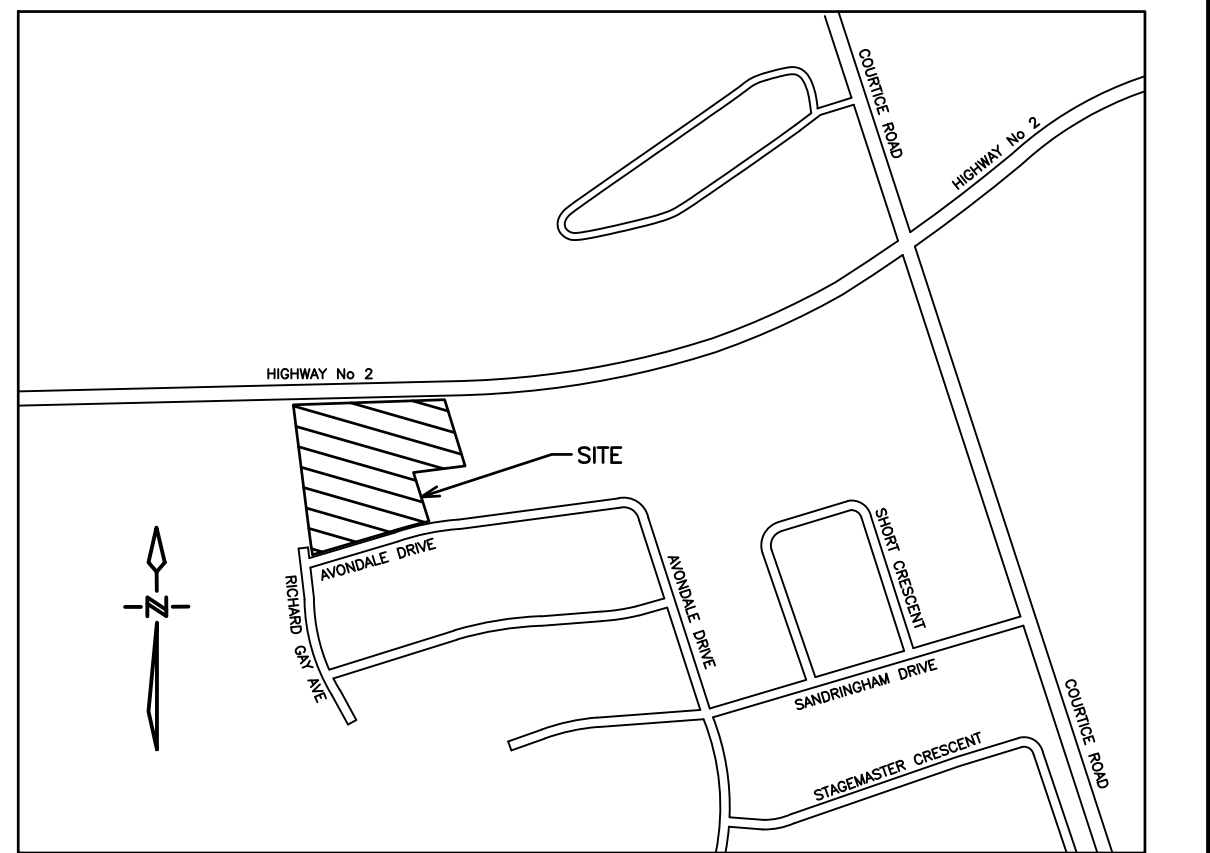
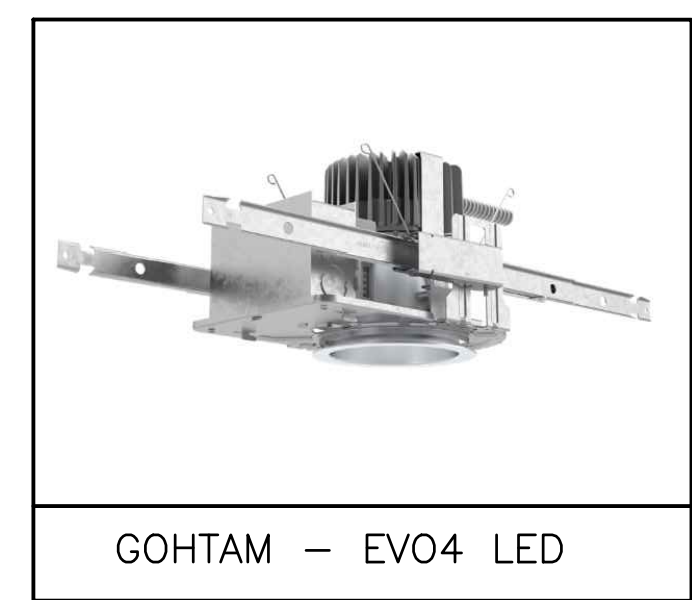


PHOTOMETRIC VALUES  
MODELED AT GROUND  
LEVEL



LEGEND	
	CANOPY LIGHTS
	POLE LIGHTS
	GARAGE LIGHTS
	BOLLARD LIGHTS
	WALL LIGHTS
	PHOTOMETRIC VALUES (SHOWN IN FOOTCANDLES)
	ISOMETRIC LIGHT CURVES

POLE SCHEDULE					
TAG	MANUFACTURER	DESCRIPTION	HEIGHT	MODEL NUMBER	NOTES
A	DYNAPOLE	4" STRAIGHT, SQUARE, STEEL POLE, BLACK	6 m	SS54-20	REFER TO LIGHT POLE BASE DETAIL

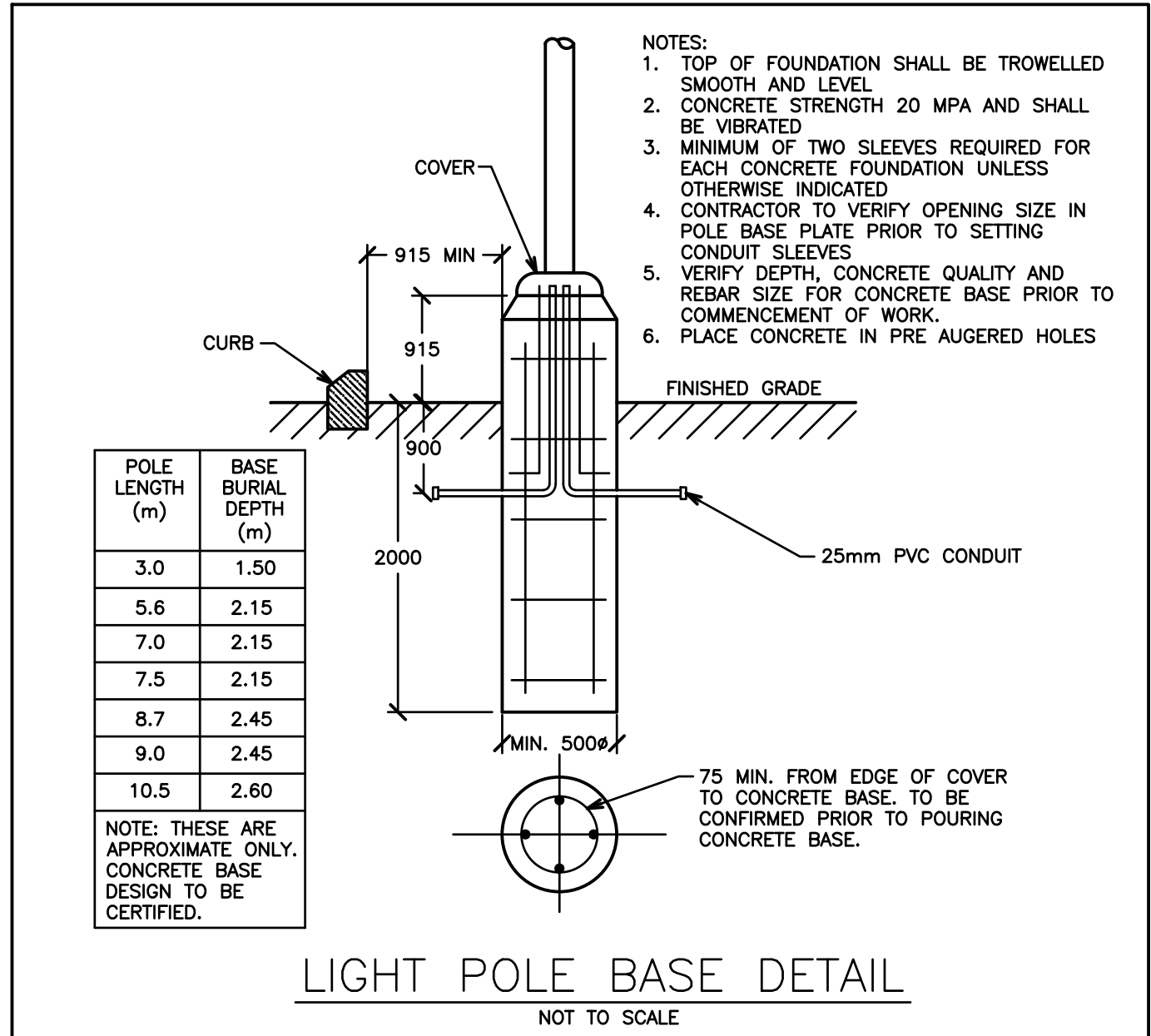


PRELIMINARY  
NOT FOR CONSTRUCTION

STANDARD ABBREVIATIONS	
AFG	ABOVE FINISHED GRADE
CTE	CONNECT TO EXISTING
C/W	COMPLETE WITH

NUMERIC SUMMARY					
LOCATION	AVERAGE	MAXIMUM	MINIMUM	AVG/MIN	MAX/MIN
ACCESSIBLE PARKING BUILDING#1	4.41	8.90	2.60	1.70	3.42
ACCESSIBLE PARKING BUILDING#2	4.28	6.60	2.30	1.86	2.87
ACCESSIBLE PARKING BUILDING#3	3.05	3.30	2.70	1.13	1.22
GENERAL PARKING	1.66	8.90	0.10	16.60	89.00
BUILDING#1 MAIN ENTRANCE	21.47	23.70	20.00	1.07	1.19
BUILDING#2 MAIN ENTRANCE	21.00	26.00	16.40	1.28	1.59
BUILDING#3 MAIN ENTRANCE	27.07	32.00	24.50	1.10	1.31

- SITE LIGHTING NOTES**
- ALL NEW OUTSIDE LIGHTS TO BE CONTROLLED BY BUILDING PHOTOCELL AT HIGH LEVEL AND TIME SWITCH. COORDINATE CONTROLS AND POWER REQUIREMENTS WITH BUILDING DISTRIBUTION DRAWINGS.
  - THIS DRAWING INDICATES ALL PROPOSED OUTDOOR LIGHTING FIXTURES FOR THIS PROPOSED DEVELOPMENT. THE LIGHTING DESIGN IS IN ACCORDANCE WITH THE APPLICABLE LIGHTING ZONE AS ESTABLISHED BY THE PLANNING DEPARTMENT, AND DESIGNED WITH AN AVERAGE TO MINIMUM RATIO IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY GUIDELINES. THIS LIGHTING DESIGN WILL NOT CREATE ANY OBJECTIONABLE GLARE FOR ADJACENT PROPERTIES.
  - CONTRACTOR TO BE RESPONSIBLE FOR LOCATION OF ALL EXISTING UNDERGROUND & OVERHEAD UTILITIES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCE NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT. THE CONSULTANT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF EXISTING UTILITIES AS INDICATED ON THIS DRAWING.
  - CONTRACTOR TO REVIEW LIGHT FIXTURE SHOP DRAWINGS WITH CLIENT AND ENGINEER PRIOR TO COMMENCEMENT OF WORK FOR FINAL APPROVAL.
  - FINAL LOCATIONS OF WALL MOUNTED LIGHTING TO BE APPROVED BY ARCHITECT AND OWNER PRIOR TO COMMENCEMENT OF WORK.
  - PHOTOMETRIC VALUES ARE SHOWN IN FOOTCANDLES WITH ISOMETRIC LIGHT CURVES
  - ALL LIGHT FIXTURES TO BE FULL CUT-OFF, DOWNLIGHTING ONLY, DARK SKY COMPLIANT.



SITE LIGHTING SCHEDULE

WALL LIGHTS						
TAG	SYMBOL	DESCRIPTION	WATTAGE	MODEL NUMBER	MOUNTING HEIGHT	
W1		LITHONIA WdGE1 LED WALL SCONCE, FULL CUT-OFF, 3000K	10 W	WdGE1 LED P1 30K 80CRI VF SRM DBLXD	2.75m AFG	
W2		LITHONIA WdGE1 LED WALL SCONCE, FULL CUT-OFF, 3000K	10 W	WdGE1 LED P1 30K 80CRI VF SRM DBLXD	3.66m AFG	
W3		LITHONIA WdGE1 LED WALL SCONCE, FULL CUT-OFF, 3000K	71 W	WdGE3 LED P3 30K 70CRI R4 SRM DBLXD	3.66m AFG	
W4		LITHONIA WdGE1 LED WALL SCONCE, FULL CUT-OFF, 3000K	88 W	WdGE3 LED P4 30K 80CRI RFT SRM DBLXD	3.66m AFG	

POLE LIGHTS						
TAG	SYMBOL	DESCRIPTION	POLE	WATTAGE	MODEL NUMBER	MOUNTING HEIGHT
P1		D-SERIES SIZE 1 LED AREA LUMINAIRE, FULL CUT-OFF, 3000K	A	51 W	DSX1 LED P1 30K 80CRI T3M MVOLT SPA DBLXD	7.00m AFG
P2		D-SERIES SIZE 1 LED AREA LUMINAIRE, FULL CUT-OFF, 3000K	A	124 W	DSX1 LED P4 30K 80CRI T3M MVOLT SPA DBLXD	7.00m AFG
P3		D-SERIES SIZE 1 LED AREA LUMINAIRE, FULL CUT-OFF, 3000K	A	51 W	DSX1 LED P1 30K 80CRI BLC4 MVOLT SPA DBLXD	7.00m AFG

CANOPY & GARAGE LIGHTS						
TAG	SYMBOL	DESCRIPTION	WATTAGE	MOUNTING	MODEL NUMBER	
C1		GOHTAM LED ROUND DOWNLIGHT, FULL CUT-OFF, 3000K	9 W	RECESSED	EVO4 30/10 AR MD LD 120 GZ1 NLT	
C2		SLENDERFORM LED CANOPY, SFC GEN2, 4000K	38 W	RECESSED	SFC-SW-48L-250-NW-G2	

BOLLARD LIGHTS						
TAG	SYMBOL	DESCRIPTION	WATTAGE	MODEL NUMBER	HEIGHT	
B1		D-SERIES ROUND, LED-STATIC, SYMMETRIC 16 LEDS, 4000K	28 W	DSX1 LED 16C 530 40K SYM	1.00m AFG	

5.	MAR 26	REVISED AS PER CONDITIONS OF APPROVAL	F.K.
4.	JAN 26	RE-ISSUED FOR SPA	F.K.
3.	NOV 1	RE-ISSUED FOR SPA	B.P.
2.	OCT 20	ISSUED FOR COORDINATION	F.K.
1.	DEC 07	ISSUED FOR SPA	A.L.
NO.	DATE	REVISION	BY

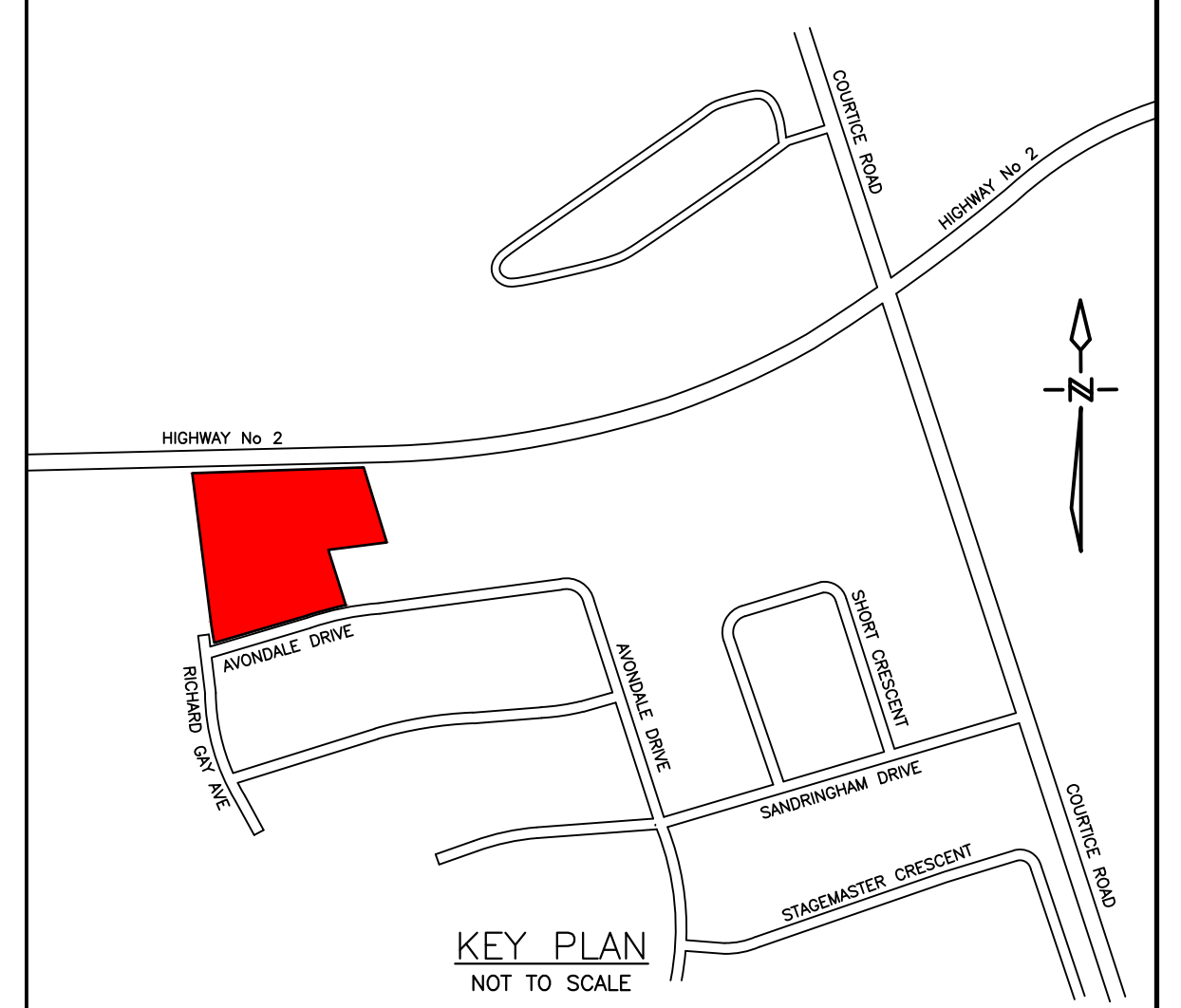
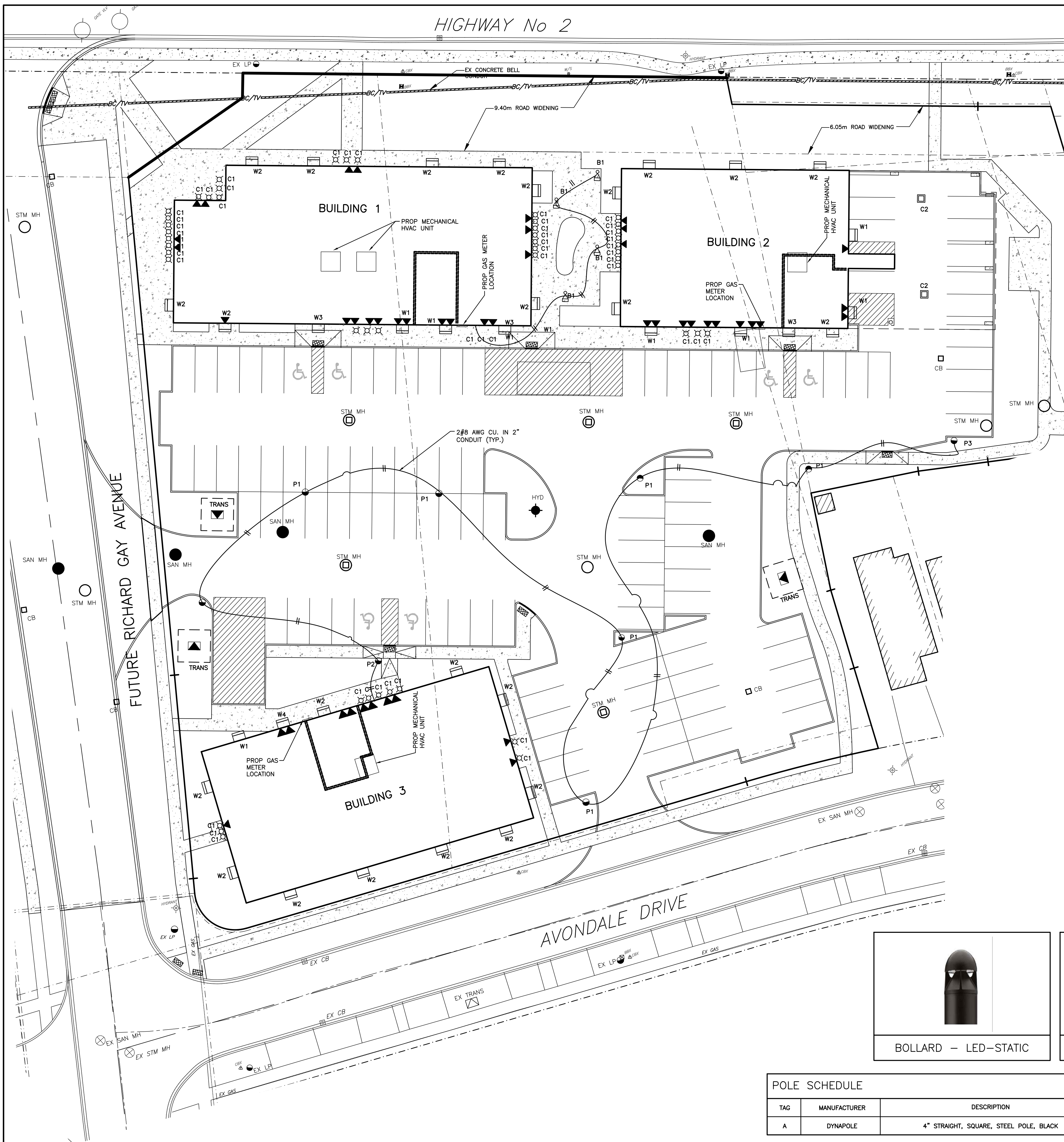
REVISIONS  
1697 DURHAM REGIONAL HIGHWAY NO.2, COURTYCE

SITE LIGHTING  
PHOTOMETRIC PLAN

**D.G. Biddle & Associates Limited**  
consulting engineers and planners  
96 KING STREET EAST OSHAWA, ON L1H 1B6  
PHONE (905) 576-8500 • FAX (905) 576-9730  
info@dgbiddle.com

SCALE:	1:300	PROJECT NO.	122065
DRAWN BY:	B.P.	DRAWING NO.	SL-2
DESIGN BY:	B.P./S.D.		
CHECKED BY:	G.V.W.O.		
DATE:	MARCH 2024		



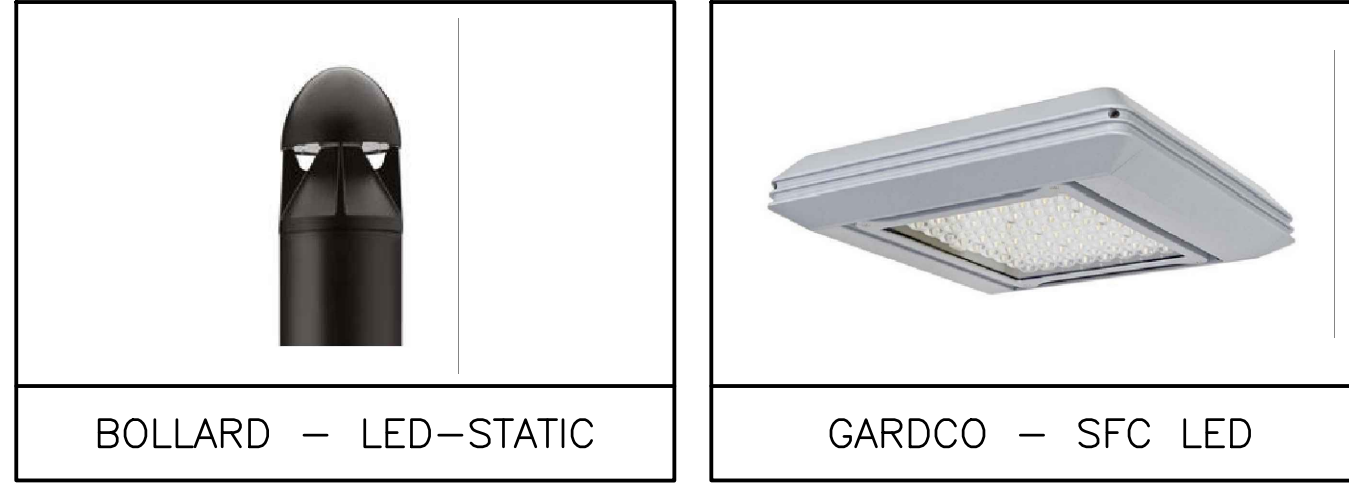


**BENCH MARK**  
 GEODETIC BENCH MARK: 67-U-027  
 COURTYARD ROAD BRIDGE OVER BLACK CREEK, 45.5m NORTH OF HWY NO. 2. TABLET IN WEST FACE OF CONCRETE ABUTMENT 4.0m FROM NORTH END OF BRIDGE, 1.2m NORTH OF SOUTHWEST CORNER, 450mm BELOW TOP OF SIDEWALK. ELEVATION 132.044 (PRIOR TO 1978 ELEVATION)

**LEGEND**  
 SITE TRANSFORMER  
 SITE STREET LIGHT  
 SITE MAILROOM LOCATION  
 EX BELL PEDESTAL

SITE LIGHTING SCHEDULE						
<b>WALL LIGHTS</b>						
TAG	SYMBOL	DESCRIPTION	WATTAGE	MODEL NUMBER	MOUNTING HEIGHT	
W1	W1	LITHONIA WDG1 LED WALL SCONCE, FULL CUT-OFF, 3000K	10 W	WDG1 LED P1 30K 80CRI VF SRM DBLXD	2.75m AFG	
W2	W2	LITHONIA WDG1 LED WALL SCONCE, FULL CUT-OFF, 3000K	10 W	WDG1 LED P1 30K 80CRI VF SRM DBLXD	3.66m AFG	
W3	W3	LITHONIA WDG1 LED WALL SCONCE, FULL CUT-OFF, 3000K	71 W	WDG3 LED P3 30K 70CRI R4 SRM DBLXD	3.66m AFG	
W4	W4	LITHONIA WDG1 LED WALL SCONCE, FULL CUT-OFF, 3000K	88 W	WDG3 LED P4 30K 80CRI RFT SRM DBLXD	3.66m AFG	
<b>POLE LIGHTS</b>						
TAG	SYMBOL	DESCRIPTION	POLE	WATTAGE	MODEL NUMBER	MOUNTING HEIGHT
P1	P1	D-SERIES SIZE 1 LED AREA LUMINAIRE, FULL CUT-OFF, 3000K	A	51 W	DSX1 LED P1 30K 80CRI T3M MVOLT SPA DBLXD	7.00m AFG
P2	P2	D-SERIES SIZE 1 LED AREA LUMINAIRE, FULL CUT-OFF, 3000K	A	124 W	DSX1 LED P4 30K 80CRI T3M MVOLT SPA DBLXD	7.00m AFG
P3	P3	D-SERIES SIZE 1 LED AREA LUMINAIRE, FULL CUT-OFF, 3000K	A	51 W	DSX1 LED P1 30K 80CRI BLC4 MVOLT SPA DBLXD	7.00m AFG
<b>CANOPY &amp; GARAGE LIGHTS</b>						
TAG	SYMBOL	DESCRIPTION	WATTAGE	MOUNTING	MODEL NUMBER	
C1	C1	GOHAM LED ROUND DOWNLIGHT, FULL CUT-OFF, 3000K	9 W	RECESSED	EVO4 30/10 AR MD LD 120 GZ1 NLT	
C2	C2	SLENDERFORM LED CANOPY, SFC GEN2, 4000K	38 W	RECESSED	SFC-5W-48L-250-NW-G2	
<b>BOLLARD LIGHTS</b>						
TAG	SYMBOL	DESCRIPTION	WATTAGE	MODEL NUMBER	HEIGHT	
B1	B1	D-SERIES ROUND, LED-STATIC, SYMMETRIC 16 LEDS, 4000K	28 W	DSX1 LED 16C 530 40K SYM	1.00m AFG	

PHOTOMETRIC VALUES MODELED AT 1.5m ABOVE FINISHED GRADE.



POLE SCHEDULE					
TAG	MANUFACTURER	DESCRIPTION	HEIGHT	MODEL NUMBER	NOTES
A	DYNAPOLE	4" STRAIGHT, SQUARE, STEEL POLE, BLACK	6 m	SSS4-20	REFER TO LIGHT POLE BASE DETAIL

LEGEND	
☒	CANOPY LIGHTS
⌋	POLE LIGHTS
☐	GARAGE LIGHTS
⊕	BOLLARD LIGHTS
☒	WALL LIGHTS
☒	PHOTOMETRIC VALUES (SHOWN IN FOOTCANDLES)
☒	ISOMETRIC LIGHT CURVES

NO.	DATE	REVISION	BY
3.	03/27/2024	REVISED AS PER CONDITIONS OF APPROVAL COMMENTS	MH
2.	01/26/2024	REVISED AS PER 2ND SUBMISSION COMMENTS	MH

1697 HIGHWAY No 2, COURTYCE, CLARINGTON

## UTILITY COORDINATION PLAN

**D.G. BIDDLE & ASSOCIATES**  
 CONSULTING ENGINEERS & PLANNERS

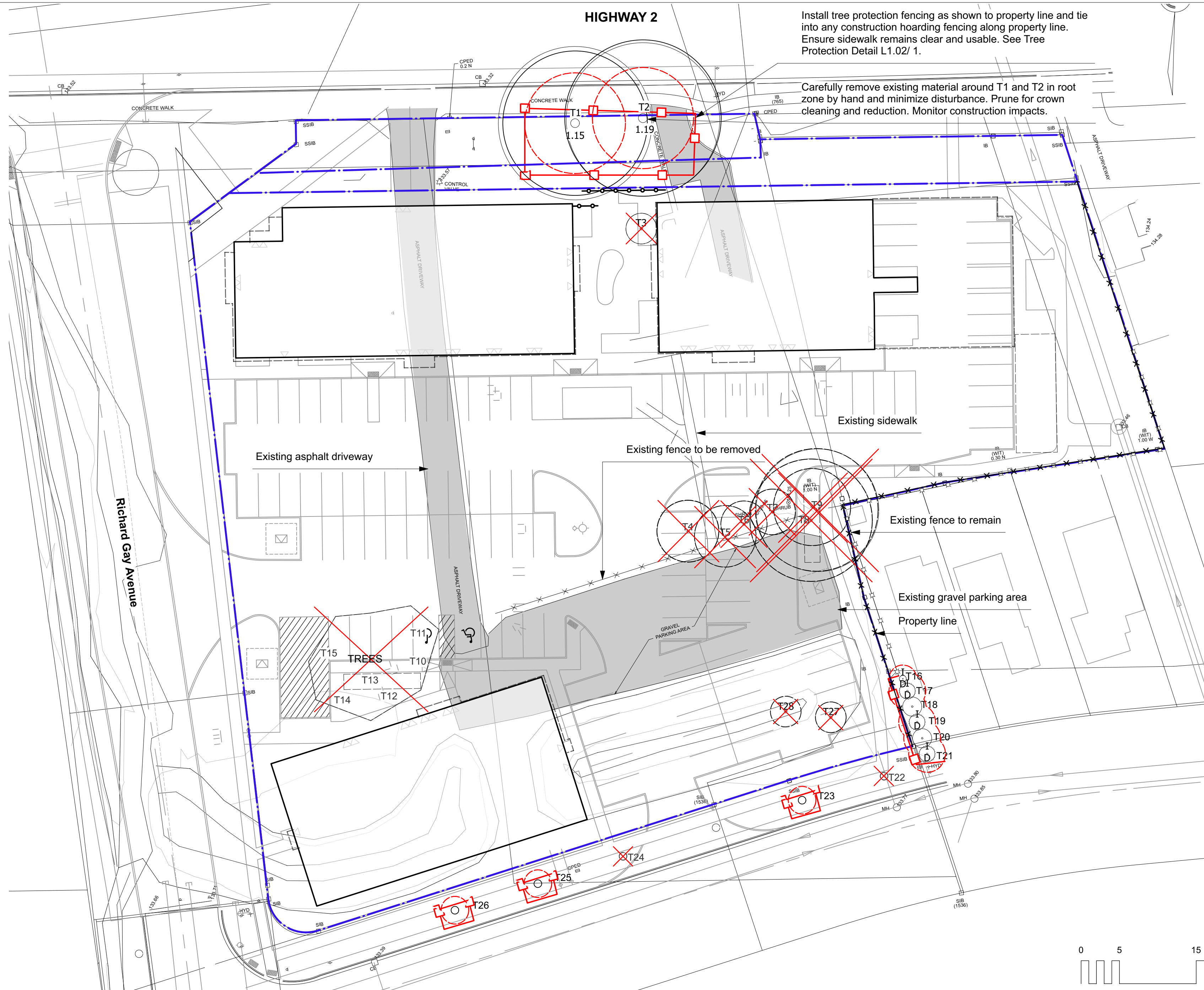
96 King Street East  
 Oshawa, Ontario, L1H 1B6  
 Phone: 905-576-8500  
 info@dgbiddle.com  
 dgbiddle.com

SCALE: 1:250  
 DRAWN BY: M.J.H.  
 DESIGN BY: M.J.H.  
 CHECKED BY: M.B.C.  
 DATE: OCTOBER 2023

PROJECT NO. 122065  
 DRAWING NO. UC-1

2:10/24/2024 12:00 PM FILES\122065\122065\_1697 HIGHWAY 2\_COURTYCE\122065 DRAWINGS\122065-UCP PLANNING





Install tree protection fencing as shown to property line and tie into any construction hoarding fencing along property line. Ensure sidewalk remains clear and usable. See Tree Protection Detail L1.02/ 1.

Carefully remove existing material around T1 and T2 in root zone by hand and minimize disturbance. Prune for crown cleaning and reduction. Monitor construction impacts.

Legend	
	Existing Deciduous Trees to be removed
	Existing Deciduous Trees to be retained
	Existing Coniferous Trees to be removed
	Tree Protection Zone Hoarding

**Tree Inventory**

Tree No.	Botanical Name	Common Name	DBH (cm)	Condition	Impact	TPZ
1	<i>Acer saccharinum</i>	Silver Maple	115	Fair	Preserve	6m
2	<i>Acer saccharinum</i>	Silver Maple	119	Good	Preserve	6m
3	<i>Juglans nigra</i>	Black Walnut	17/17/17	Good	Remove	N/A
4	<i>Acer negundo</i>	Manitoba Maple	47	Fair-Poor	Remove	N/A
5	<i>Acer negundo</i>	Manitoba Maple	32/37	Poor-Fair	Remove	N/A
6	<i>Acer negundo</i>	Manitoba Maple	29	Poor	Remove	N/A
7	<i>Acer negundo</i>	Manitoba Maple	18	Fair	Remove	N/A
8	<i>Juglans nigra</i>	Black Walnut	88	Good	Remove	N/A
9	<i>Acer negundo</i>	Manitoba Maple	40	Fair	Remove	N/A
10	<i>Fraxinus spp.</i>	Ash	39	DEAD	Remove	N/A
11	<i>Ulmus americana</i>	American Elm	20	Good-Fair	Remove	N/A
12	<i>Acer negundo</i>	Manitoba Maple	16/25/28	Fair	Remove	N/A
13	<i>Acer saccharum</i>	Sugar Maple	34	Good	Remove	N/A
14	<i>Acer negundo</i>	Manitoba Maple	35/14/11	Fair	Remove	N/A
15	<i>Acer negundo</i>	Manitoba Maple	15	Fair-Good	Remove	N/A
16	<i>Thuja occidentalis x hybrid</i>	Dwarf Cedar	2m ht	Good	Preserve	1.8m
17	<i>Picea pungens</i>	Colorado Blue Spruce	20	Good	Preserve	2.4m
18	<i>Pyrus spp.</i>	Ornamental Pear	15	Fair-Good	Preserve	1.8m
19	<i>Picea pungens</i>	Colorado Blue Spruce	20	Good	Preserve	2.4m
20	<i>Pyrus spp.</i>	Ornamental Pear	20	Fair-Good	Preserve	2.4m
21	<i>Picea pungens</i>	Colorado Blue Spruce	20	Good	Preserve	2.4m
22	<i>Tilia spp.</i>	Linden	7	Fair-Poor	Remove	N/A
23	<i>Tilia spp.</i>	Linden	7	Fair-Good	Preserve	1.8m
24	<i>Acer x freemanii</i>	Hybrid Maple	7	Fair	Remove	N/A
25	<i>Acer x freemanii</i>	Hybrid Maple	7	Fair	Preserve	1.8m
26	<i>Acer x freemanii</i>	Hybrid Maple	7	Fair-Good	Preserve	1.8m
27	<i>Populus spp.</i>	Poplar	10	Fair	Remove	N/A
28	<i>Robinia pseudoacacia</i>	Black Locust	5	Good	Remove	N/A

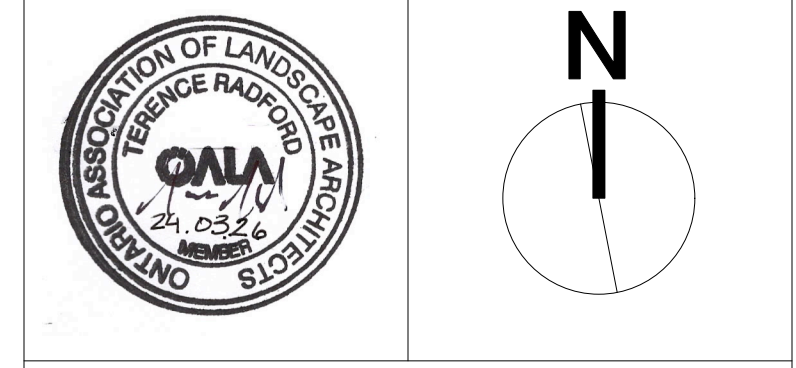
**Proposed Tree Planting**

TREE SPECIES	SIZE (cm)	QUANTITY	% BY GENUS
Armstrong Maple	6cm cal.	3	6%
Spring Flurry Serviceberry	6cm cal.	8	15%
Apple Serviceberry	6cm cal.	2	4%
American Hornbeam	6cm cal.	1	2%
Pagoda Dogwood	6cm cal.	8	15%
Tulip Tree	6cm cal.	3	6%
Black Tulip Magnolia	175cm ht	8	15%
Eastern White Pine	200cm ht	10	19%
Northern Red Oak	6cm cal.	3	6%
Eastern Arborvitae	250cm ht	6	12%
<b>TOTAL NEW TREES: 52</b>			



Legend:

No.	Description	Date	By
8			
7			
6			
5			
4	Issued for Conditional SPA	24.03.26	TR
3	Issued for Revised SPA	24.01.26	TR
2	Issued for Revised SPA	23.10.31	TR
1	Issued for SPA	22.12.09	TR



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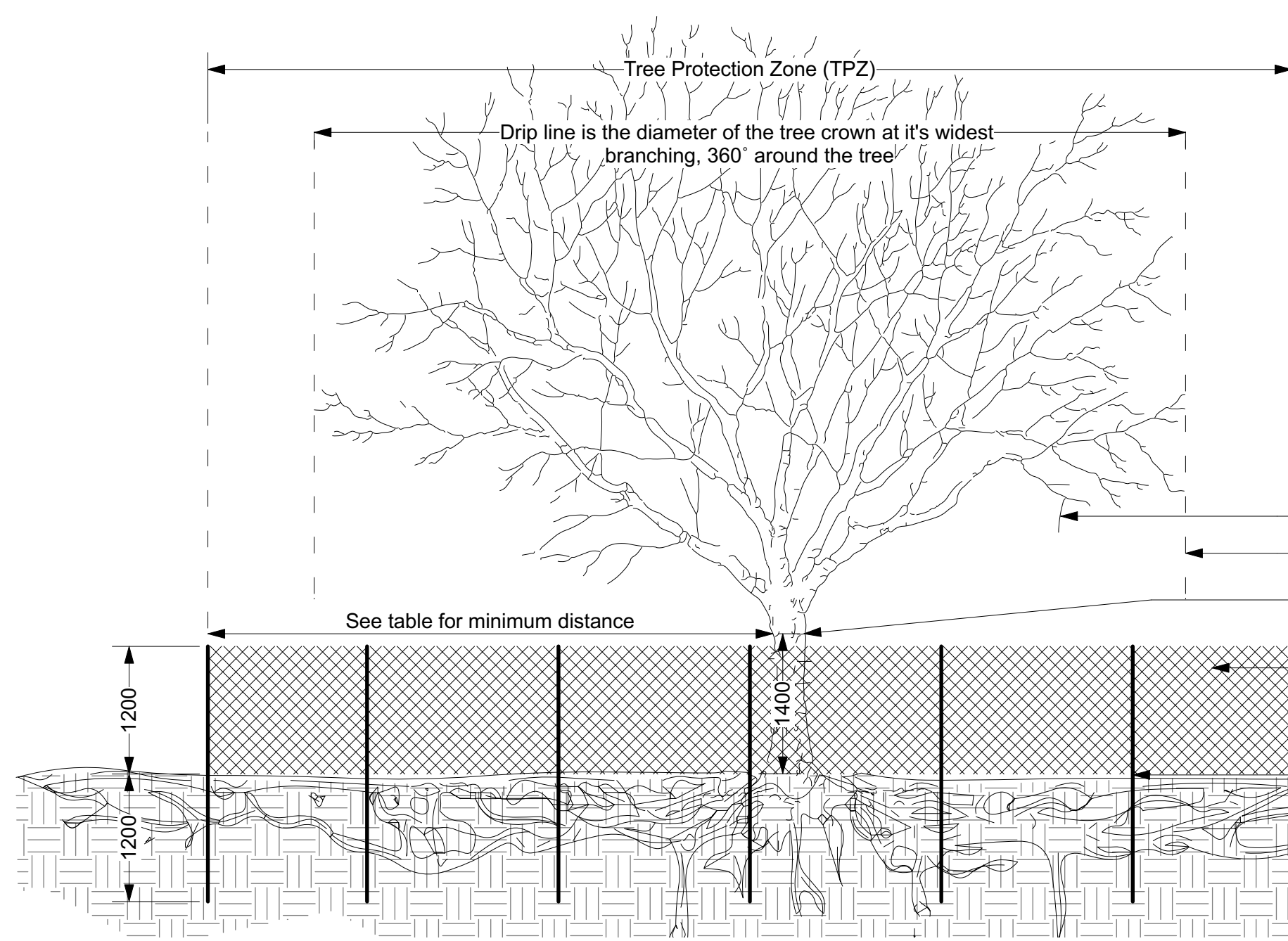
**NOT FOR CONSTRUCTION**

Client: **RH Gay Holdings Co.**

Project: **Proposed Mixed-Use Development  
1697 Durham Regional Hwy 2,  
Courtice, ON**

Drawing Title: **Tree Inventory and Preservation Plan**

Designed By: TR | Project #: 22.49  
 Drawn By: TR | Drawing #: **T 1.1**  
 Approved By: TR  
 Date: 22/11/15



**TABLE: TREE PROTECTION ZONES**

Trunk Diameter (DBH)*	Minimum Protection Distance Required**
20-40 cm	2.4m
41-50 cm	3.0m
51-60cm	3.6m
61-70cm	4.2m
71-80cm	4.8m
81-90cm	5.4m
91-100+cm	6.0m

\*\*"DBH" means diameter at breast height when measured at 1.4m above grade  
 \*\* Tree Protection Zone (TPZ) distances are measured from the outside edge of the tree base

**General Tree Protection Notes**

- All dimensions shown in millimetres.
- This detail does not represent any particular tree species.
- No construction activity, grade changes, surface treatment, compaction, excavation or stockpiling of any kind is permitted within the protected area unless noted otherwise on the drawings and confirmed during pre-construction meeting.
- Maintain (Mow as required and when directed by contract administrator) existing vegetative cover within fenced area during construction.
- Tree protection to remain in place for duration of construction.
- Tree protection to be adjusted only when needed to complete those activities shown within TPZ. Upon completion tree protection shall be reinstated in consultation with the project arborist.
- No contaminants will be dumped or flushed where feeder roots of protected trees exist.
- No rigging cables will be wrapped around or installed in trees and/or protected areas.
- The developer and/or contractor will take every precaution necessary to prevent damage to trees, shrubs or other plants to be retained.
- Construction activities shown within the TPZ shall be conducted under the guidance and in consultation with an approved ISA Certified Arborist.

**Protection and Preservation of Existing Vegetation**

\* Tree Inventory and assessment completed by Gina Brouwer, ISA Certified Arborist ON-0937A on November 25, 2022.

All existing trees and other plants which are to remain shall be fully protected with hoarding (i.e. snow fencing) erected beyond their 'drip line' prior to the issuance of the Building Permit, to the satisfaction of the Planning and Development Department. Areas within the fencing shall remain undisturbed and shall not be used for the storage of building materials or equipment.

No rigging cables shall be wrapped around or installed in trees and surplus soil, equipment debris or materials shall not be placed over root systems of the trees within the protective fencing. No contaminants will be dumped or flushed where feeder roots of trees exist.

The developer or his/her agents shall take every precaution necessary to prevent damage to trees or shrubs to be retained.

Where limbs or portions of trees are removed to accommodate construction work, they will be removed carefully and in accordance with accepted arboricultural practices.

Where root systems of protected trees are exposed directly adjacent to construction work or damaged by said work, they shall be trimmed neatly and the area backfilled with appropriate material to prevent desiccation.

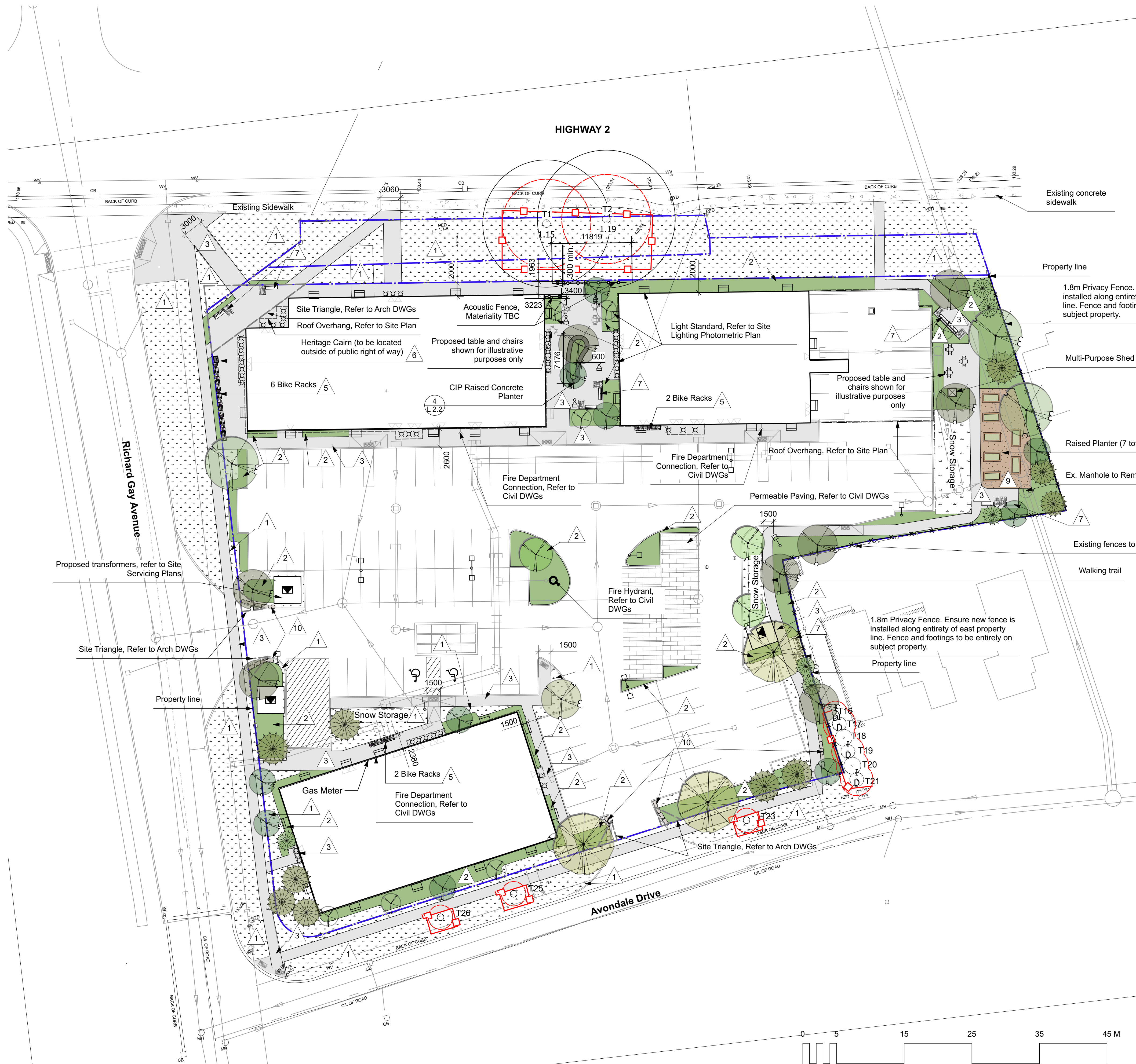
Where necessary, the trees will be given an overall pruning to restore the balance between roots and top growth or to restore the appearance of the trees.

Trees that have died or have been damaged beyond repair, shall be removed and replaced by the owner at his own expense with trees of a similar size, species and of equal value as approved by the Director of Planning and Development. Failure to replace damaged trees to a condition satisfactory to the Municipality shall result in the Municipality exercising its right to draw on the Letter of Credit.

If grades around trees to be protected are likely to change, the owner shall be required to take such precautions as dry welling, retaining walls and root feeding to the satisfaction of the Director of Planning and Development.

All excavation within the Tree Protection Zone (TPZ) around existing trees to be retained shall be hand dug.

**1 Tree Protection Detail**  
Scale: 1:50



LANDSCAPE MATERIALS			
1	Maintained Lawn Area	Sod and, min 150mm depth growing medium.	4 L 2.1
2	Shrub and Tree Area	Min 450mm depth growing medium finished w 75mm depth Four Season mulch	3 L 2.1
3	Cast in Place Concrete	See civil dwg's for details	
9	Shredded Cedar Mulch 100mm depth		3 L 2.3

LANDSCAPE STRUCTURES/FURNISHINGS			
4	Table and Chairs	Shown for Illustrative Purposes Only. To be supplied by owners	
5	Bike Rack (10 total)	Surface Mount Racks, Maglin MBR100 Series Item# MBR-0150-00002 or approved equivalent	2 L 2.2
6	Heritage Cairn	2x3' heritage cairn made with bricks from original house on site. Plaque with QR code to be detailed and designed by owner.	1 L 2.4
7	Bench (6 total) w Curb Stop	1800mm length Surface Mount Bench, Maglin 2300 Series MBE-2300-00056 or approved equivalent.	1 L 2.2
8	Raised Garden Planter	Cedar Timber Planter complete with seating edge. Contractor to fill planters with growing medium as specified and mulch.	1 L 2.3
10	Armour Stone	Armourstone; Colour: Dark; Size: ~600x600x100mm (WX+HxL).	1 L 1.3
	1.8m Wood Privacy Fence		2 L 2.3
	Acoustic Fence	Materiality and Style TBC	
	Multipurpose Eco-Shed	4x4' Green Pod Eco-Shed by Cedarshed Industries or approved equivalent.	5 L 2.3

PLANT MATERIALS			
TPZ ID DBH	Existing Deciduous Trees to be retained- See T.1.1 for Tree Protection Plan		
	Proposed Deciduous Trees- See plant list for additional details	2 L 2.1	
	Proposed Coniferous Trees- See plant list for additional details	1 L 2.1	
ID	Proposed Shrub/Perennial/Vine- See plant list for additional details	3 L 2.1	
	Tree Protection Zone Hoarding- See T.1.1 for Tree Planting and Preservation Plan	1 T 1.1	

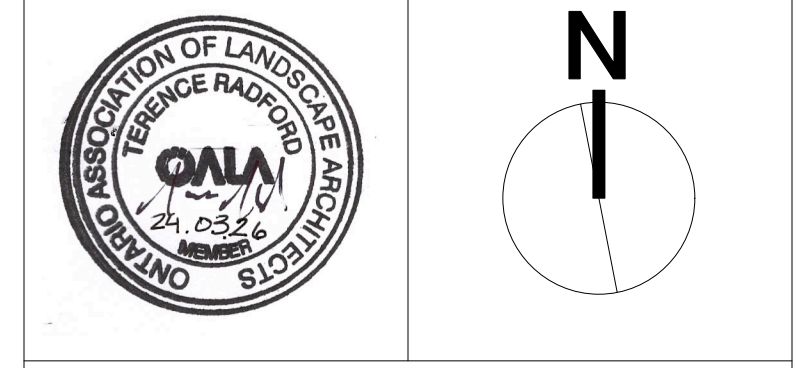


Legend:

Property Line

No.	Description	Date	By
8			
7			
6			
5			
4	Issued for Conditional SPA	24.03.26	TR
3	Issued for Revised SPA	24.01.26	TR
2	Issued for Revised SPA	23.10.31	TR
1	Issued for SPA	22.12.09	TR

Issue / Revision Schedule



**Disclaimer:**  
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**NOT FOR CONSTRUCTION**

Client:  
**RH Gay Holdings Co.**

Project:  
**Proposed Mixed-Use Development**  
1697 Durham Regional Hwy 2, Courtice, ON

Drawing Title:  
**Landscape Plan Preservation Plan**

Designed By: TR	Project #: 22.49
Drawn By: TR	Drawing #: <b>L 1.1</b>
Approved By: TR	
Date: 22/11/15	

**Owners Note**  
We agree to implement the approved landscape plans within 18 months after the execution of Site Plan Agreement and will retain a landscape architect to make periodic site inspections and on completion of the landscape works, we will forward to you a copy of the 'Landscape Completion Notification Certificate' from the landscape architect.

Any revision to the landscape plans will be submitted to the Department of Planning and Development of the Municipality of Clarington and before commencement of the works, for review and approval.

We hereby authorize the Municipality, its authorized agents, servants or employees to enter upon our land to which these drawings apply, to carry out inspections from time to time and agree to indemnify the Municipality and its authorized agents and save them harmless from any and all actions arising out of the exercise by the Municipality, its authorized agents, servants or employees of the rights hereby given to them. And we further undertake to notify the Municipality forthwith of any change of ownership of the said lands.

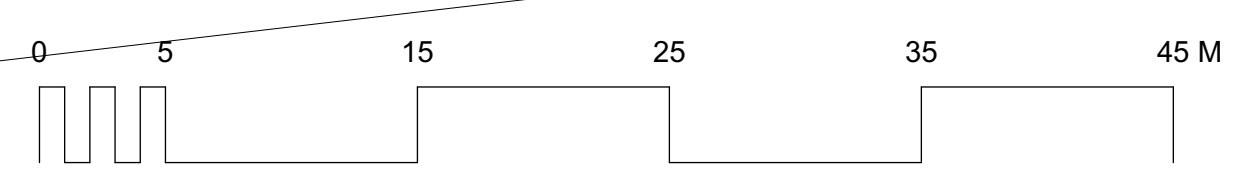
Signature of Owner: *[Signature]*  
Name of Owner:  
Address:  
Date: March 26, 2024

**Municipal Road Occupancy**  
"Respecting all work in the municipal right of way, the contractor is to provide at least 48 hours prior notice to the Clarington Engineering Services Department staff at 905-623-3379."  
"A Road Occupancy Permit will be required for any work done in the municipal road allowance. Excavation of the road surface is not permitted between December 1st and April 30th."  
"All restoration or work done in the road allowance must be completed as per municipal field staff direction."  
"The performance guarantee will not be refunded by the Municipality of Clarington unless the works have been inspected by municipal forces and deemed to be complete and satisfactory."

**BOULEVARD PLANTING**  
"The applicant will be responsible to acquire the necessary approvals from the utility companies and the responsible road authority (i.e. Clarington Public Works Department) prior to the installation of the landscape works on the municipal boulevard."

I hereby certify that these Landscape Plans conform to the Site Grading and Drainage Plan for this project, as submitted by the project's Consulting Engineer.

Signature of Landscape Architect: *[Signature]*  
Name of Landscape Architect: Terence Radford  
Date: March 26, 2024





**Plant List**

ID	Quantity	Common Name	Latin Name	Scheduled Size
<b>TREES</b>				
ArA	3	Armstrong Maple	Acer rubrum 'Armstrong'	60mmCT/WB
Alm	8	Spring Flurry Serviceberry	Amelanchier laevis 'Spring Flurry'	60mmCT/WB
Amg	2	Apple Serviceberry	Amelanchier x grandiflora	200cm ht WB, Multi-stem
Cc	1	American Hornbeam	Carpinus caroliniana	60mmCT/WB
Ca	8	Pagoda Dogwood	Cornus alternifolia	200cm ht, Multi-stem
Lit	3	Tulip Tree	Liriodendron tulipifera	60mmCT/WB
MBT	8	Black Tulip Magnolia	Magnolia 'Black Tulip'	175cm ht WB
Ps	10	Eastern White Pine	Pinus strobus	200cm ht WB
Qr	3	Northern Red Oak	Quercus rubra	75mmCT/WB
To	6	Eastern Arborvitae	Thuja occidentalis	250cm ht WB
<b>SHRUBS, GRASSES AND PERENNIALS</b>				
Ag	53	Big Bluestem	Andropogon gerardii	2 gal pot
Cs	29	Red Osier Dogwood	Cornus sericea	50cm ht potted
EpM	188	Magnus Purple Coneflower	Echinacea purpurea 'Magnus'	1 gal pot
Hv	2	Witch Hazel	Hamamelis virginiana	80cm ht potted
Hse	37	Elegans Plantain Lily	Hosta sieboldiana 'Elegans'	1 gal pot
Hp	24	Fire and Ice Hydrangea	Hydrangea paniculata 'Fire and Ice'	3 gal pot
JpG	24	Blue Pfitzer Juniper	Juniperus x pfitzeriana 'Glaucia'	50cm ht potted
Mat	104	Ostrich Fern	Matteuccia struthiopteris	1 gal pot
Pv	177	Switch Grass	Panicum virgatum	2 gal pot
PaR	77	Redhead Fountain Grass	Pennisetum alopecuroides 'Redhead'	1 gal pot
Ra	58	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'	50cm ht potted
RIB	2	Tiger Eyes® Staghorn Sumac	Rhus typhina 'Bailtiger'	60cm ht potted
Rf	29	Goldsturm Black Eyed Susan	Rudbeckia fulgida 'Goldsturm'	1 gal pot
Sch	193	Little Bluestem	Schizachyrium scoparium	1 gal pot
Sf	19	Firecracker Stonecrop	Sedum 'Firecracker'	9cm PT
Sac	9	Goldmoss Sedum	Sedum acre	9cm PT
Sb	20	Lamb's-ears	Stachys byzantina	#1 pot
TmH	40	Hick's Yew	Taxus x media 'Hicksii'	50cm ht potted
To-1	5	Eastern White Cedar	Thuja occidentalis	150cm ht potted
ToLG	15	Little Giant Cedar	Thuja occidentalis 'Little Giant'	60cm ht
Ts	16	Creeping Thyme	Thymus serpyllum	9cm PT
TsGW	26	Gentsch White Variegated Hemlock	Tsuga canadensis 'Gentsch White'	3 gal pot

**Plant List Notes:**  
 - Refer to planting Details and General Landscape Specifications  
 - Plan quantities supersede plant list quantities  
 - Layout to be confirmed on-site with the Landscape Architect  
 - CT: caliper tree measured at 15cm above root collar  
 - WB: wire basket

**Owners Note**

We agree to implement the approved landscape plans within 18 months after the execution of Site Plan Agreement and will retain a landscape architect to make periodic site inspections and on completion of the landscape works, we will forward to you a copy of the Landscape Completion Notification Certificate from the landscape architect.

Any revision to the landscape plans will be submitted to the Department of Planning and Development of the Municipality of Clarington and before commencement of the works, for review and approval.

We hereby authorize the Municipality, its authorized agents, servants or employees to enter upon our land to which these drawings apply, to carry out inspections from time to time and agree to indemnify the Municipality, its authorized agents, servants or employees of the rights hereby given to them. And we further undertake to notify the Municipality forthwith of any change of ownership of the said lands.

Signature of Owner:

Name of Owner:

Address:

Date: March 26, 2024

**Municipal Road Occupancy**

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\*A Road Occupancy Permit will be required for any work done in the municipal road allowance. Excavation of the road surface is not permitted between December 1st and April 30th.

\*All restoration or work done in the road allowance must be completed as per municipal field staff direction.\*

\*The performance guarantee will not be refunded by the Municipality of Clarington unless the works have been inspected by municipal forces and deemed to be complete and satisfactory.\*

**BOULEVARD PLANTING**

\*The applicant will be responsible to acquire the necessary approvals from the utility companies and the responsible road authority (i.e. Clarington Public Works Department) prior to the installation of the landscape works on the municipal boulevard.\*

I hereby certify that these Landscape Plans conform to the Site Grading and Drainage Plan for this project, as submitted by the project's Consulting Engineer.

Signature of Landscape Architect:

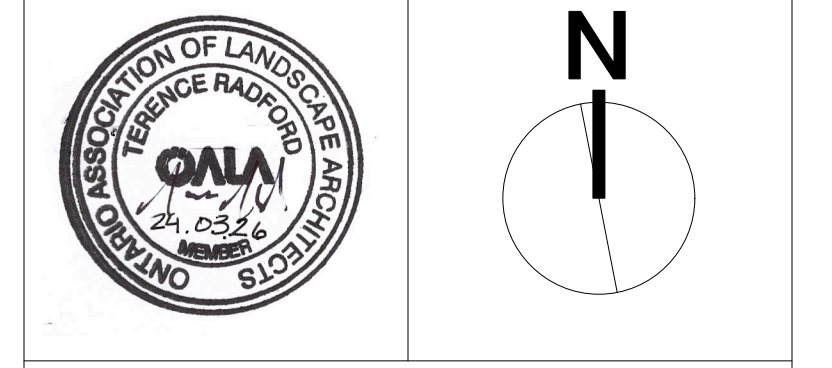
Name of Landscape Architect: Terence Radford

Date: March 26, 2024



Legend:

No.	Description	Date	By
8			
7			
6			
5			
4	Issued for Conditional SPA	24.03.26	TR
3	Issued for Revised SPA	24.01.26	TR
2	Issued for Revised SPA	23.10.31	TR
1	Issued for SPA	22.12.09	TR



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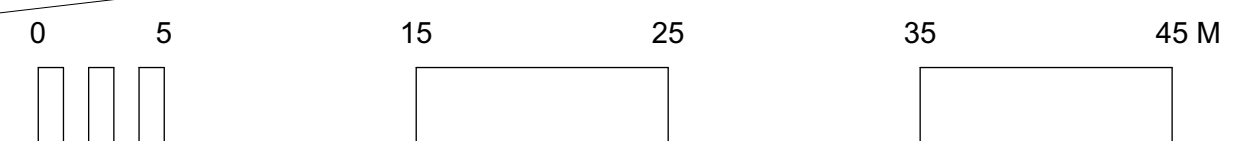
**NOT FOR CONSTRUCTION**

Client:  
**RH Gay Holdings Co.**

Project:  
**Proposed Mixed-Use Development**  
 1697 Durham Regional Hwy 2,  
 Courtice, ON

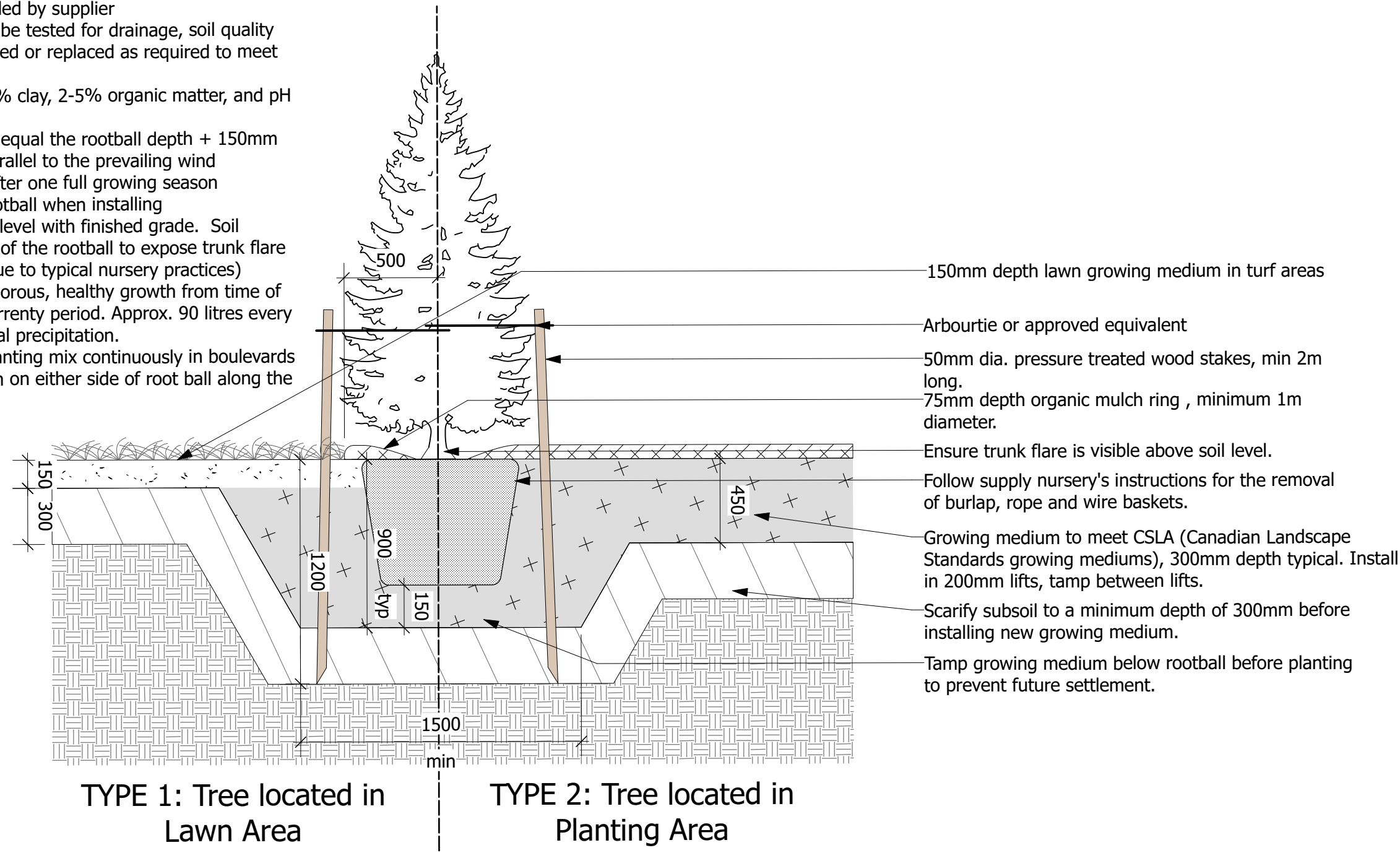
Drawing Title:  
**Landscape Planting Plan**  
**Preservation Plan**

Designed By: TR	Project #: 22.49
Drawn By: TR	Drawing #: <b>L 1.2</b>
Approved By: TR	
Date: 22/11/15	



**General Notes**

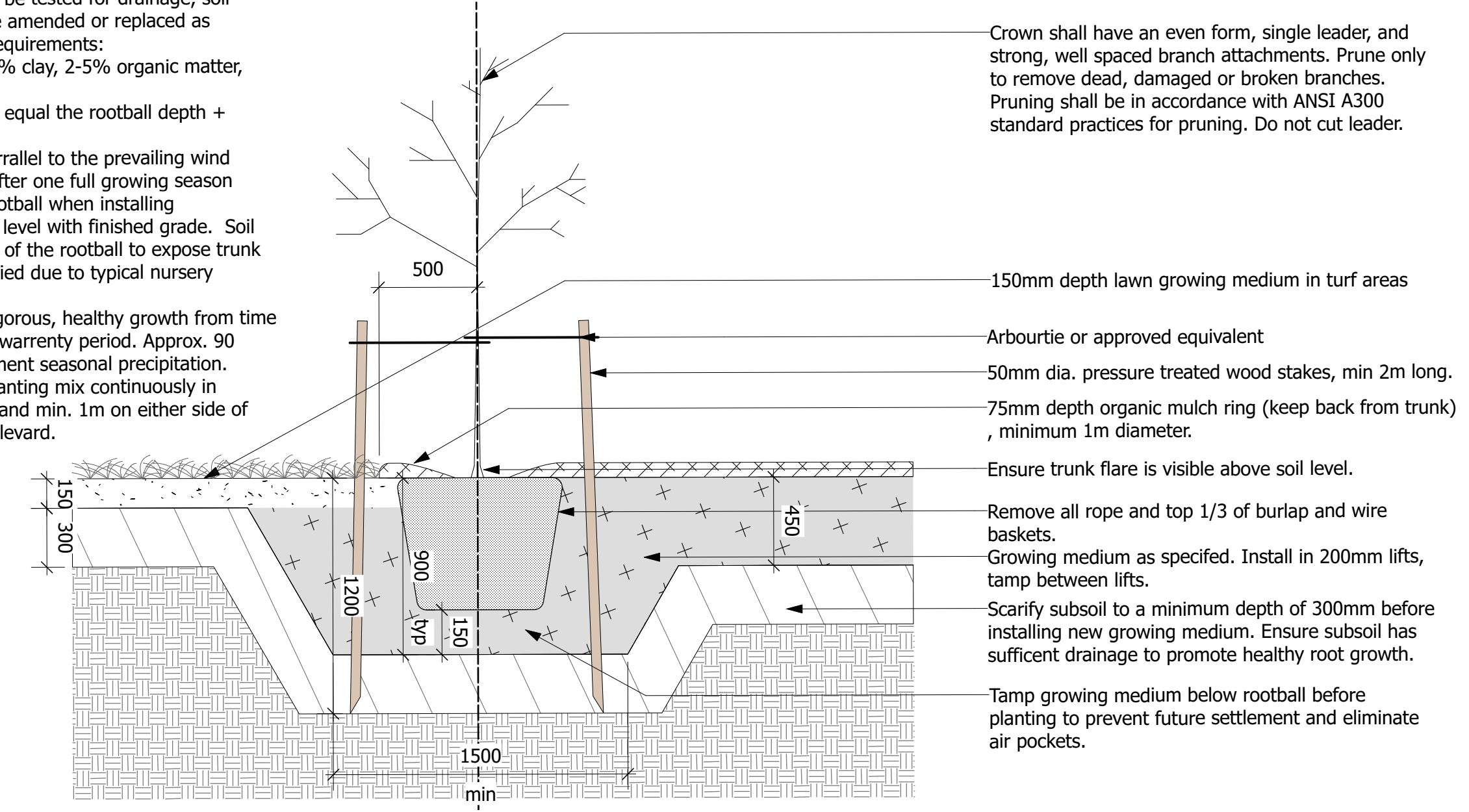
- Planting mix: 2/3 native soil from the tree pit excavation or stockpile and 1/3 commercially prepared triple mix. Add approved mycorrhizal inoculant in quantities recommended by supplier
- All proposed planting areas shall be tested for drainage, soil quality and pH. Poor soil shall be amended or replaced as required to meet the following requirements: 50-60% sand, 20-40% silt, 6-10% clay, 2-5% organic matter, and pH between 6.5-7.5.
- Max depth of planting pit should equal the rootball depth + 150mm
- Tree stakes should be placed parallel to the prevailing wind
- Wooden stakes to be removed after one full growing season
- DO NOT drive stakes through rootball when installing
- Set tree so base of trunk flare is level with finished grade. Soil should be removed from the top of the rootball to expose trunk flare (often the trunk flare is buried due to typical nursery practices)
- Water thoroughly to maintain vigorous, healthy growth from time of delivery installation to end of warranty period. Approx. 90 litres every 7-10 days to supplement seasonal precipitation.
- Excavate and prepare tree pit planting mix continuously in boulevards less than 1.5m wide and min. 1m on either side of root ball along the length of boulevard.



1 **Coniferous Tree Detail**  
Scale: 1:25

**General Notes**

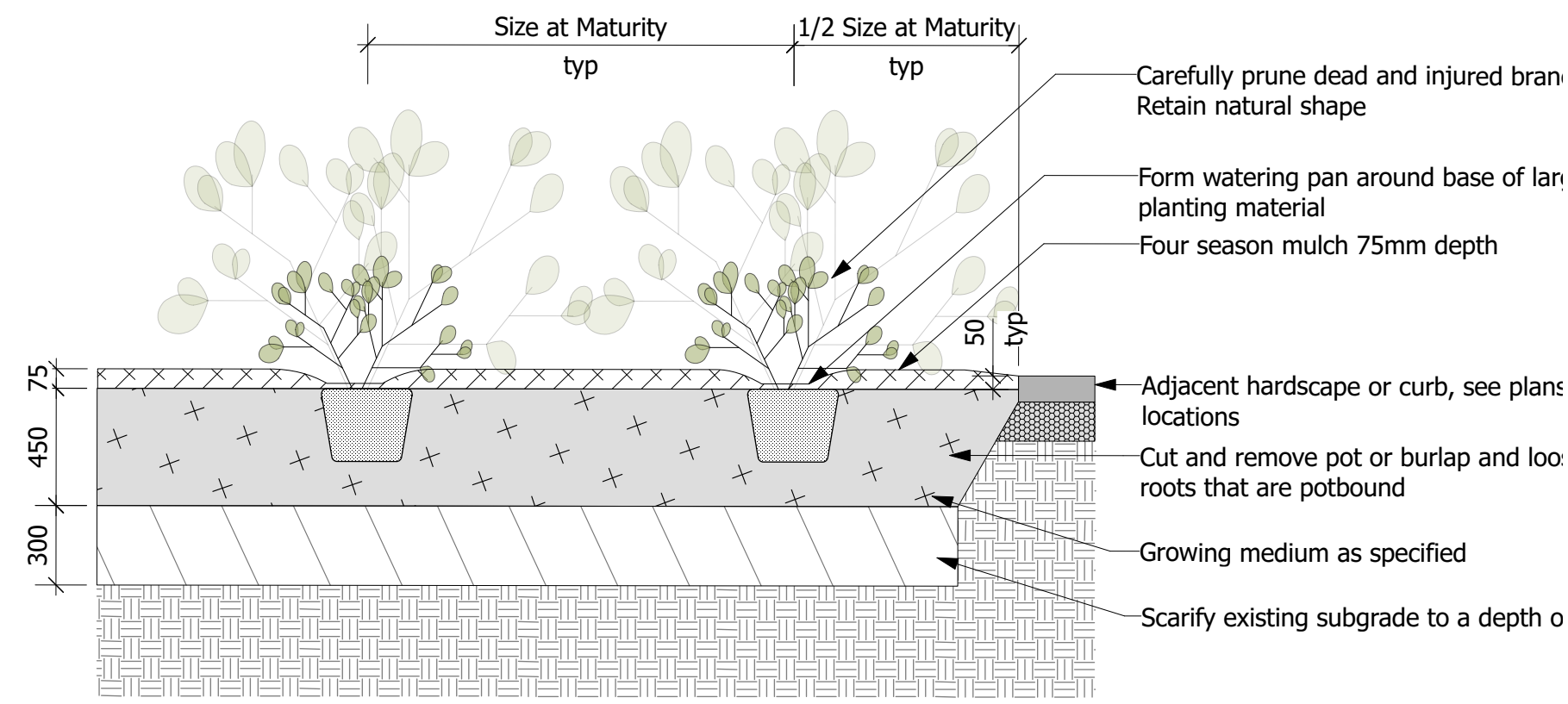
- Planting mix: 2/3 native soil from the tree pit excavation or stockpile and 1/3 commercially prepared triple mix. Add approved mycorrhizal inoculant in quantities recommended by supplier
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- Excavate and prepare tree pit planting mix continuously in boulevards less than 1.5m wide and min. 1m on either side of root ball along the length of boulevard.



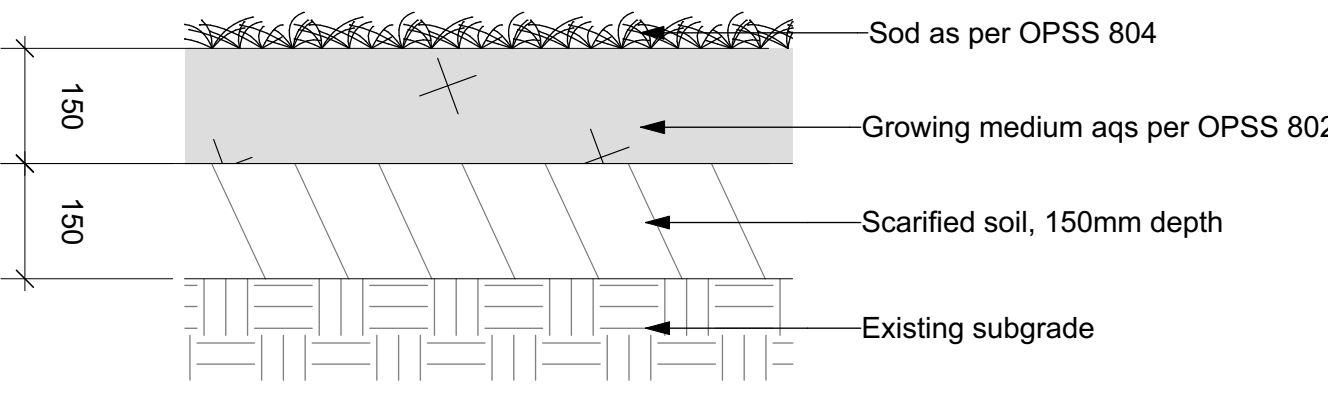
2 **Deciduous Tree Planting**  
Scale: 1:25

**General Notes**

- Excavate continuous planting bed where perennial plants and woody shrubs are mass planted as shown on planting plan
- All perennials and shrubs are to be planted in continuous planting beds except where noted otherwise
- Continuously mulch planting beds with 100 depth approved shredded bark mulch. Mulch to be shredded tub-ground bark mulch (the material remaining after bark is peeled from the hardwood logs at a sawmill), free from debris, construction waste and hardwood chips. Submit sample for approval.
- Planting mix: existing soil mixed 2:1 with imported triple mix
- Water thoroughly after installation



3 **Shrub Planting**  
Scale: 1:25



4 **Sod Detail**  
Scale: 1:10

**Landscape Notes**

The Contractor shall review all existing conditions and utilities prior to commencement of work. Protect all existing plant material, structures and adjacent areas from damage. Layout shall be approved by the Contract Administrator prior to commencement of work. All work shall comply with the CSLA Canadian Landscape Standards.

**TOPSOIL & SOD**

All areas requiring sod shall first be neatly prepared for 100mm depth on site. Topsoil requirements set out in these specifications. All topsoil shall be free from native till or clay, roots, vegetation, weeds or debris, stones and clods over 50mm diameter. Topsoil shall be fertile, loamy, screened material. All topsoil to be used for sod, seed and planting shall be tested by an approved laboratory at the Contractor's expense and amended based on the report recommendations. Topsoil test results shall be provided to the Landscape Architect for approval one week prior to work commencing. Topsoil infested by the seeds of noxious weeds will not be acceptable.

Sod all disturbed areas. All sod shall meet the requirements of Ontario Sod Grower's Association for Fine Fescue Kentucky Bluegrass Commercial Grade Turfgrass Nursery Sod. The sod shall be taken from good loamy soil and shall be healthy well permeated with roots have uniform texture and appearance and be free from weeds. Sod must be laid within thirty-six (36) hours of being cut. Care must be taken during its transportation and placement to prevent any drying out. Sod shall match flush with all adjacent surfaces and shall have no open gaps, overlapping edges or uneven joints. Where adjacent or fronting lands have already been sodded, care must be taken to ensure drainage is maintained and a smooth transition is achieved. Laid sod shall be immediately rolled to produce an even surface and watering shall commence immediately thereafter and shall continue on a regular basis until healthy roots are well established and permanent. If sod fails to establish immediately it shall be removed and replaced. No attempt shall be made to try to re-establish weak/dead sod through continual watering unless specific permission is granted by the Contract Administrator. Any sod deemed unfit by the Contract Administrator shall be immediately removed from the site and replaced.

**Protection and Preservation of Existing Vegetation**

Refer to Tree Inventory and Preservation Plan drawing T 1.1 and arborist report.

\* Tree Inventory and assesment completed by Gina Brouwer, ISA Certified Arborist ON-0937A on November 25, 2022.

All existing trees and other plants which are to remain shall be fully protected with hoarding (i.e. snow fencing) erected beyond their 'drip line' prior to the issuance of the Building Permit, to the satisfaction of the Planning and Development Department. Areas within the fencing shall remain undisturbed and shall not be used for the storage of building materials or equipment.

No rigging cables shall be wrapped around or installed in trees and surplus soil, equipment debris or materials shall not be placed over root systems of the trees within the protective fencing. No contaminants will be dumped or flushed where feeder roots of trees exist.

The developer or his/her agents shall take every precaution necessary to prevent damage to trees or shrubs to be retained.

Where limbs or portions of trees are removed to accommodate construction work, they ill be removed carefully and in accordance with accepted arboricultural practices.

Where root systems of protected trees are exposed directly adjacent to construction work or damaged by said work, they shall be trimmed neatly and the area backfilled with appropriate material to prevent desiccation.

Where necessary, the trees will be given an overall pruning to restore the balance between roots and top growth or to restore the appearance of the trees.

Trees that have died or have been damaged beyond repair, shall be removed and replaced by the owner at his own expense with trees of a similar size, species and of equal value as approved by the Director of Planning and Development. Failure to replace damaged trees to a condition satisfactory to the Municipality shall result in the Municipality exercising its right to draw on the Letter of Credit.

If grades around trees to be protected are likely to change, the owner shall be required to take such precautions as dry welling, retaining walls and root feeding to the satisfaction of the Director of Planning and Development.

All excavation within the Tree Protection Zone (TPZ) around existing trees to be retained shall be hand dug.

**Planting**

All plant material shall be nursery grown, true to type, conforming to the current edition of the Canadian Nursery Landscape Association's Canadian Standards for Nursery Stock and CSLA Canadian Landscape Standards. All plants shall be healthy and vigorous with all parts free from defects, decay, disfigurement, injury, disease and pests.

All trees shall have a reasonably straight trunk, free of any decay or wounds. Trees shall have a balanced canopy with a minimum of 12 branches. The branching height shall be a minimum of 1.8m from the root ball. Columnar trees shall possess one main trunk and no multiple competing stems. Branching shall be uniform and characteristic of the growing habit for the species. The root ball must be solid with little or no movement at the trunk and free of girdling roots.

Prior to any plant material arriving on site, an onsite meeting between the landscaper, contractor, and Developer's Landscape Architect must be held to review planting locations and procedures. The Developer's landscaper shall ensure that trees are planted under ideal seasonal conditions and according to the following procedures:

- All tree pits shall be prepared in accordance with the Tree Planting Detail shown in this package.
- Trees shall be placed so that the root flare is 50mm above the finished boulevard grade. Sub-grade levels will not be accepted. The ball or basket must be untied with the trunk free from choking ties. All trunk wrap must be removed after planting. The top 1/3 of the wire basket and burlap must be removed, (not bent down). The remainder of the basket must be clipped randomly throughout the remaining 2/3. Waste from these procedures shall be properly disposed of off site.
- The hole shall be backfilled halfway with a blended mix of topsoil. The hole shall be backfilled and compacted to remove all air pockets and to ensure the tree is stable without the installation of tree stakes.
- The tree planting pit surface and all planting beds shall be mulched with 75mm of shredded bark mulch. Wood chips will not be accepted. Mulch must not be placed against the trunk of the tree. A sample of mulch shall be submitted for approval.

The Contract Administrator may reject any plant material, whether planted or not, that does not conform to the specifications. Substitutions for specified plants will not be accepted unless approved in writing by the Contract Administrator. Plant material shall be unwrapped prior to inspection with labels left on. The Contract Administrator shall inspect and provide written acceptance of installation.

The client reserves the right to investigate, inspect and reject any standard material, tree or procedure at any time during, or subsequent to, the planting process. Immediately following planting, each tree shall be inspected for damage. Damaged trees shall be replaced or treated in accordance with proper horticultural standards, as directed.

The Developer's landscaper shall implement an ongoing maintenance program of all trees and plant material and shall monitor their progress at the beginning and end of each growing season. Any plant material showing signs of distress shall be treated or replaced immediately, as directed. The Contractor shall maintain all plant material and assume full responsibility for protection of all planted areas until final acceptance of all project work at the end of the specified warranty period (1 year). The Contractor shall water plants as necessary with sufficient quantities to maintain healthy growth.

All plants that are dead, or not in healthy, satisfactory growing condition, or which in any way do not meet the specifications, shall be replaced within two weeks of notification at the Contractor's expense.

The Contractor shall remove all stakes and staking material at the end of the warranty period. The Contract Administrator shall inspect and provide final acceptance.

Key Plan:

Legend:

8			
7			
6			
5			
4	Issued for Conditional SPA	24.03.26	TR
3	Issued for Revised SPA	24.01.26	TR
2	Issued for Revised SPA	23.10.31	TR
1	Issued for SPA	22.12.09	TR
No.	Description	Date	By
Issue / Revision Schedule			



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**NOT FOR CONSTRUCTION**

Client:

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Project:

**Proposed Mixed-Use Development**  
1697 Durham Regional Hwy 2,  
Courtice, ON

Drawing Title:

**Landscape Details Preservation Plan**

Designed By: TR

Project #: 22.49

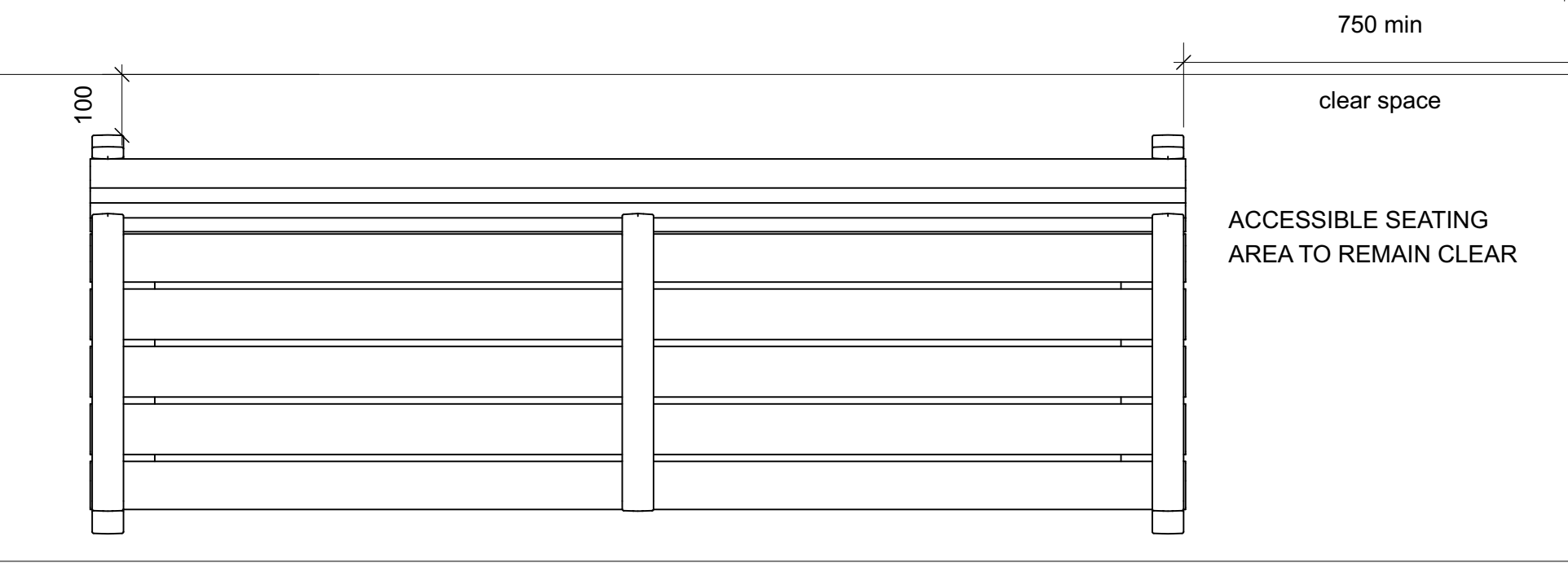
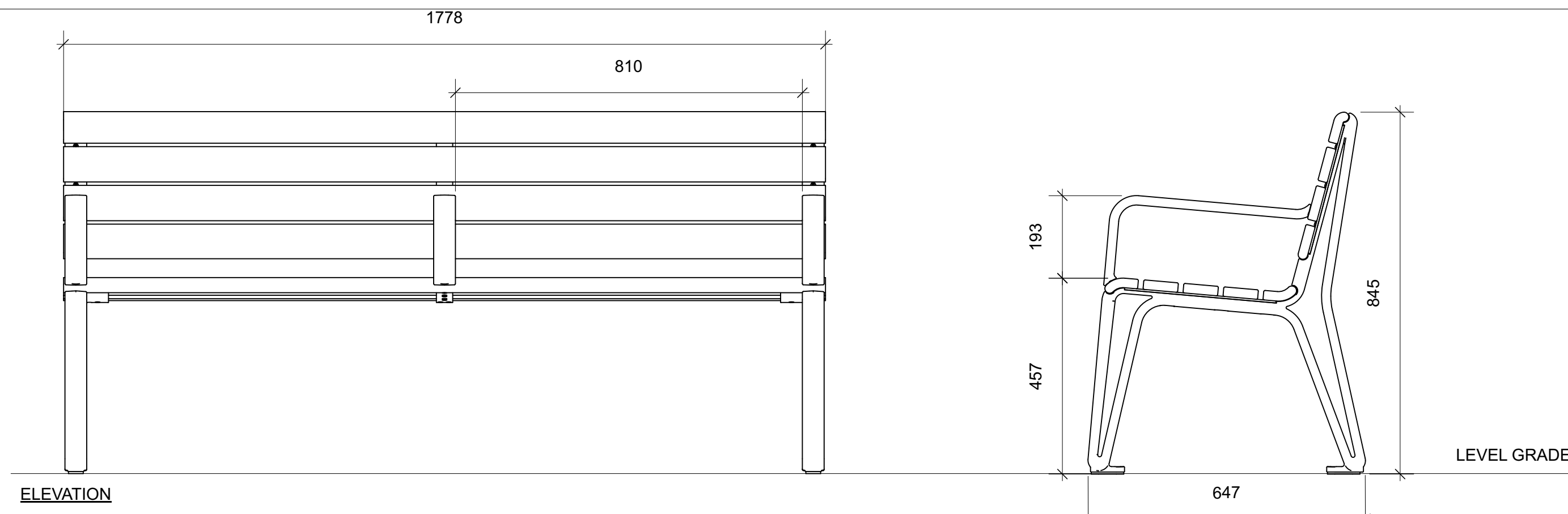
Drawn By: TR

Drawing #:

Approved By: TR

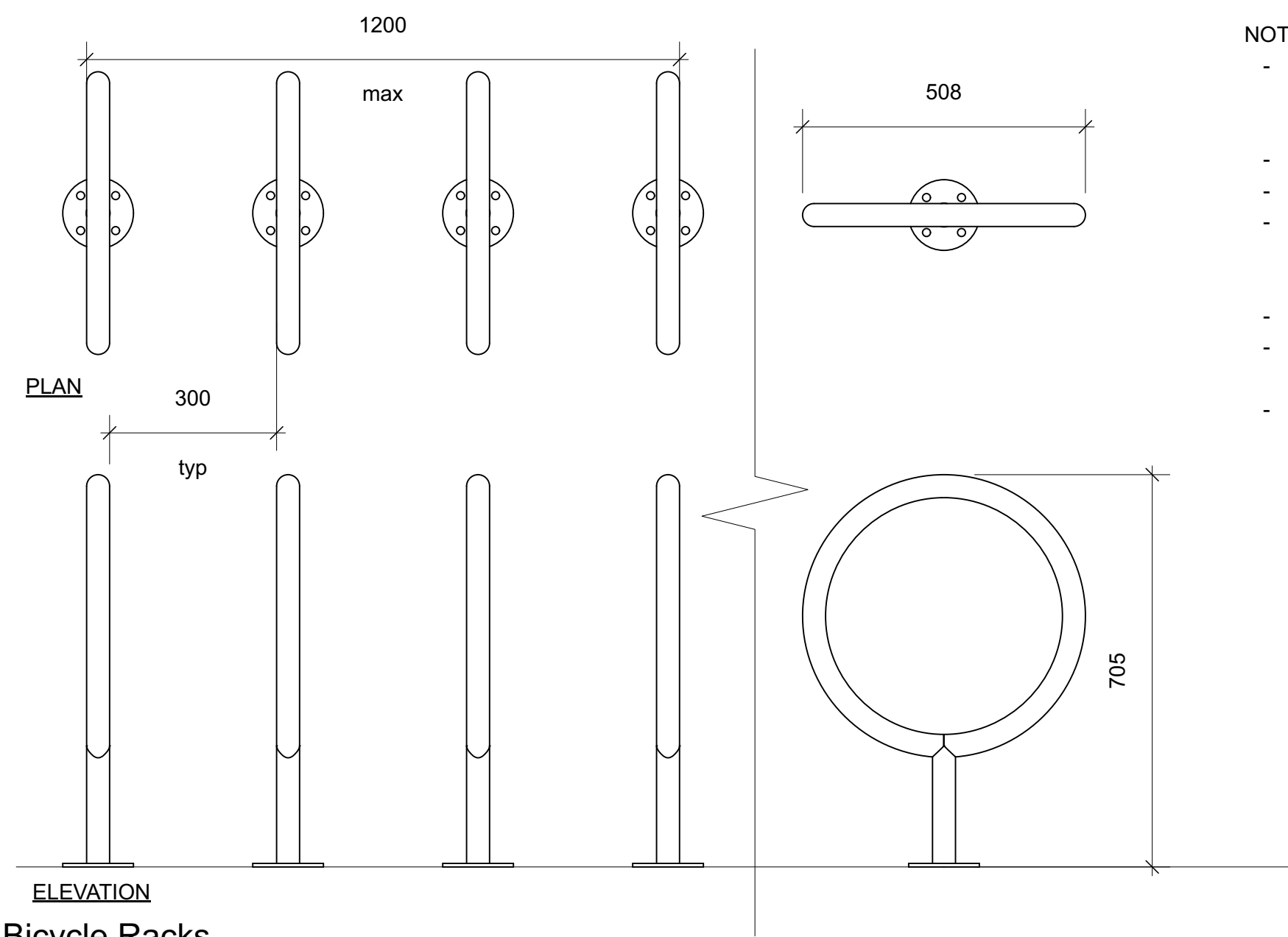
Date: 22/11/15

**L 2.1**



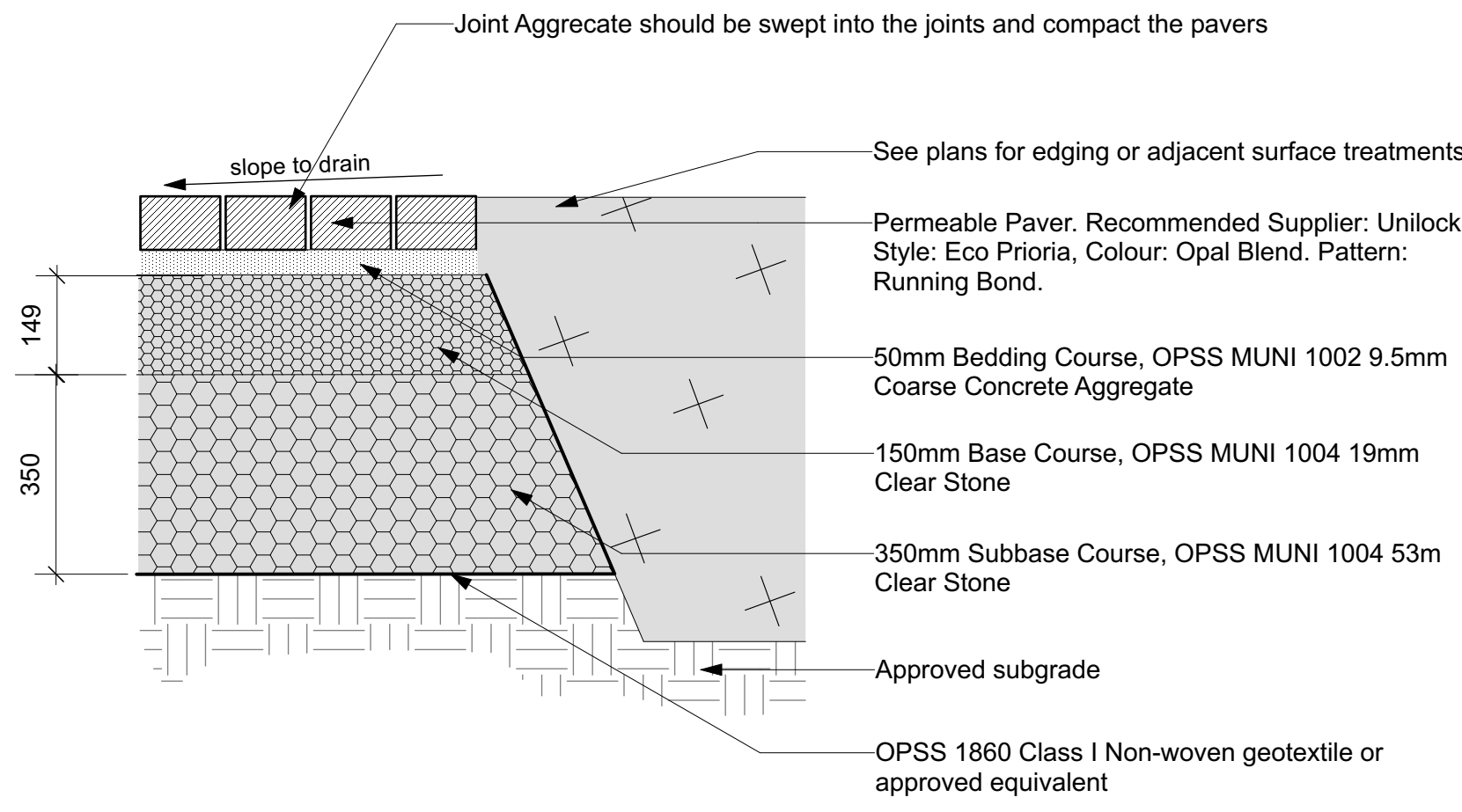
- NOTES**
- BENCH MODEL MBE-2300-00056 BY MAGLIN SITE FURNITURE INC. WWW.MAGLIN.COM T: 800-716-5506 OR APPROVED EQUAL
  - THERMALLY MODIFIED ASH WITH SIDE AND CENTRE ARMS
  - SPECIFY POWDERCOAT COLOUR AS GUNMETAL
  - SURFACE MOUNT ON HORIZONTALLY LEVEL CONCRETE PAD
  - INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS
  - 7/16" HOLES PROVIDED IN EACH FOOT FOR ANCHORING
  - APPROPRIATELY SIZED GALVANIZED ANCHOR BOLTS TO BE PROVIDED BY CONTRACTOR
  - DAMAGE TO FINISH TO BE TOUCHED UP BY CONTRACTOR TO THE APPROVAL OF THE CONTRACT ADMINISTRATOR

1 **Bench**  
Scale: 1:10



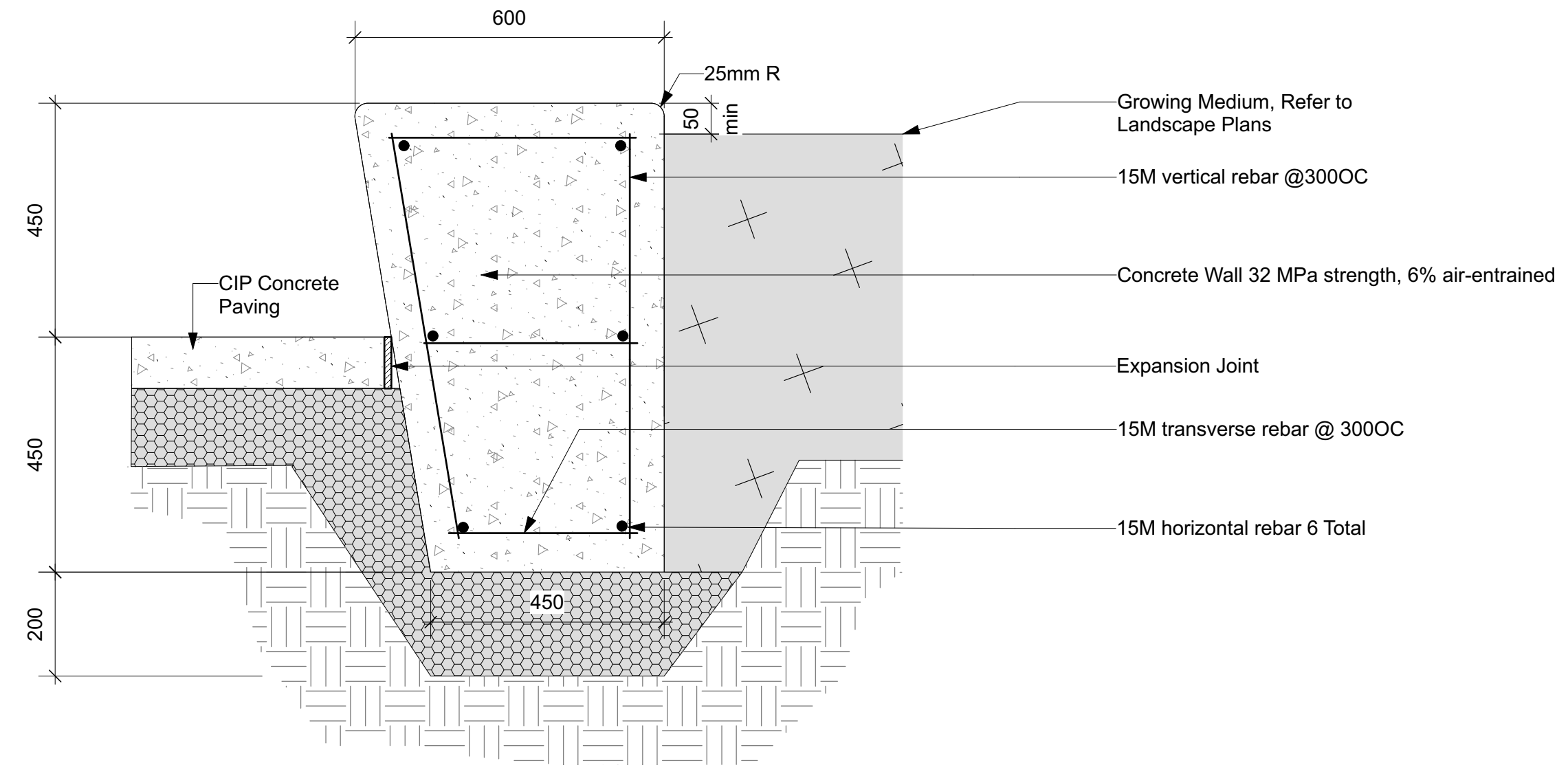
- NOTES**
- BIKE RACK MODEL MBR-0150-0000 BY MAGLIN SITE FURNITURE INC. WWW.MAGLIN.COM T: 800-716-5506 OR APPROVED EQUAL
  - SPECIFY POWDERCOAT COLOUR AS GUNMETAL
  - SURFACE MOUNT ON CONCRETE PAD
  - INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS
  - HOLES PROVIDED FOR ANCHORING
  - APPROPRIATELY SIZED GALVANIZED ANCHOR BOLTS TO BE PROVIDED BY CONTRACTOR
  - DAMAGE TO FINISH TO BE TOUCHED UP BY CONTRACTOR TO THE APPROVAL OF THE CONTRACT ADMINISTRATOR

2 **Bicycle Racks**  
Scale: 1:10



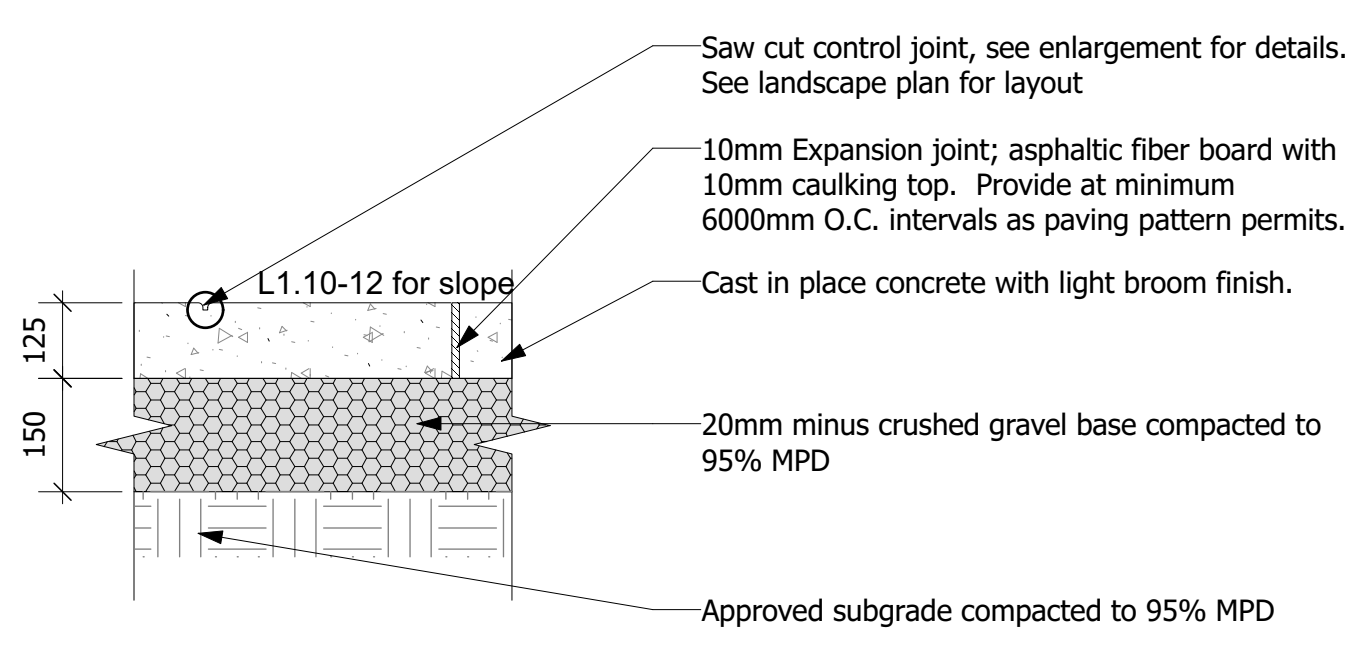
- Notes**
- The subgrade should be properly prepared, shaped, and graded toward positive drainages. The prepared subgrade should be carefully proof rolled in the presence of a geotechnical engineer, and any soft or wet spots or other obvious deleterious materials should be sub-excavated and properly replaced with OPSS MUNI 1010 Granular B Type I and compacted.
  - OPSS 1860 Class I Non-woven geotextile or approved equivalent should be used. geotextile should be placed not only between subbase course (53 mm Clear Stone) and subgrade but also be extended to cover permeable interlocking concrete pavement sides (subgrade excavation sides). A minimum of 0.6 m geotextile overlap is recommended.
  - Clear Stone base /subbase course should be vibrated to a dense state.
  - Joint aggregate (OPSS MUNI 1002 9.5 mm Coarse Concrete Aggregate) should be swept into the joints and compact the pavers.
  - Proper drainage should be designed by civil engineer.

3 **Permeable Unit Pavers**  
Scale: 1:10

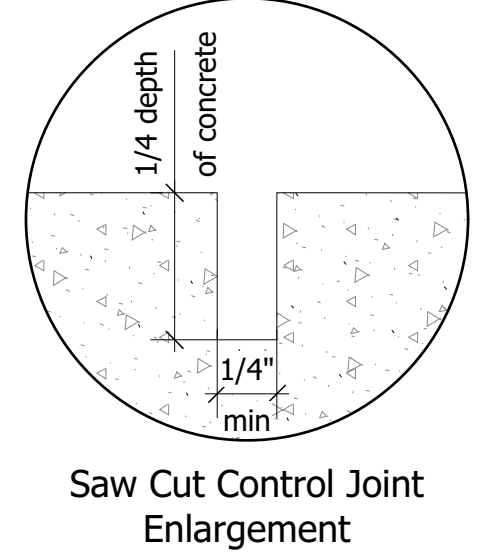


4 **CIP Rased Concrete Planter**  
Scale: 1:10

- GENERAL NOTES**
- Drawing is in metric scale. All dimensions are in millimeters. Do not scale drawings.
  - Plus/Minus (+/-) dimensions are for general verification purposes only and are NOT to be used to establish layout of any feature(s), ever.
  - The contractor shall verify all field dimensions onsite during the quotation period. No extras will be allowed for discrepancies between the drawings and the actual site conditions unless reported in writing during the quotation period.
  - It is the contractor's responsibility to locate and have staked the exact utility location with all companies involved before starting any work. Hand dig within two (2) meters of all electrical lines.
  - Keep the area outside the immediate construction zone clean, safe and usable by the public at all times. Contractor to coordinate all deliveries of materials to ensure minimal construction delays to the approval of the Landscape Architect and/or client's representative.
  - Obtain approval of layout from the Landscape Architect and/or client's representative prior to commencement.
  - All work to be guaranteed for a period of One (1) Year from the date of substantial performance.
  - Make good all damage resulting from work carried out under the contract, at no extra cost. This includes restoration of any/all construction access routes - to as new condition, to the satisfaction of the Landscape Architect and/or client's representative.
  - Landscape Architect is not responsible for the accuracy of survey, engineering or architectural drawings. Contractor to verify existing grading/topographic information prior to installing granular bases.
  - Construction must conform to all applicable codes and regulations of all authorities having jurisdiction.
  - Ensure positive drainage for finished surfaces leaving no pockets or low points for standing water.
  - All drawings, specifications and related documents are the copyright of the Landscape Architect noted on the drawings. Reproduction of any part is forbidden without the Landscape Architect's permission.
  - Wherever any material is specified by name and/or number thereof, such specifications shall be deemed to be used for the purpose of facilitating a description of the materials and establishing quality, and shall be deemed and construed to be followed by the words 'or approved equal'.
  - No substitutions will be permitted which have not been submitted for prior approval by the Landscape Architect or client's representative. All materials shall be new and without flaws or defects and shall be the best of their class and kind. Sufficient descriptive literature and/or samples must be submitted as 'Equal' substitutes.
  - These notes apply to all parts of this contract.



5 **CIP Concrete Paving**  
Scale: 1:10



Key Plan:

Legend:

No.	Description	Date	By
8			
7			
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1	Issued for SPA	22.12.09	TR



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**NOT FOR CONSTRUCTION**

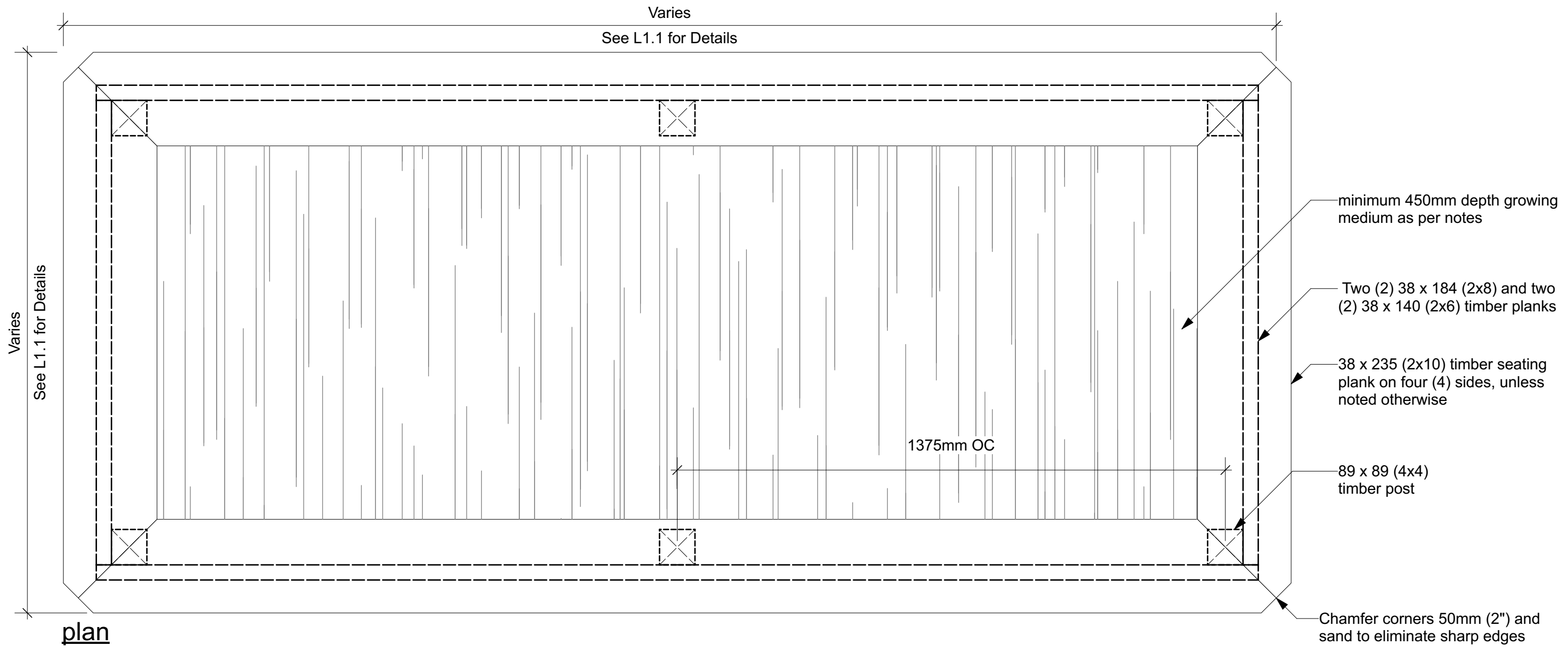
Client:  
**RH Gay Holdings Co.**

Project:  
**Proposed Mixed-Use Development  
1697 Durham Regional Hwy 2,  
Courtice, ON**

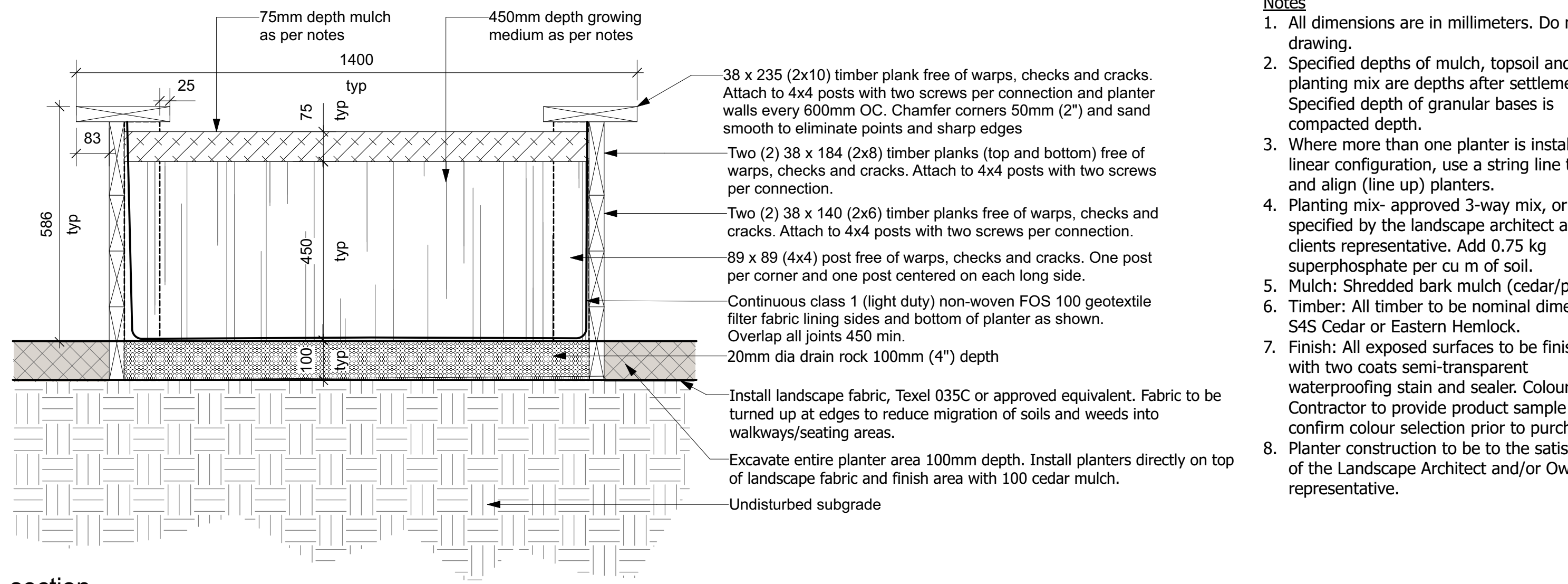
Drawing Title:  
**Landscape Details  
Preservation Plan**

Designed By: TR	Project #: 22.49
Drawn By: TR	Drawing #: <b>L 2.2</b>
Approved By: TR	
Date: 22/11/15	

approved  
equally



plan



section

1 Raised Garden Beds  
Scale: 1:10

- Notes**
- All dimensions are in millimeters. Do not scale drawing.
  - Specified depths of mulch, topsoil and planting mix are depths after settlement. Specified depth of granular bases is compacted depth.
  - Where more than one planter is installed in a linear configuration, use a string line to layout and align (line up) planters.
  - Planting mix- approved 3-way mix, or as specified by the landscape architect and/or clients representative. Add 0.75 kg superphosphate per cu m of soil.
  - Mulch: Shredded bark mulch (cedar/pine)
  - Timber: All timber to be nominal dimension S4S Cedar or Eastern Hemlock.
  - Finish: All exposed surfaces to be finished with two coats semi-transparent waterproofing stain and sealer. Colour: Cedar. Contractor to provide product sample and confirm colour selection prior to purchase.
  - Planter construction to be to the satisfaction of the Landscape Architect and/or Owners representative.

Revised 03/03/08

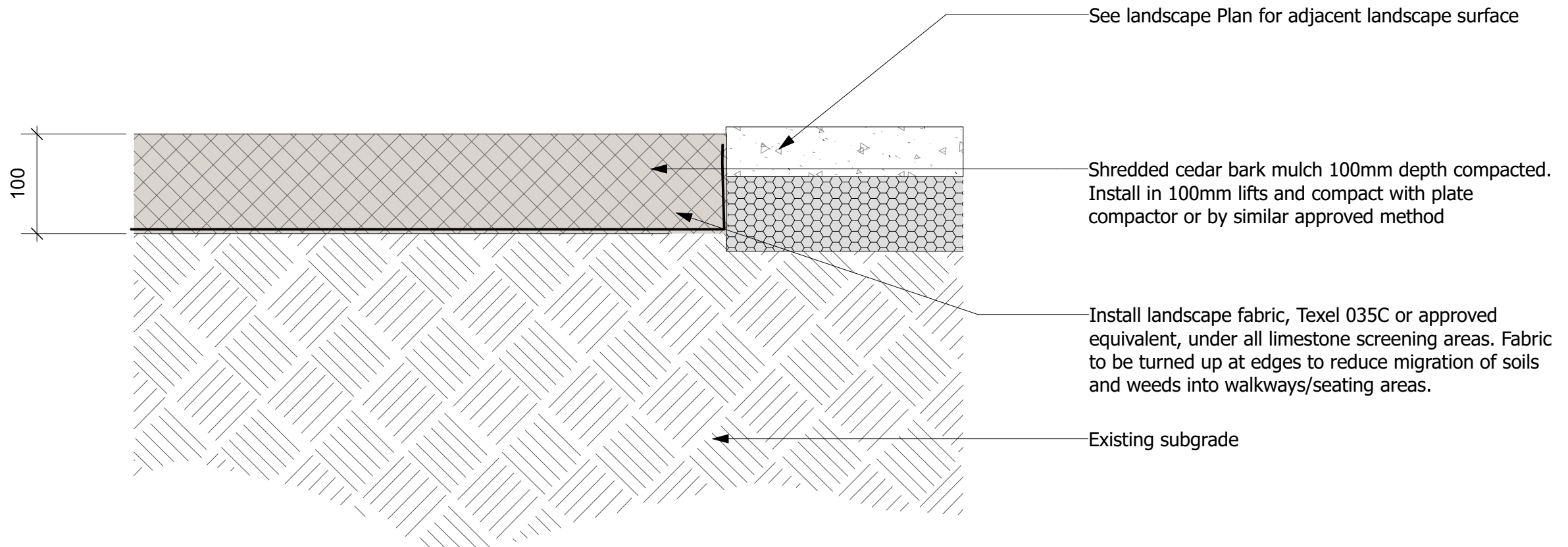
**GREEN POD 4x4**  
PANELIZED GARDEN BUILDING  
INSTRUCTIONAL MANUAL

Cedarshed Industries (1992) Inc.  
9770 - 159A Street  
Langley, B.C. V1M 2X7  
Canada

WWW.CEDARSHED.COM email: sales@cedarshed.com TOLL FREE: 1-800-830-8033



5 4x4' Green Pod Eco-Shed  
Scale: N.T.S.



3 Shredded Cedar Mulch  
Scale: 1:10

Key Plan:

Legend:

No.	Description	Date	By
8			
7			
6			
5			
4	Issued for Conditional SPA	24.03.26	TR
3	Issued for Revised SPA	24.01.26	TR
2	Issued for Revised SPA	23.10.31	TR
1	Issued for SPA	22.12.09	TR

Issue / Revision Schedule



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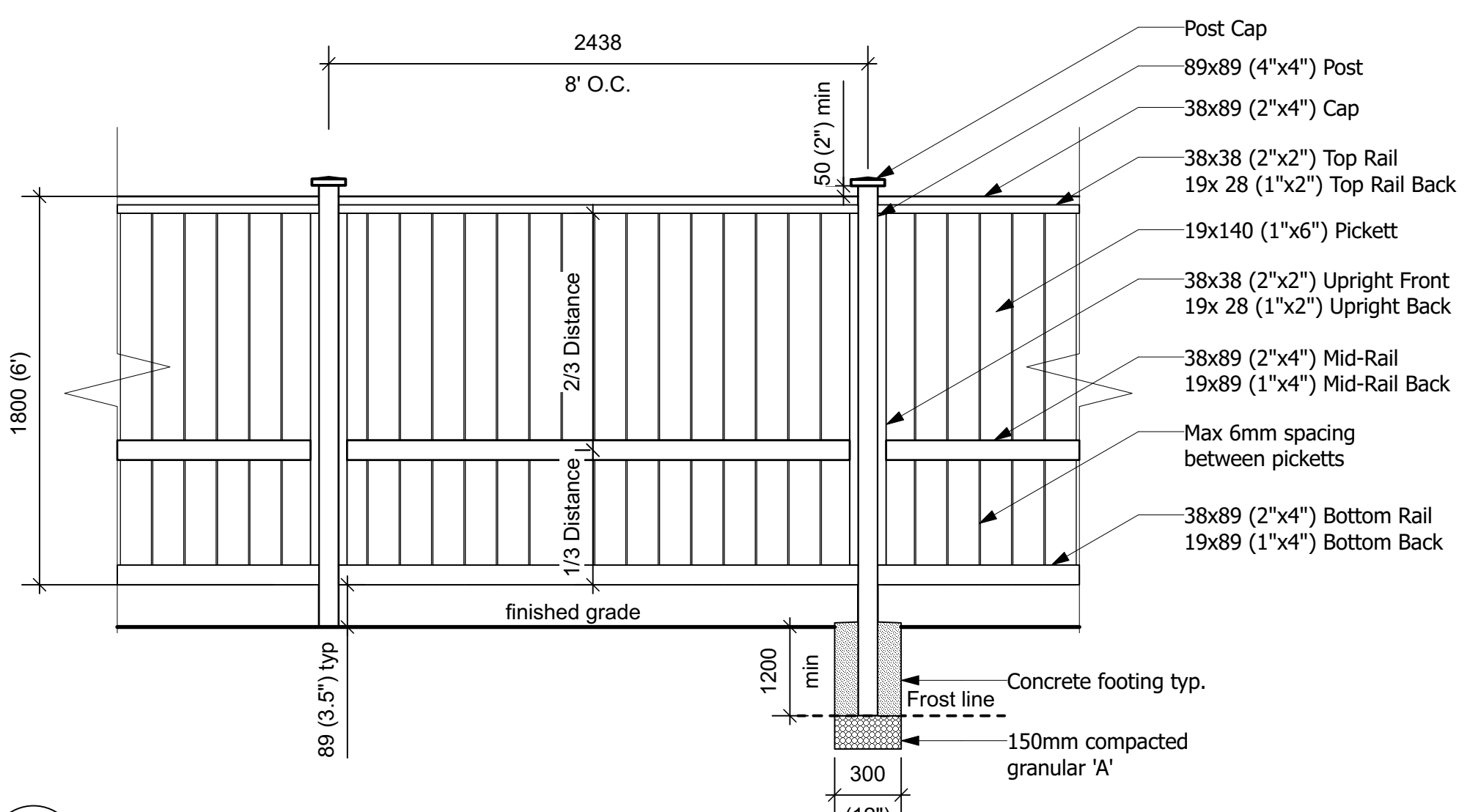
**NOT FOR CONSTRUCTION**

Client:  
**RH Gay Holdings Co.**

Project:  
**Proposed Mixed-Use Development**  
1697 Durham Regional Hwy 2,  
Courtice, ON

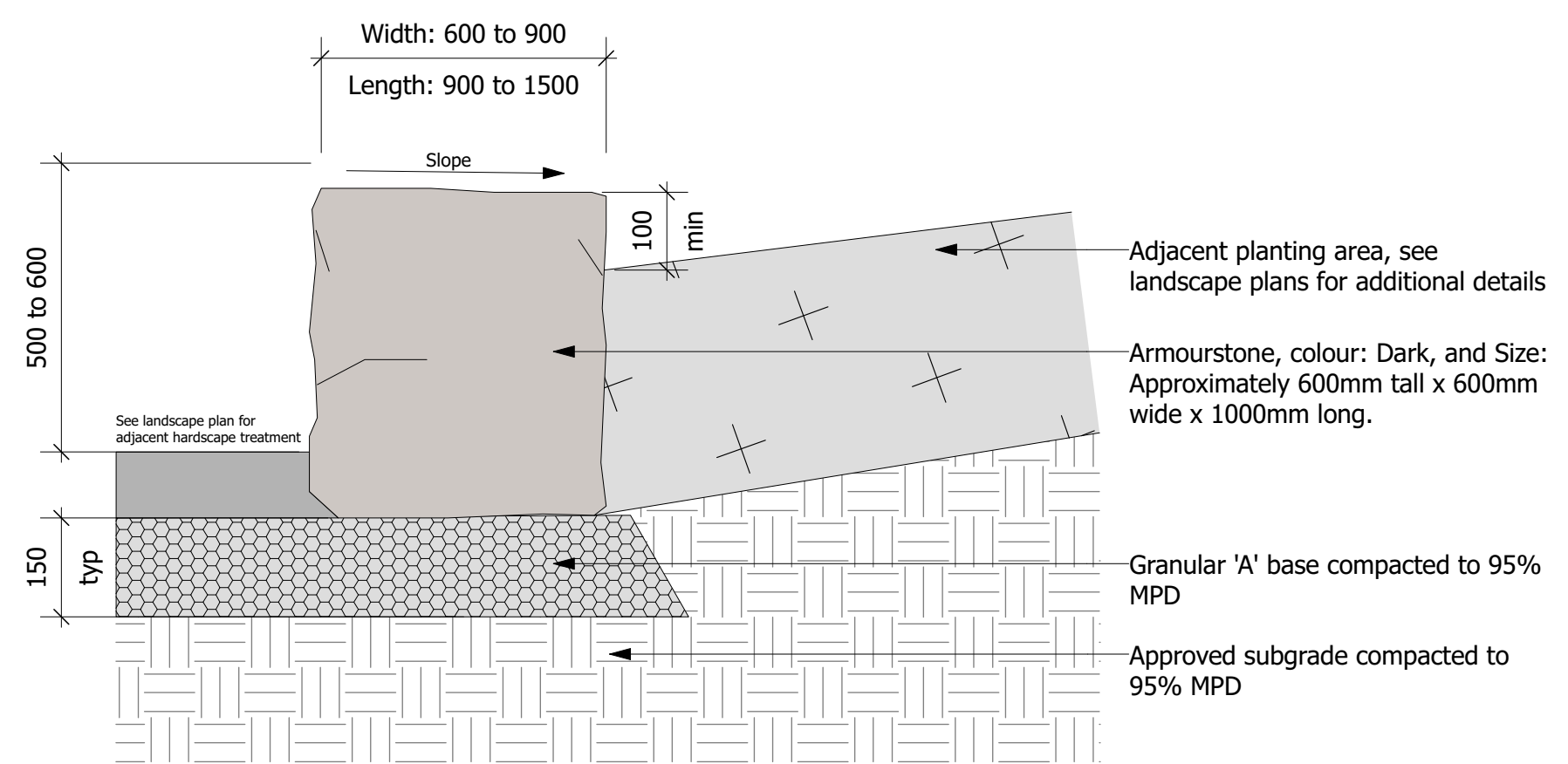
Drawing Title:  
**Landscape Details Preservation Plan**

Designed By: TR	Project #: 22.49
Drawn By: TR	Drawing #:
Approved By: TR	<b>L 2.3</b>
Date: 22/11/15	



2 1.8m Wooden Privacy Fence Detail  
Scale: 1:25

- General Notes**
- All fasteners to be galvanized.
  - All lumber to be pressure treated, nominal dimensions.
  - Step fence panels as required on moderate slopes of 5% or less.
  - Ensure a minimum 50mm (2") and maximum 150mm (6") space below bottom rail and slope.
  - All fence picketts to have rough side facing inward.
  - All fence panels to be 6' in height
  - All structural fence rails to be on the rear side of fence picketts

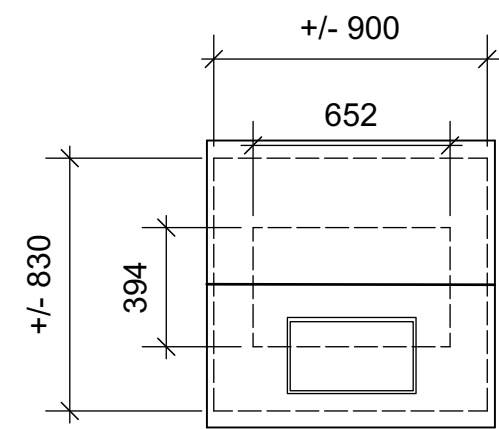


4 Armour Stone  
Scale: 1:10

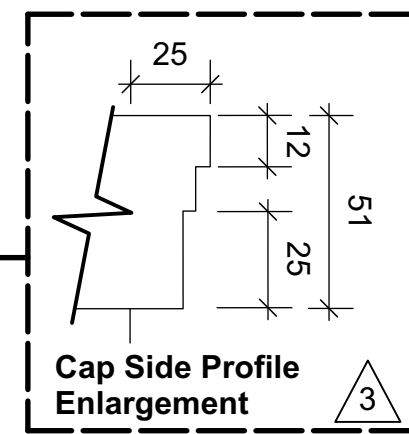
- Armour Stone Installation Notes**
- All dimensions are in millimeters. Do not scale drawing;
  - Specified depths of mulch and topsoil are depths after settlement. Specified depth of granular base is compacted depth;
  - Install all armour stone with a minimum 50mm below finished grade of adjacent surface;
  - Ensure that all armour stone are stable and free from all movement after installation is complete;
  - Gaps between adjacent armour stones are to be minimized to the greatest extent possible. Gaps are to be less than 50mm.
  - Gaps greater than 50mm shall be parged with a concrete mix or filled by alternative method to the satisfaction of the Landscape Architect. Contractor to approve method of filling prior to completing;
  - Ensure that all armour stone are installed with a maximum 2% slope;
  - Ensure all armour stone seating surfaces are level with adjacent armour stone; and
  - Installation of armour stone to be to the satisfaction of the Design Consultant and/or clients representative.

**General Notes**

- All dimensions are in millimeters. Do not scale drawing.
- Sealants to be 'Hydrozzo Concrete Repellency Agent' (Penetrating Stain Sealant); and 'Hydrozzo Enviroseal 7' Masonry Repellency Agent.
- Ties to be hot-dipped galvanized horizontal reinforcement, BL-42 adjustable veneer tabs as supplied by Simcoe Block.
- Plaque to include QR code linked to website, description of site history, homeowners and builder of original home. Final details and design to be provided by owner
- Brickwork to match images and style of original home (see right).
- Cairn construction to be to the satisfaction of the Landscape Architect and/or Owners representative.



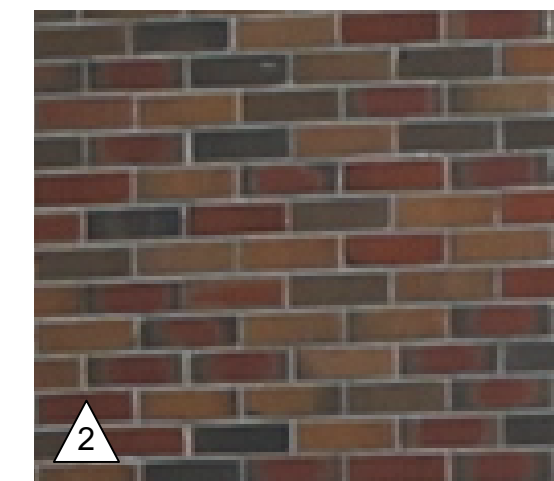
PLAN VIEW



Cap Side Profile Enlargement



Unique brickwork transition to overhang.



Original brick to be reused.

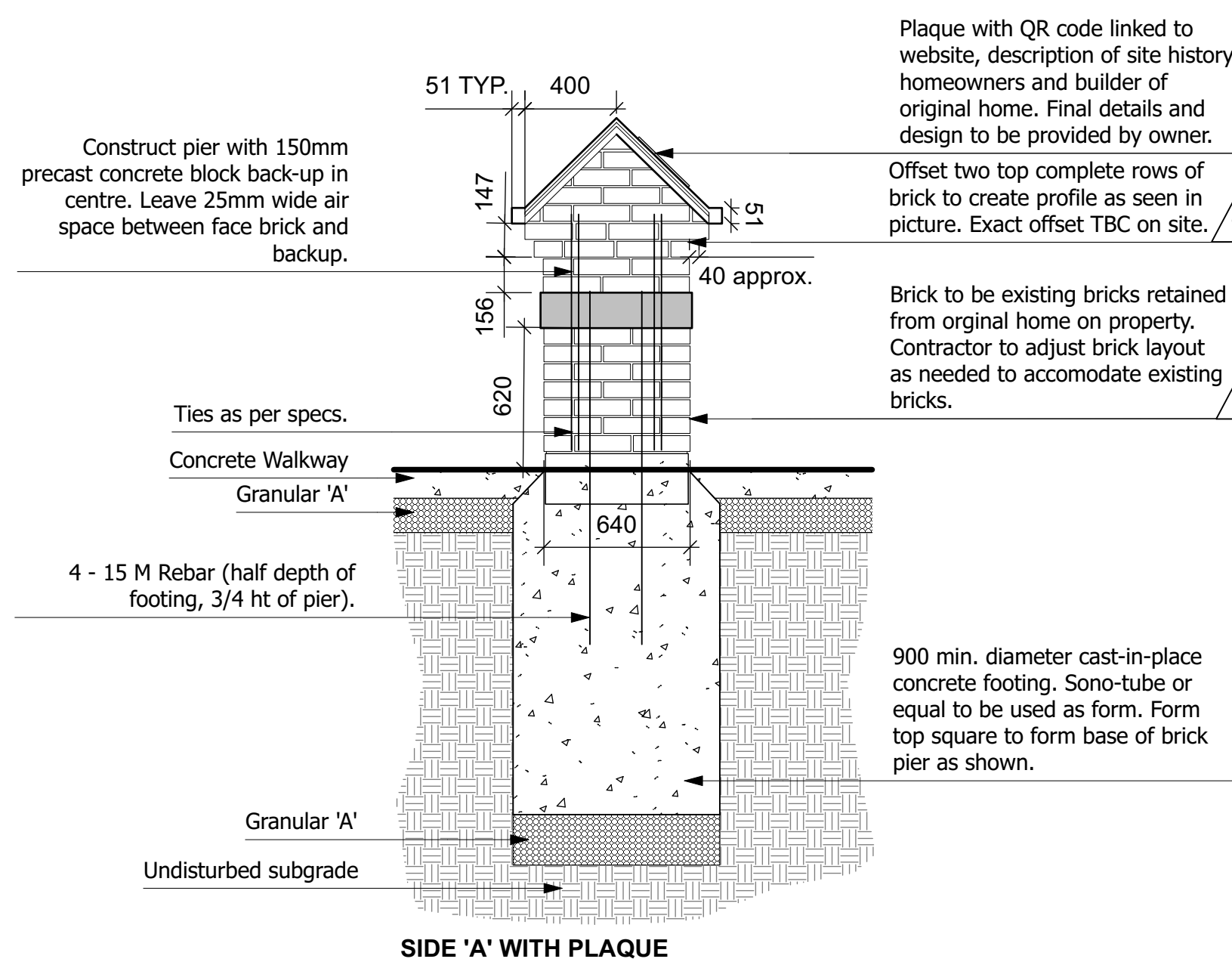


Concrete overhang profile to match overhang of original home.

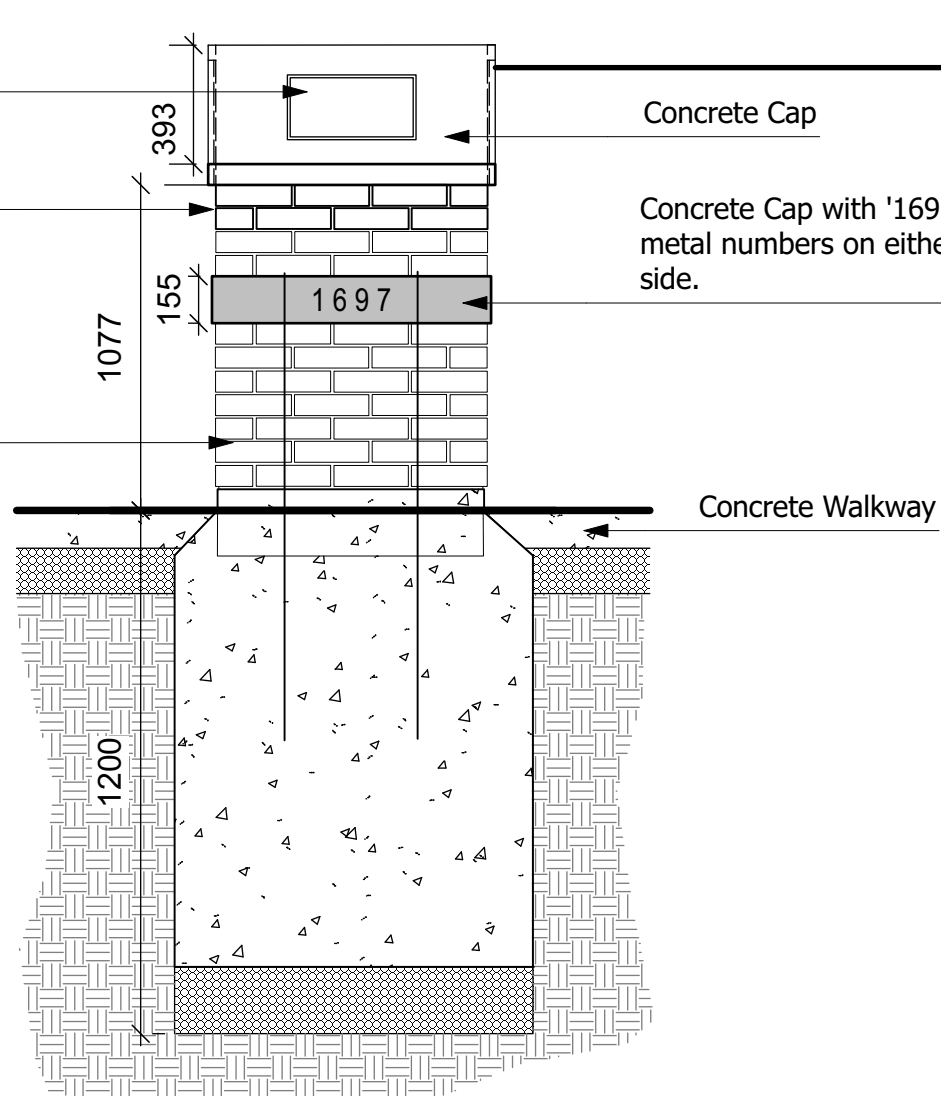
Images depicting Original Home. Images courtesy of Gay Company Ltd., 2024.



Original Home



SIDE 'A' WITH PLAQUE



BACK WITH NUMBERS

1 Heritage Cairn  
Scale: 1:25  
Refer to L.1.1 for location.

Key Plan:

Legend:

No.	Description	Date	By
8			
7			
6			
5			
4	Issued for Conditional SPA	24.03.26	TR
3	Issued for Revised SPA	24.01.26	TR
2	Issued for Revised SPA	23.10.31	TR
1	Issued for SPA	22.12.09	TR



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Client:

RH Gay Holdings Co.

Project:

Proposed Mixed-Use Development  
1697 Durham Regional Hwy 2,  
Courtice, ON

Drawing Title:

Landscape Details  
Preservation Plan

Designed By: TR

Project #: 22.49

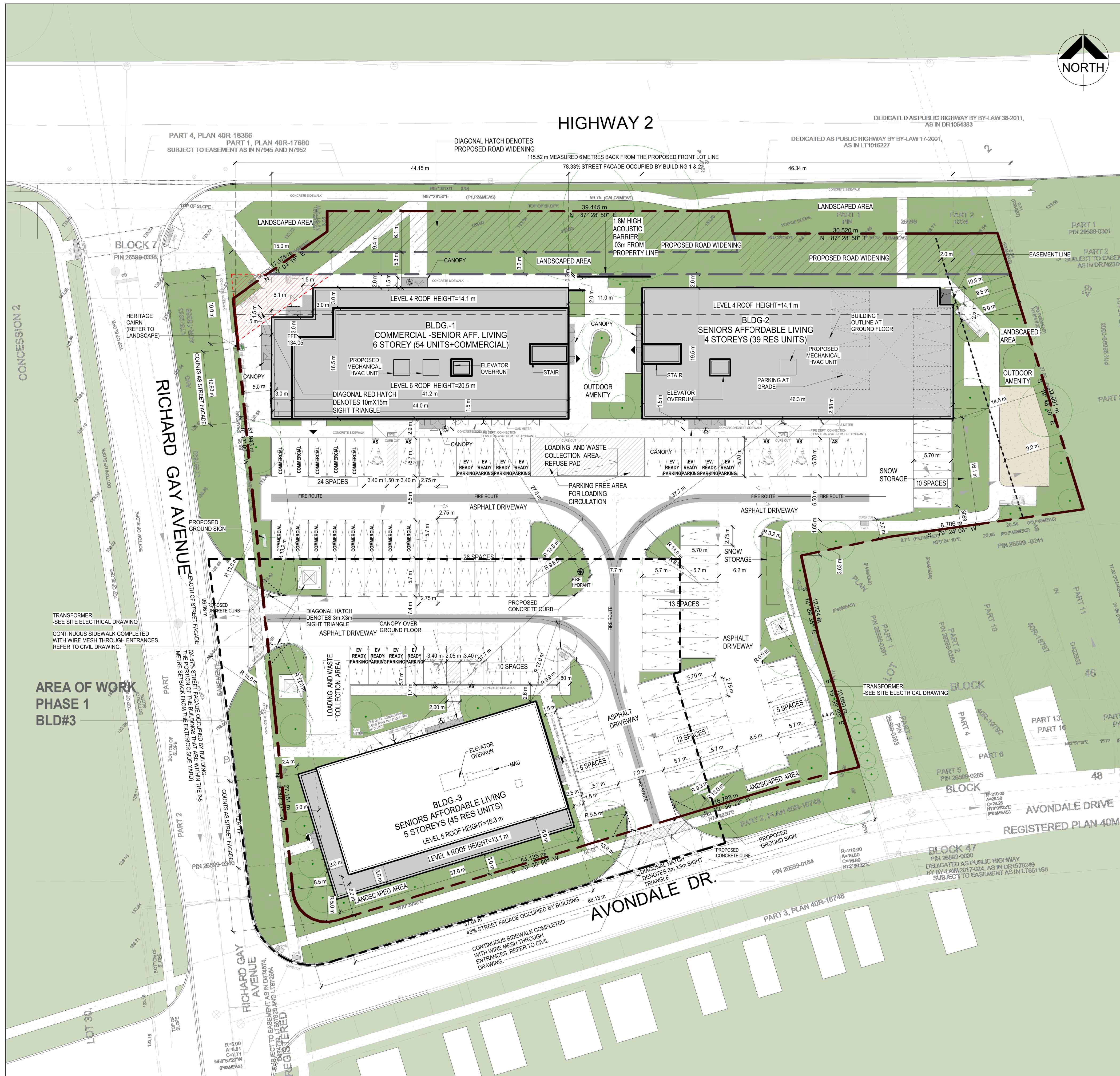
Drawn By: TR

Drawing #:

Approved By: TR

Date: 22/11/15

**L 2.4**



**SITE STATISTICS**

**LEGAL DESCRIPTION:**

PART OF LOTS 29 AND 30  
CONCESSION 2  
MUNICIPALITY OF CLARINGTON, REGIONAL MUNICIPALITY OF DURHAM

**ZONING & SITE:**

ZONING:	R
PROPOSED ZONING:	TBD
LOT AREA:	9349.42 m <sup>2</sup>
ROAD WIDENING AREA:	839.52 m <sup>2</sup>
NET SITE AREA:	8509.9 m <sup>2</sup>
LOT FRONTAGE:	69.965 (North) 89.09 (West)
BUILDING AREA TOTAL:	1788 m <sup>2</sup>
BUILDING COVERAGE:	20.8%
PAVED AREA:	3891 m <sup>2</sup>
PAVED AREA COVERAGE:	45.89%
LANDSCAPE AREA (SOFT-HARD):	2167 m <sup>2</sup> = 25.48%

BLDG#	BLDG AREA	BLDG HEIGHT
BLDG-1	834 m <sup>2</sup>	20.5m
BLDG-2	896 m <sup>2</sup>	14.1m
BLDG-3	721 m <sup>2</sup>	16.3m

**BUILDING SETBACKS (SEE DRAWING)**  
 NORTH (FRONT) FROM BLDG 1 & 2: 11.4 m (2.0 m + 9.4 M Road Widening)  
 EAST (SIDE) FROM BLDG 2: 9.5.0M  
 SOUTH (REAR) FROM BLDG 3: 3.0 m  
 WEST (SIDE) FROM BLDG 3: 2.4 m

**LENGTH OF THE STREET FACADE BY BUILDINGS:**  
 -ALONG HWY 2 = 78.33% (SEE 1/A102)  
 -ALONG RICHARD GAY AVE = 24.67% (SEE 1/A102)  
 -ALONG AVONDALE DR = 48% (SEE 1/A102)

**AVERAGE AMOUNT OF TRANSPARENT GLAZING WITHIN THE BUSINESS ESTABLISHMENT STREET FACADE: 60.35%**

**GROSS FLOOR AREA - BUILDING#3**

GROUND FLOOR (RESIDENTIAL)	721 m <sup>2</sup>
2nd FLOOR (RESIDENTIAL)	721 m <sup>2</sup>
3rd FLOOR (RESIDENTIAL)	721 m <sup>2</sup>
4th FLOOR (RESIDENTIAL)	721 m <sup>2</sup>
5th FLOOR (RESIDENTIAL)	649 m <sup>2</sup>
<b>TOTAL</b>	<b>3613 m<sup>2</sup></b>

**SUITE MIX - BUILDING#3**

1 BED UNIT	30
2 BED UNIT	15
<b>TOTAL</b>	<b>45</b>
BARRIER FREE (REQUIRED) 15%	7
BARRIER FREE (PROVIDED)	8
	(4-1 BEDS 4-2 BEDS)

**PARKING**

REQUIRED CAR PARKING: 110 SPACES (SEE CALCULATIONS BELOW)  
 PROVIDED CAR PARKING: 110 SPACES (104 + 6 BARRIER FREE SPACES)

LOADING SPACES REQUIRED: 3 SPACES  
 EV READY CAR PARKING: 12 SPACES  
 INDOOR BICYCLE PARKING: 35 SPACES (@25 PER UNIT)  
 OUTDOOR BICYCLE PARKING: 10 SPACES

**CAR PARKING CALCULATIONS**

BLDF#1  
 COMMERCIAL (1SP40m<sup>2</sup>) = 485/40 = 13 spaces  
 RESIDENTIAL (64 UNITS) = 38 spaces  
 TOTAL = 51

BLDF#2 AFFORDABLE SENIORS  
 RESIDENTIAL (39 UNITS) = 27 spaces  
 TOTAL = 27

BLDF#3 AFFORDABLE SENIORS  
 RESIDENTIAL (45 UNITS) = 32 spaces  
 TOTAL = 32

**TOTAL RES. PARKING FOR 138 UNITS @0.7 RATE= 97 spaces**

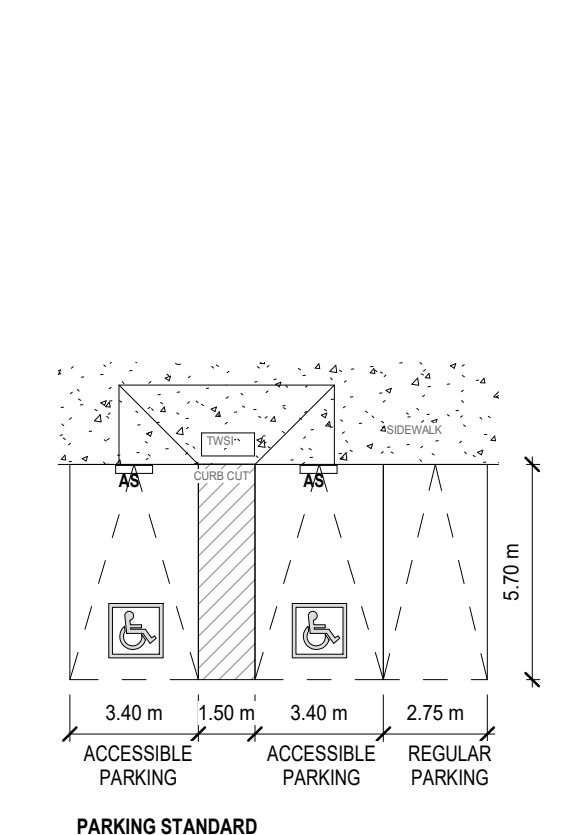
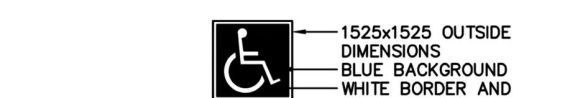
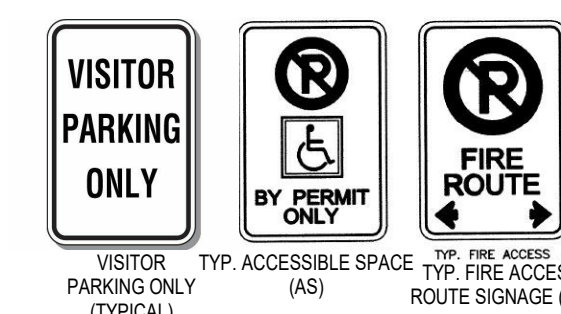
**INDOOR:**

REQUIRED = 276m<sup>2</sup> (2.0m<sup>2</sup>/UNIT) PROVIDED: 292.57 m<sup>2</sup> (GROSS) 277 m<sup>2</sup> (NET)  
**OUTDOOR:** REQUIRED = 552m<sup>2</sup> (4.0m<sup>2</sup>/UNIT) PROVIDED: 678.97 m<sup>2</sup>

**LEGEND**

- CONCRETE / STAMPED CONCRETE
- LANDSCAPED AREA
- ASPHALT
- PROPOSED BUILDING
- PARKING - PAINT LINES TYP. HATCH WHITE
- TREE PLANTING - SEE LANDSCAPE PLANS
- PROPOSED FIRE EXITS
- PROPOSED ENTRANCE
- PROPERTY LINE
- BARRIER FREE ENTRANCE
- VISITOR PARKING
- BARRIER FREE PARKING
- TACTILE WARNING SURF. INDICATOR
- SITE LIGHTING - SEE ELECTRICAL SITEPLAN

**TRAFFIC SIGNS**



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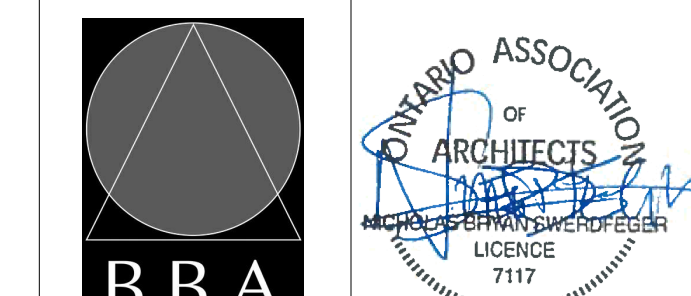
NO.	ISSUES	DATE	BY
1	Pre-Consultation	Apr 14 2022	AA
2	Rev Pre consultation	Jun 22 2022	AA
3	SPA	Dec 09 2022	AA
4	SPA-R1	Nov 03 2023	AA
5	SPA-R2	Jan 26 2024	AA
6	ISSUED FOR PERMIT	Apr 30 2024	RG

NO.	REVISIONS	DATE	BY

**PROJECT:**  
**Mixed-Use Building Development (BLDG.#3) PHASE 1**

1697 Durham Regional Hwy 2, Courtice, ON L1E 2R5  
 RH Gay Holdings Co.

**DRAWING:**  
**SITE PLAN**



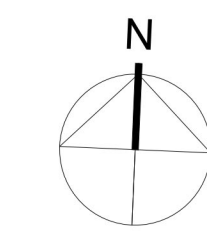
**BARRY BRYAN ASSOCIATES**  
 Architects  
 Engineers  
 Project Managers

201-250 Water Street  
 Whitby Ontario L1N 0G8  
 Tel: (905) 686-0262  
 Fax: (905) 666-5256  
 e-mail: bba@bba-arch.com

DESIGN BY: AA  
 DRAWN BY: AA/JP  
 CHECKED BY: AA/NS  
 DATE: 2023-11-03  
 SCALE: As Indicated  
 FILE: Drawings - Current - CECC.RVT

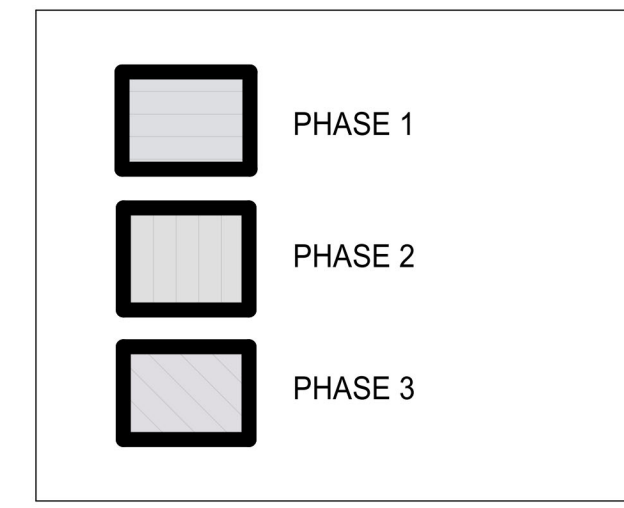
PROJECT NO: **21046**  
 DRAWING NO: **A101**





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NO.	ISSUES	DATE	BY
1	SPA	Dec 09 2022	AA
2	SPA.R1	Nov 03 2023	AA
3	SPA.R2	Jan 26 2024	AA
4	ISSUED FOR PERMIT	Apr 30 2024	RG

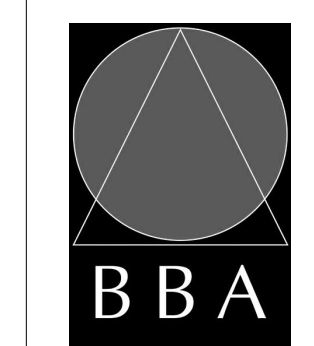


NO.	REVISIONS	DATE	BY

PROJECT:  
**Mixed-Use Building  
Development (BLDG.#3)  
PHASE1**

1697 Durham Regional Hwy 2, Courtice,  
ON L1E 2R5  
RH Gay Holdings Co.

DRAWING:  
**PHASING PLAN**



**BARRY BRYAN  
ASSOCIATES**

Architects  
Engineers  
Project Managers

201-250 Water Street  
Whitby Ontario L1N 0G8  
Tel: (905) 666-5252  
Fax: (905) 666-5256  
e-mail: bba@bba-arch.com

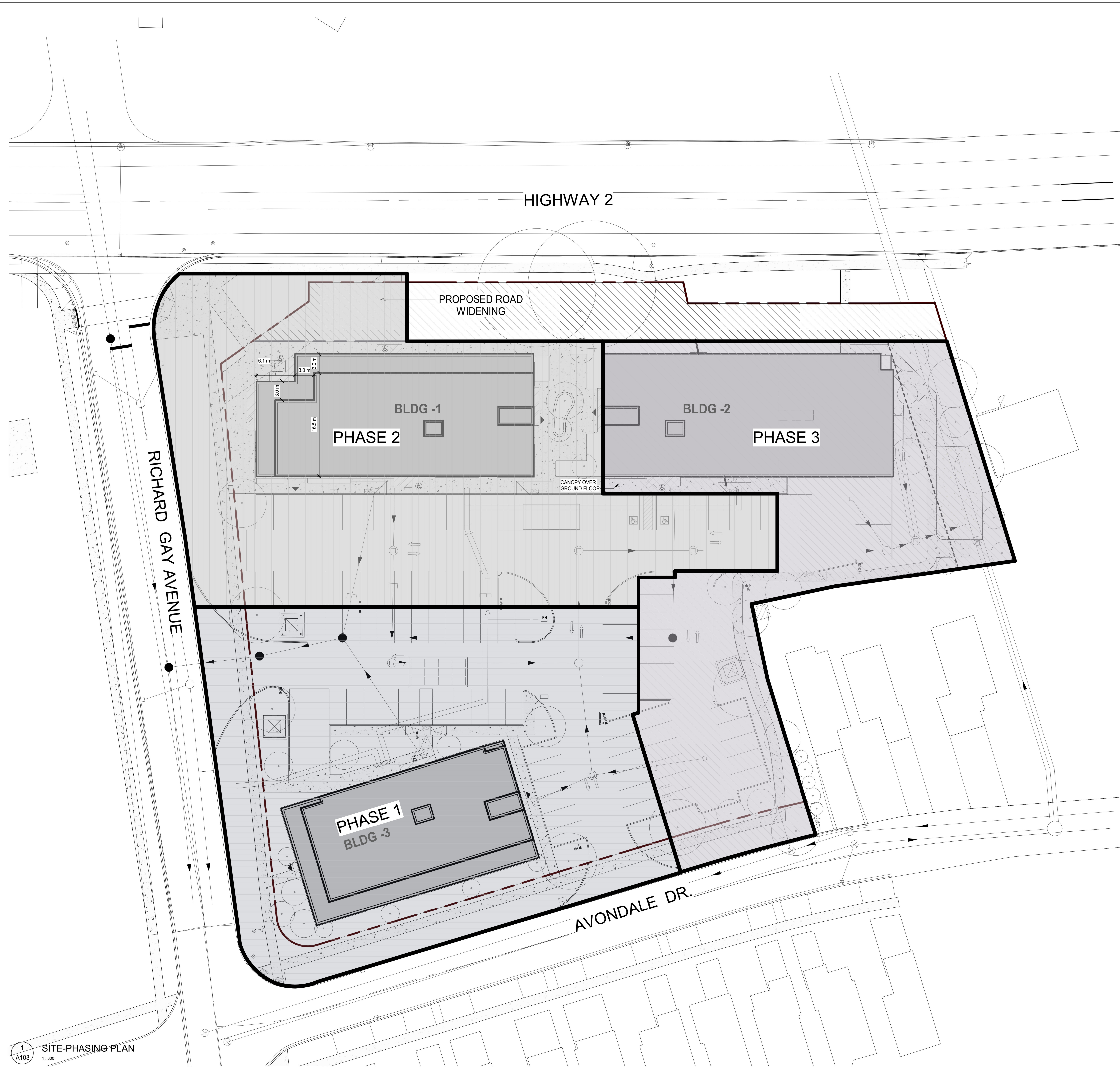


DESIGN BY: AA  
DRAWN BY: AA/JP  
CHECKED BY: AA/NS

DATE: 2023-11-03  
SCALE:

FILE:  
Drawings - Current - CECC.RVT

PROJECT NO: **21046**  
DRAWING NO: **A102**



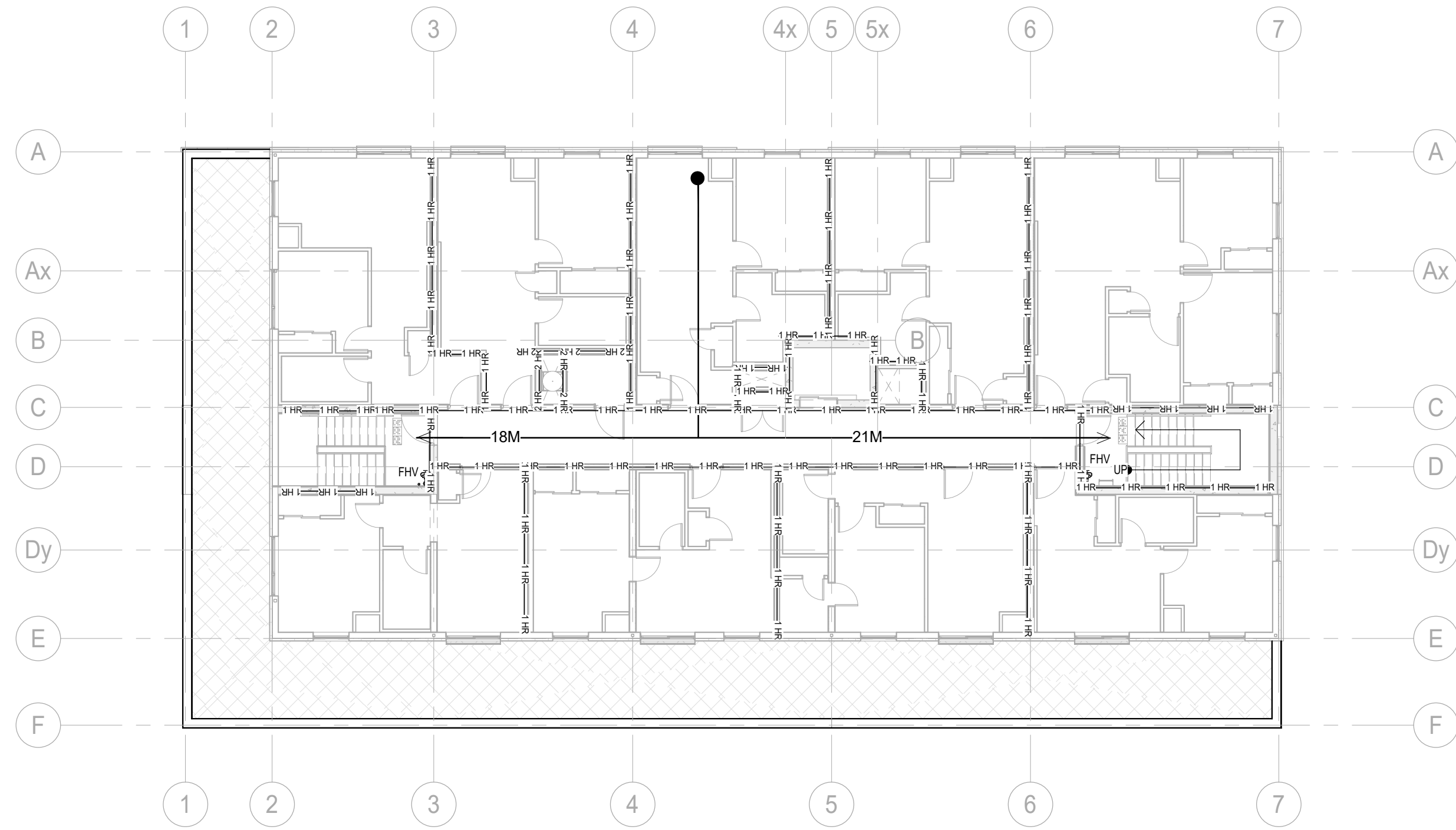
PHASING NOTES:

- Walking Trail to be part of Phase 3 final landscape amenities as well as common exterior landscape amenities for the development.
- All service connections as per civil drawings, and pending regional phasing with respect to phase 3 of the project and main servicing

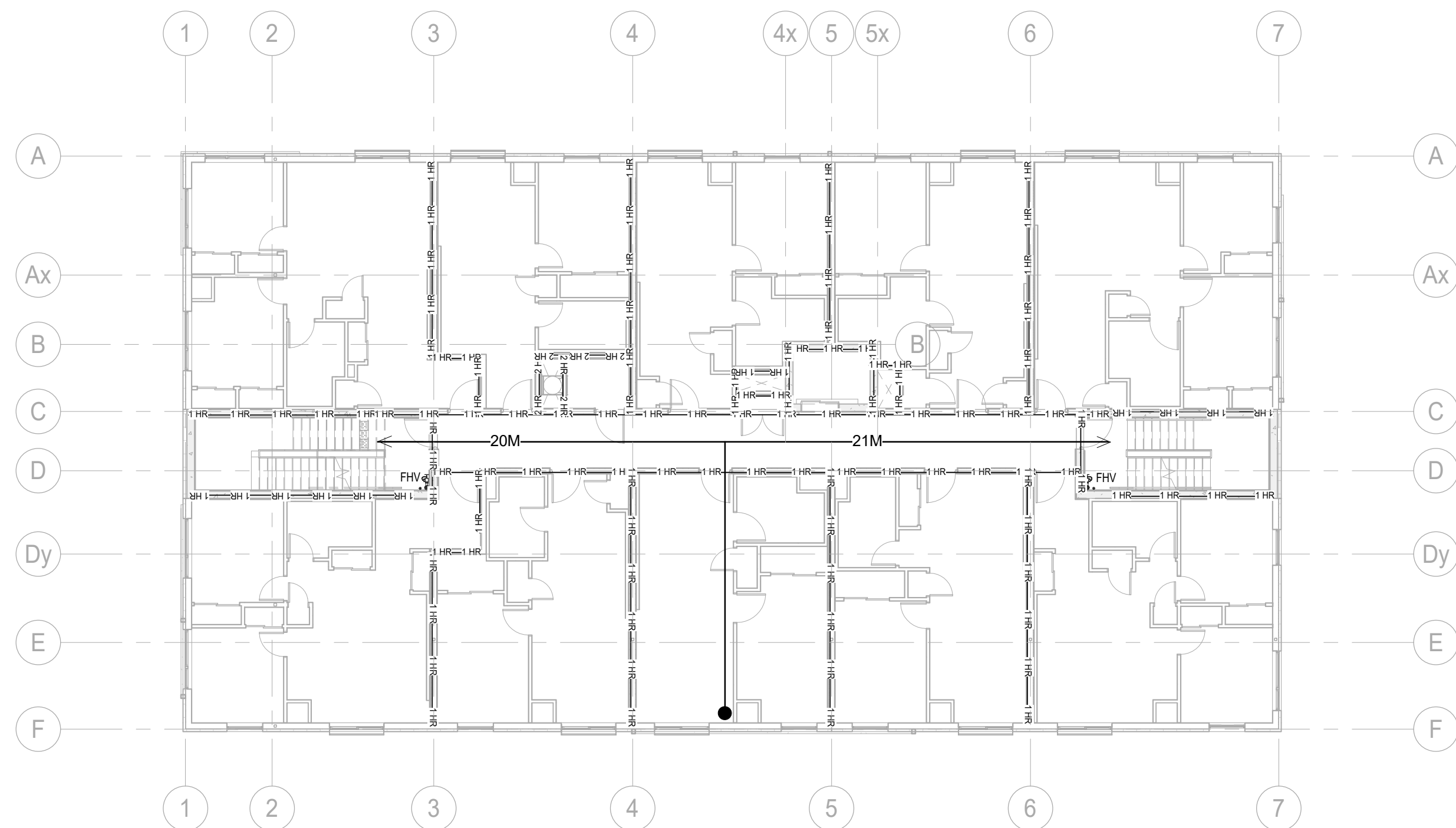
EXIT WIDTH CALCULATIONS	FIRE SEPARATION LEGEND	CLOSURES RATING	NOTES LEGEND	NOTES :
AGGREGATE WIDTH OF STAIRS: 1100+1100 = 2200mm EXIT CAPACITY = 220/8 = 27.5 persons  AGGREGATE WIDTH OF EXIT DOORS: 1930mm + 965mm + 965mm = 2895mm EXIT CAPACITY = 2895/8 = 361.875 persons  TOTAL NUMBER OF OCCUPANTS FOR THE BUILDING = 120 Persons (Also see code matrix section 3.19) MAX OCCUPANTS ON FLOORS ABOVE LEVEL 1 = 104 persons STAIR AND DOORWAY WIDTHS ARE ADEQUATE.	0 HR FIRE SEPARATION 1.0 HOUR FIRE SEPARATION 2.0 HOUR FIRE SEPARATION	0 HOUR F.R.R. 3/4 HOUR F.R.R. 1.5 HOUR F.R.R.	45M TRAVEL DISTANCE / ROUTE FIRE HOSE REACH FIRE HOSE VALVE IN CABINET OR FIRE EXTINGUISHER (SEE ALSO SPRINKLER DRAWINGS) FIRE HOSE VALVE & STANDPIPE (SEE ALSO SPRINKLER DRAWINGS)	1. REFER TO PARTITION TYPE SCHEDULE AND PLANS FOR DESCRIPTION OF PARTITIONS TO BE USED. 2. ALL RATED WALLS/PARTITIONS TO BE FULL HEIGHT TO UNDERSIDE OF FLOOR / ROOF DECK FOR CONTINUOUS FIRE STOPPING / SMOKE SEAL INCLUDING INFILL OF DECK FLUTES WHERE APPLICABLE. PROVIDE SHAFTWALL INFILL (OFFSET) AT TOPS OF ALL RATED PARTITIONS DESIGNED BY THE FIRESTOPPING SUPPLIER TO MEET CODE REQUIREMENTS AND TO SUIT THE APPLICATION, AND SHALL HAVE A FIRE RESISTANCE RATING EQUIVALENT TO THE RATING INDICATED FOR THE ASSEMBLY WHERE WALLS/PARTITIONS ABUT / ALIGN TO UNDERSIDE OF STRUCTURE (BEAMS OR JOISTS). 3. ALL PENETRATIONS THROUGH RATED ASSEMBLIES TO BE FIRE STOPPED / SMOKE SEALED. FIRESTOPPING SHALL BE DESIGNED BY THE FIRESTOPPING SUPPLIER TO MEET CODE REQUIREMENTS AND TO SUIT THE APPLICATION AND SHALL HAVE A FIRE RESISTANCE RATING EQUIVALENT TO THE RATING INDICATED FOR THE ASSEMBLY.

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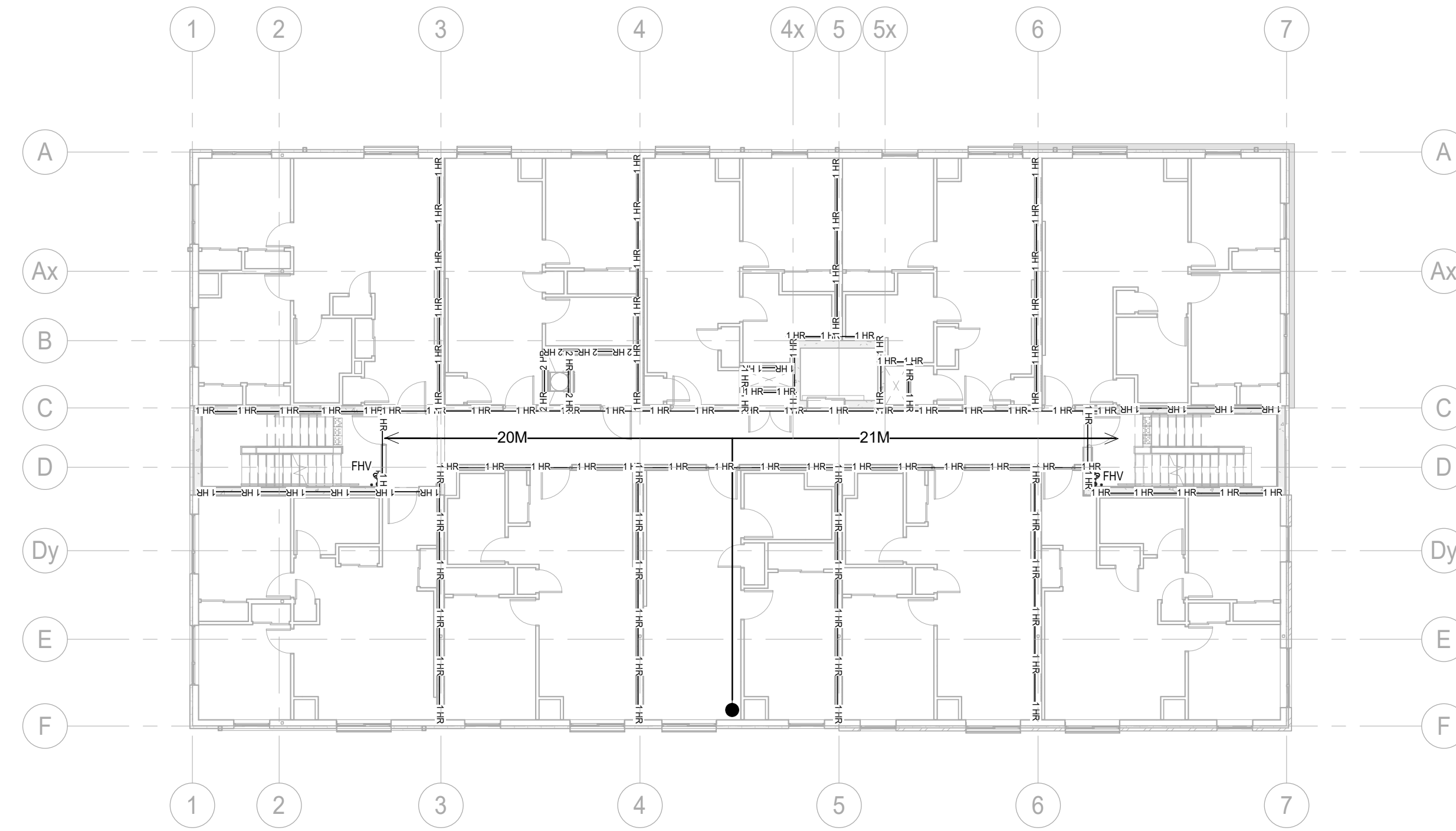
NO.	ISSUES	DATE	BY
1	ISSUED FOR PERMIT	Apr 30 2024	RG



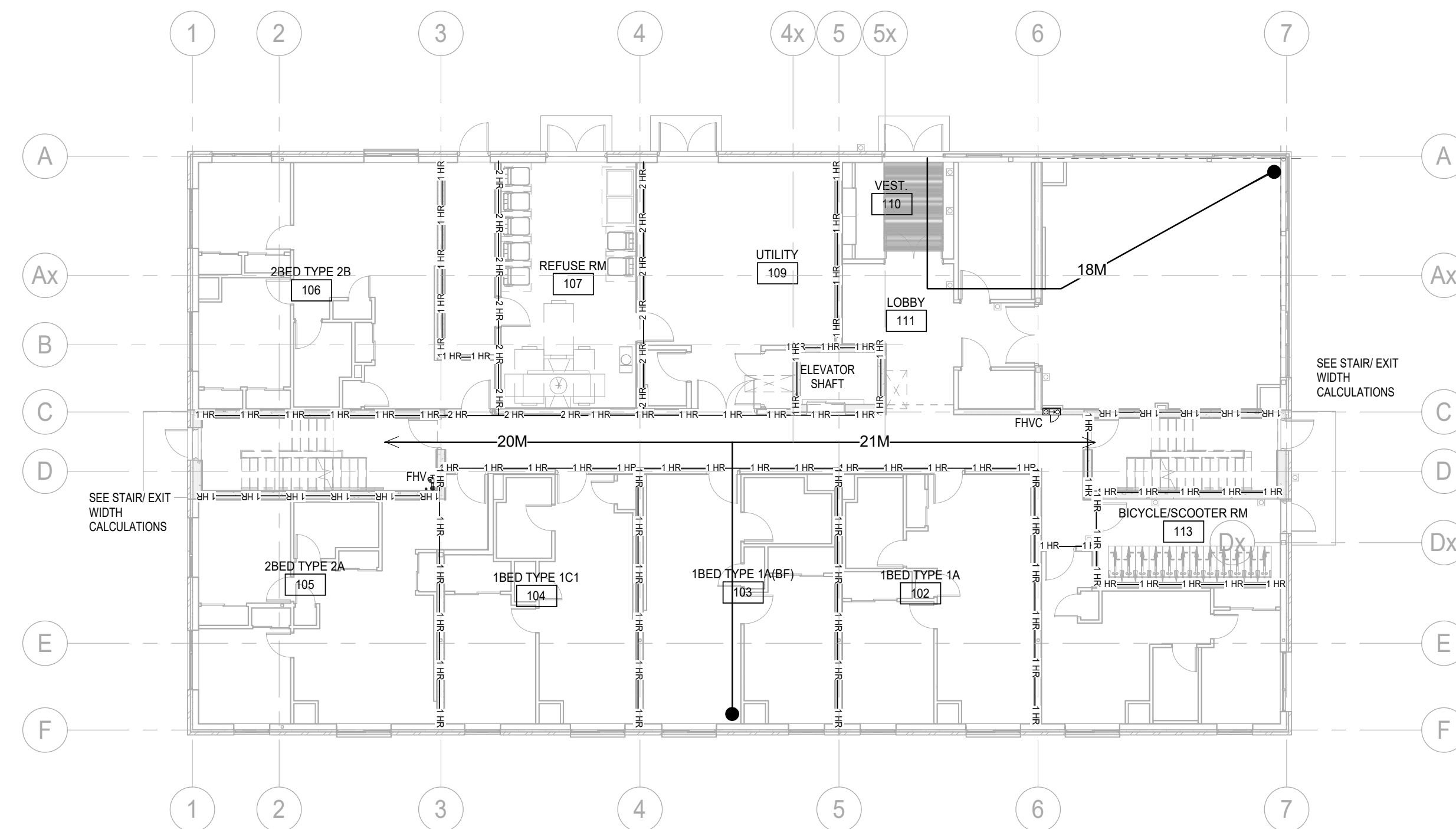
4 LIFE SAFETY 5TH FLOOR  
 A111 1:150



3 LIFE SAFETY 4TH FLOOR  
 A111 1:150




2 LIFE SAFETY 2ND & 3RD FLOORS  
 A111 1:150



1 LIFE SAFETY GROUND FLOOR  
 A111 1:150


PROJECT:  
**Mixed-Use Building Development (BLDG.#3) PHASE 1**  
 1697 Durham Regional Hwy 2, Courtice, ON L1E 2R5  
 RH Gay Holdings Co.

DRAWING:  
**LIFE SAFETY PLANS**



**BARRY BRYAN ASSOCIATES**  
 Architects  
 Engineers  
 Project Managers

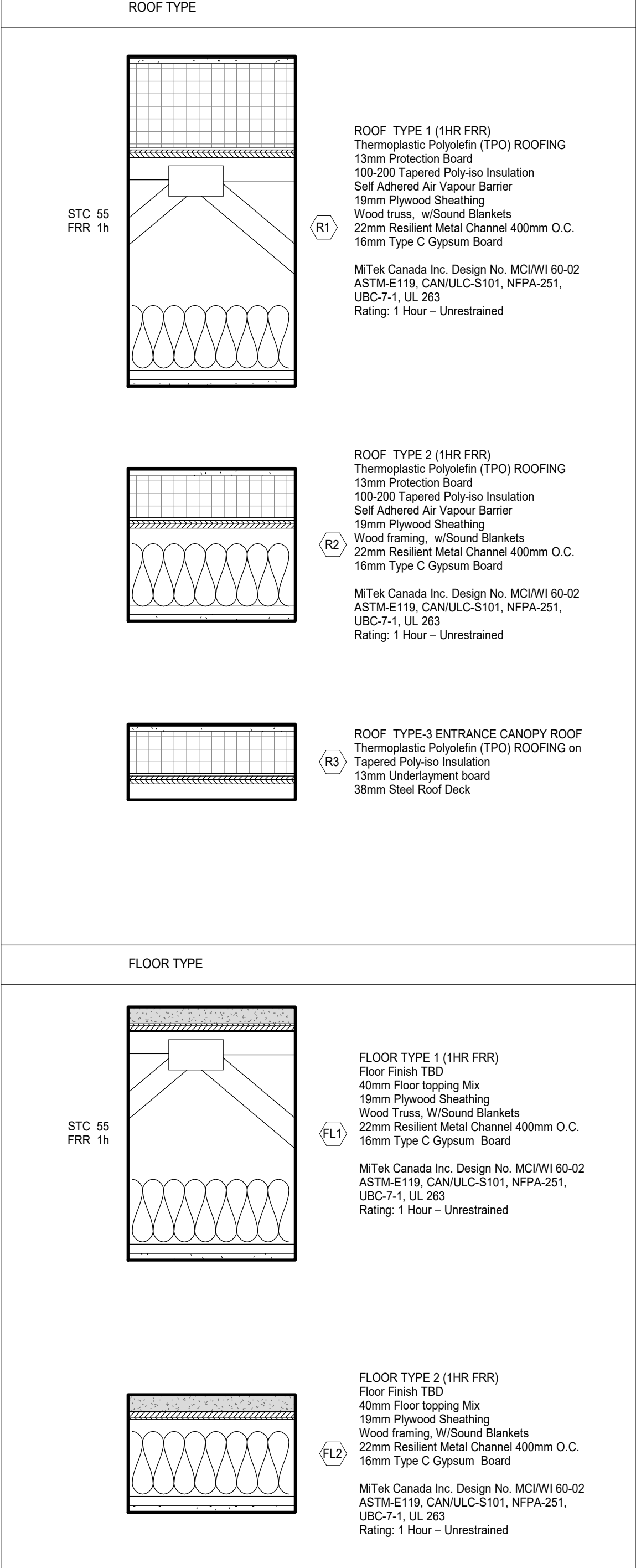
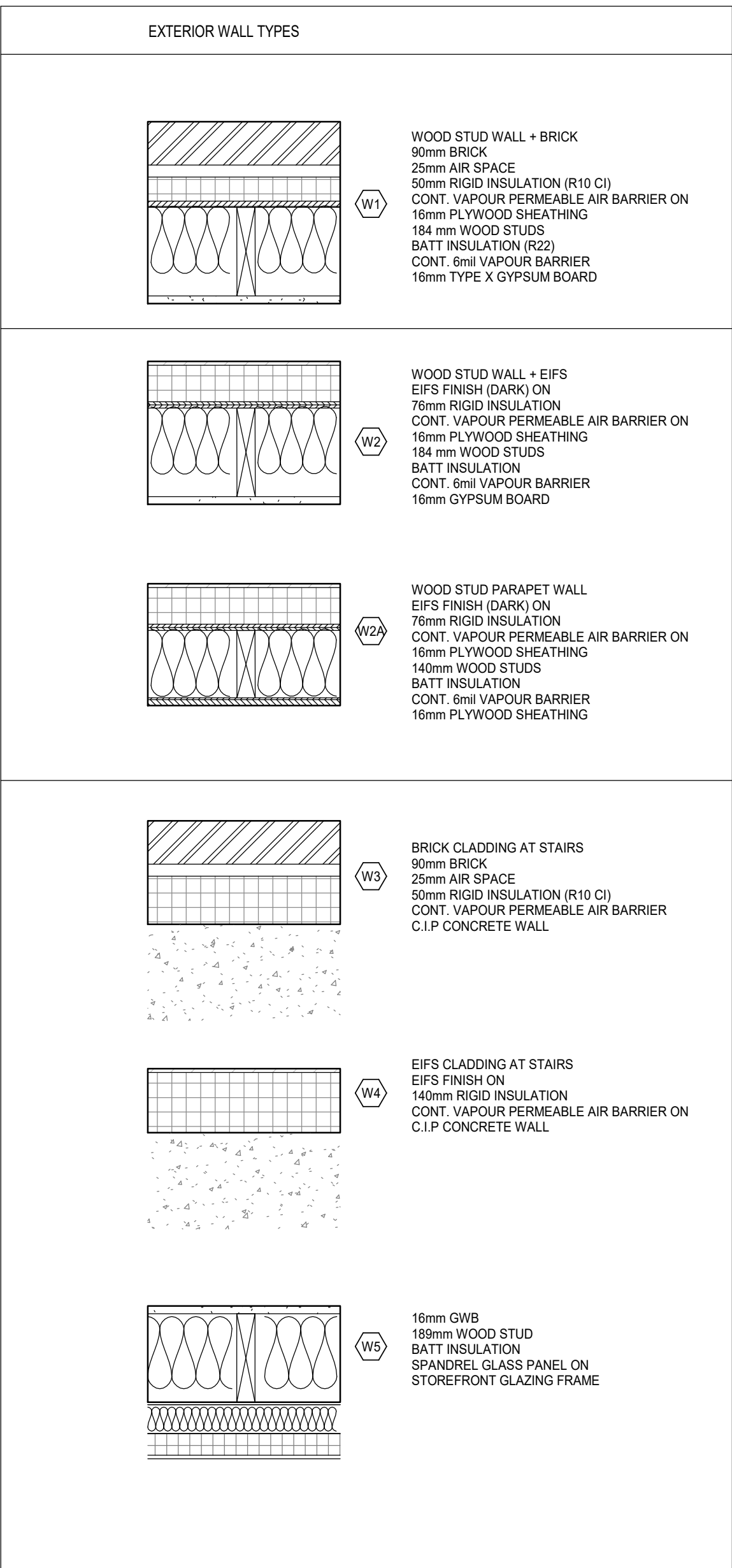
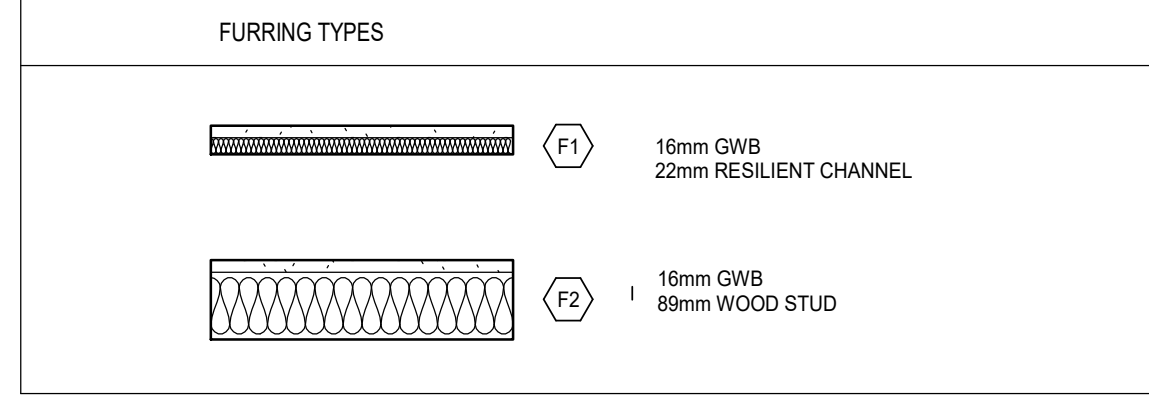
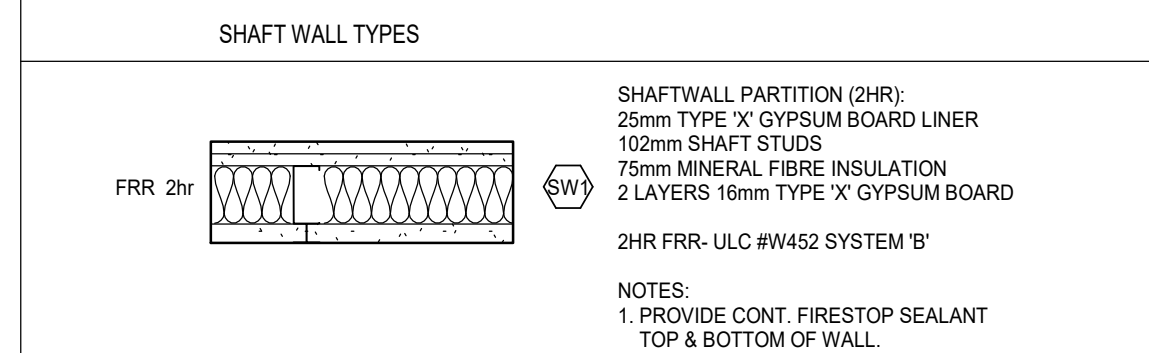
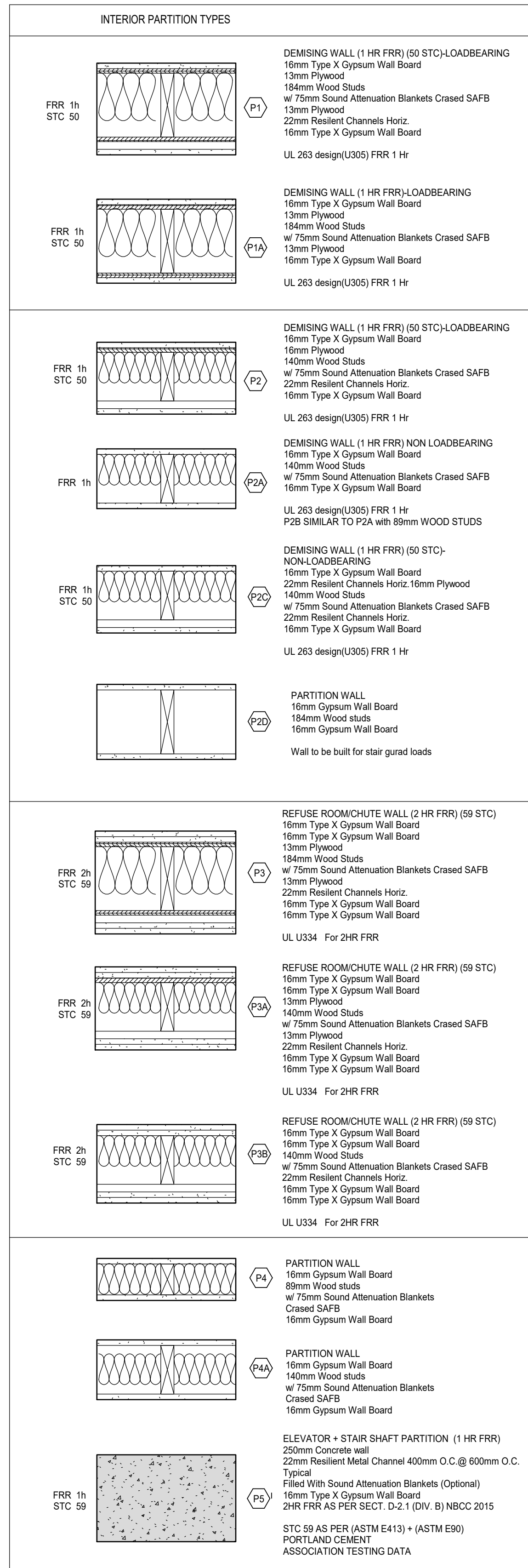
201-250 Water Street  
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DESIGN BY: AA  
 DRAWN BY: AA/JP  
 CHECKED BY: AA/NS  
 DATE: 2023-11-03  
 SCALE: As Indicated  
 FILE: Drawings - Current - CECC-RVT

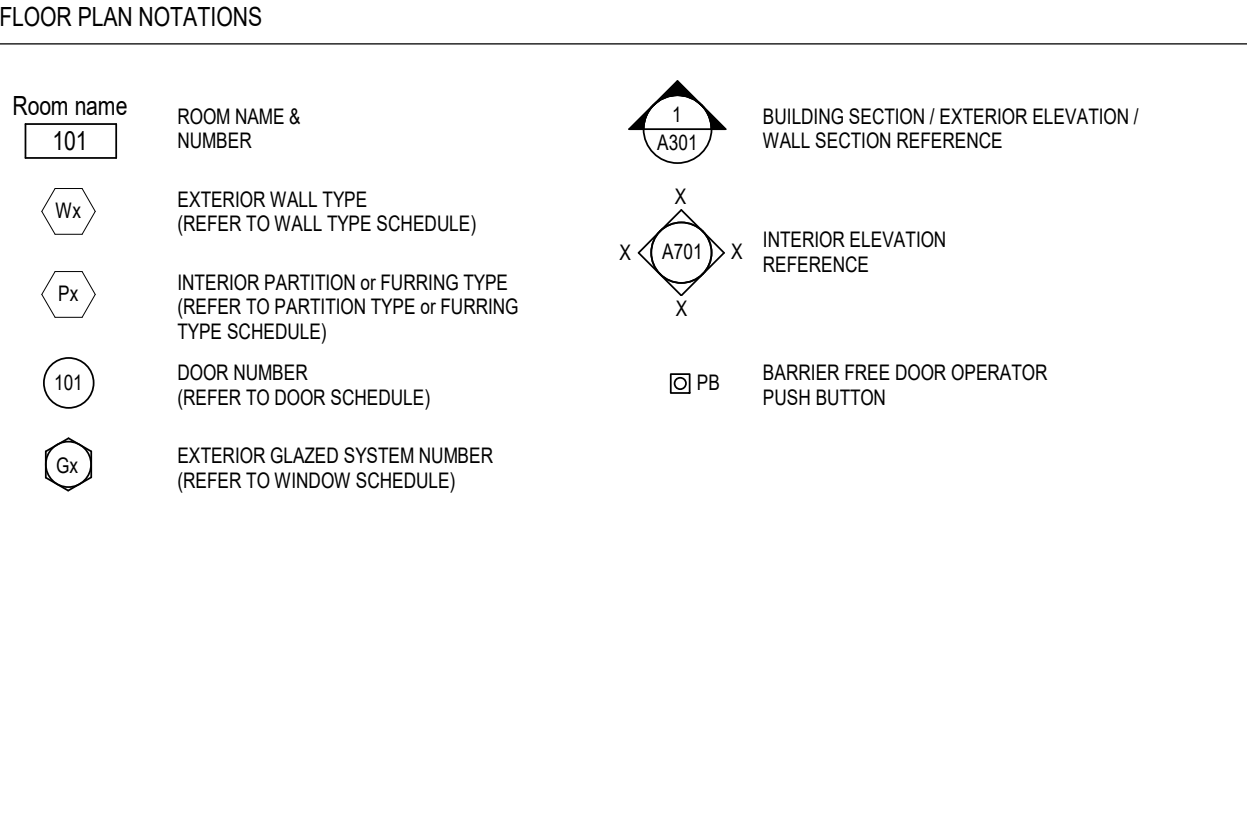
PROJECT NO:  
**21046**

DRAWING NO:  
**A111**



**ASSEMBLIES GENERAL NOTES:**

- UNLESS NOTED OTHERWISE ALL PARTITIONS AND FIRE-RATED WALL ASSEMBLIES SHALL BE CONTINUOUS TO UNDERSIDE OF STRUCTURE ABOVE. PROVIDE DEFLECTION TRACK AT TOP OF ALL PARTITIONS.
- PENETRATIONS AND JOINTS IN FIRE-RATED ASSEMBLIES SHALL BE FIRESTOPPED WITH ULC-LISTED FIRESTOPPING SYSTEMS.
- REFER TO LIFE SAFETY DRAWINGS FOR ALL WALLS / PARTITIONS & FLOORS REQUIRED TO BE FIRE RATED. SEE F.R.R. (FIRE RESISTANCE RATING) LINES ON LIFE SAFETY FLOOR PLANS AND SECTIONS FOR FIRE RATINGS OF ASSEMBLIES.
- ALL GYPSUM BOARD BULKHEADS / PARTITIONS ABOVE WALL OPENINGS OR SCREENS TO BE BRACED AS REQUIRED.
- WITHIN ASSEMBLIES, WHERE COMBUSTIBLE MATERIALS (SUCH AS FOAMED PLASTIC INSULATION) ARE EXPOSED TO AIR GAPS 25MM OR DEEPER, PROVIDE FIRE BREAKS IN ACCORDANCE WITH THE BUILDING CODE, OR APPLY THERMAL BARRIER ON SURFACE OF COMBUSTIBLE MATERIALS EXPOSED TO AIR GAP.
- PROVIDE CONTINUOUS SMOKE SEAL AT PERIMETERS OF 0-HOUR RATED ASSEMBLIES. PROVIDE FIRE STOPPING & SMOKE SEAL AT TOPS OF ALL RATED ASSEMBLIES AT UNDERSIDE OF FLOOR / ROOF DECK OR INFILL OF FLUTES WHERE APPLICABLE.
- ACOUSTICALLY RATED PARTITIONS SHALL BE BOARDED TO UNDERSIDE OF STRUCTURE ABOVE.
- PROVIDE TWO CONTINUOUS BEADS OF ACOUSTIC CAULKING AT TOP AND BOTTOM TRACKS OF ACOUSTICALLY RATED WALL ASSEMBLIES. SEAL OPENINGS AND PENETRATIONS.
- ACOUSTICALLY-RATED, FIRE RATED + FULL HEIGHT STUD PARTITIONS THAT REQUIRE A HEAVIER GAUGE THAN 25 SHALL HAVE ACOUSTIC STEEL STUDS TO ACHIEVE LISTED STC RATINGS, FIRE RATINGS AND STUD HEIGHT REQUIREMENTS. (B.O.D.-BAILY B16 STUDS)
- ENSURE THERE ARE NO BACK-TO-BACK ELECTRICAL BOXES IN ACOUSTICALLY RATED WALLS. SEPARATE ELECTRICAL BOXES BY MINIMUM ONE STUD SPACE.
- PROVIDE CEMENTITIOUS BACKER BOARD AS SUBSTRATE FOR TILED WALL SURFACES ON NON-FIRE-RATED WALL ASSEMBLIES. PROVIDE 13mm CEMENT BOARD IN LIEU OF GYPSUM BOARD AT ALL SHOWER AND BATHTUB ENCLOSURES.
- PROVIDE MOISTURE / MOLD RESISTANT GYPSUM BOARD AS SUBSTRATE FOR TILED WALL SURFACES ON NON-FIRE-RATED WALL ASSEMBLIES. PROVIDE IN LIEU OF STANDARD GYPSUM BOARD IN ALL SHOWER ENCLOSURE CEILING.
- FOR CEILING AND SOFFIT ASSEMBLIES WITH MOISTURE / MOLD RESISTANT GYPSUM BOARD, FRAMING MEMBERS SHALL BE 310mm ON CENTRE MAXIMUM.
- IMPACT-RESISTANT GYPSUM BOARD SHALL BE USED IN REFUSE ROOMS AND MOVING / DELIVERY ROOM.
- ALL EIFS WALL SYSTEMS SHALL HAVE INTEGRAL DRAINAGE SYSTEM.
- MASONRY WALLS SHALL EXTEND TO UNDERSIDE OF STRUCTURE ABOVE UNLESS NOTED OTHERWISE. SEE STRUCTURAL FOR DEFLECTION REQUIREMENTS.
- ALL RAIN WATER LEADERS (RWL) AND PLUMBING RISERS SHALL BE FURRED IN. FURR IN TO 200mm ABOVE THE FINISHED CEILING UNLESS NOTED OTHERWISE.
- SEE ROOM FINISH SCHEDULE FOR FINISH TYPE FROM INTERIOR DESIGN DRAWING PACKAGE.
- AT RECESSED LIGHTS IN EXTERIOR SOFFITS PROVIDE BOX OUTS IN STUD FRAMING TO SUIT REQUIRED CLEARANCE BETWEEN LIGHT FIXTURE AND EXTERIOR INSULATION. MAINTAIN FULL DEPTH OF INSULATION INTO BOX OUT AND ENSURE AIR BARRIER CONTINUITY. SEAL ALL PENETRATIONS.



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1	ISSUED FOR PERMIT	Apr 30 2024	RG

NO.	REVISIONS	DATE	BY

**PROJECT:**  
**Mixed-Use Building Development (BLDG.#3) PHASE 1**

1697 Durham Regional Hwy 2, Courtyce,  
ON L1E 2R5  
RH Gay Holdings Co.

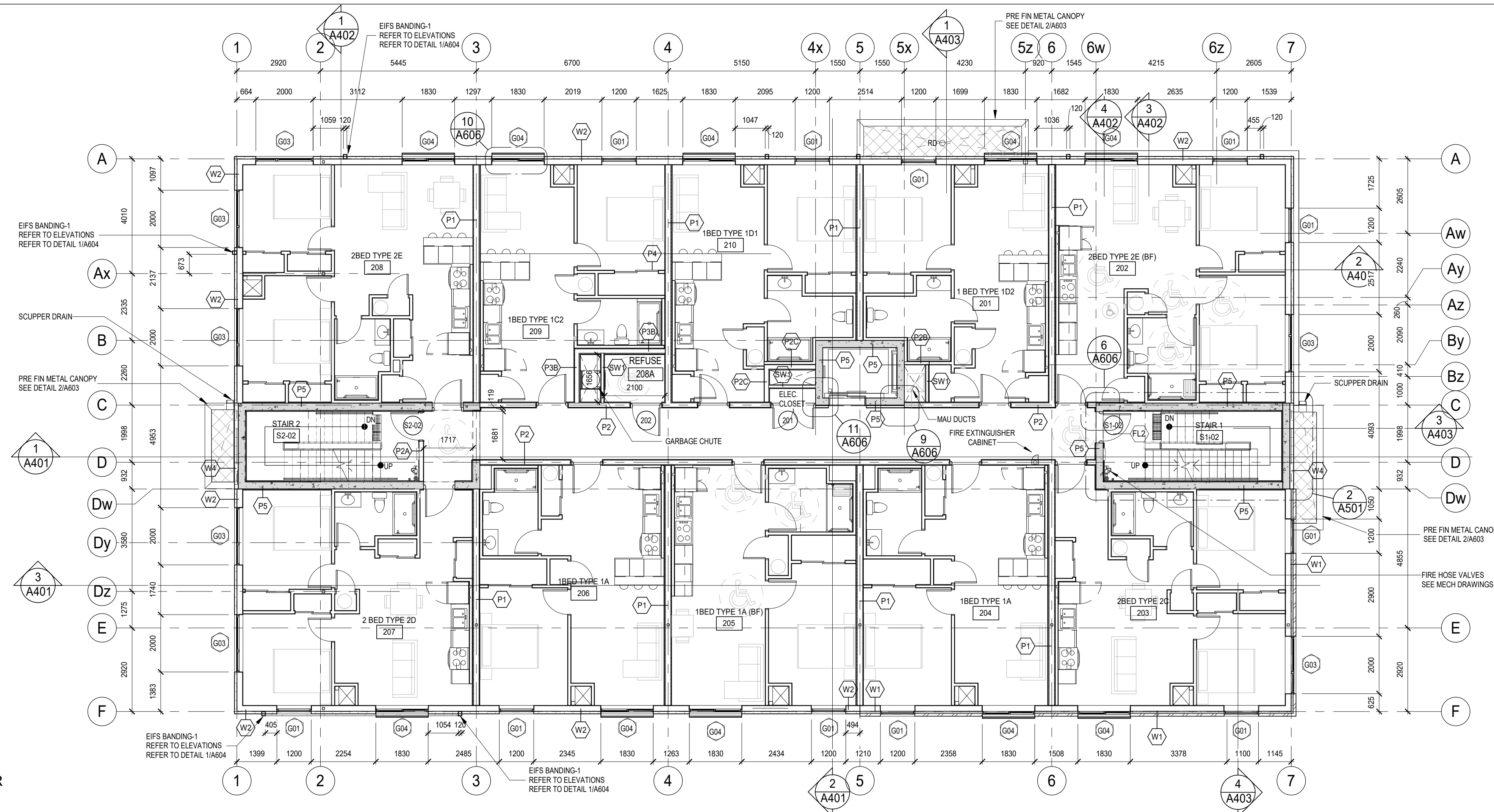
**DRAWING:**  
**ASSEMBLIES**

**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers

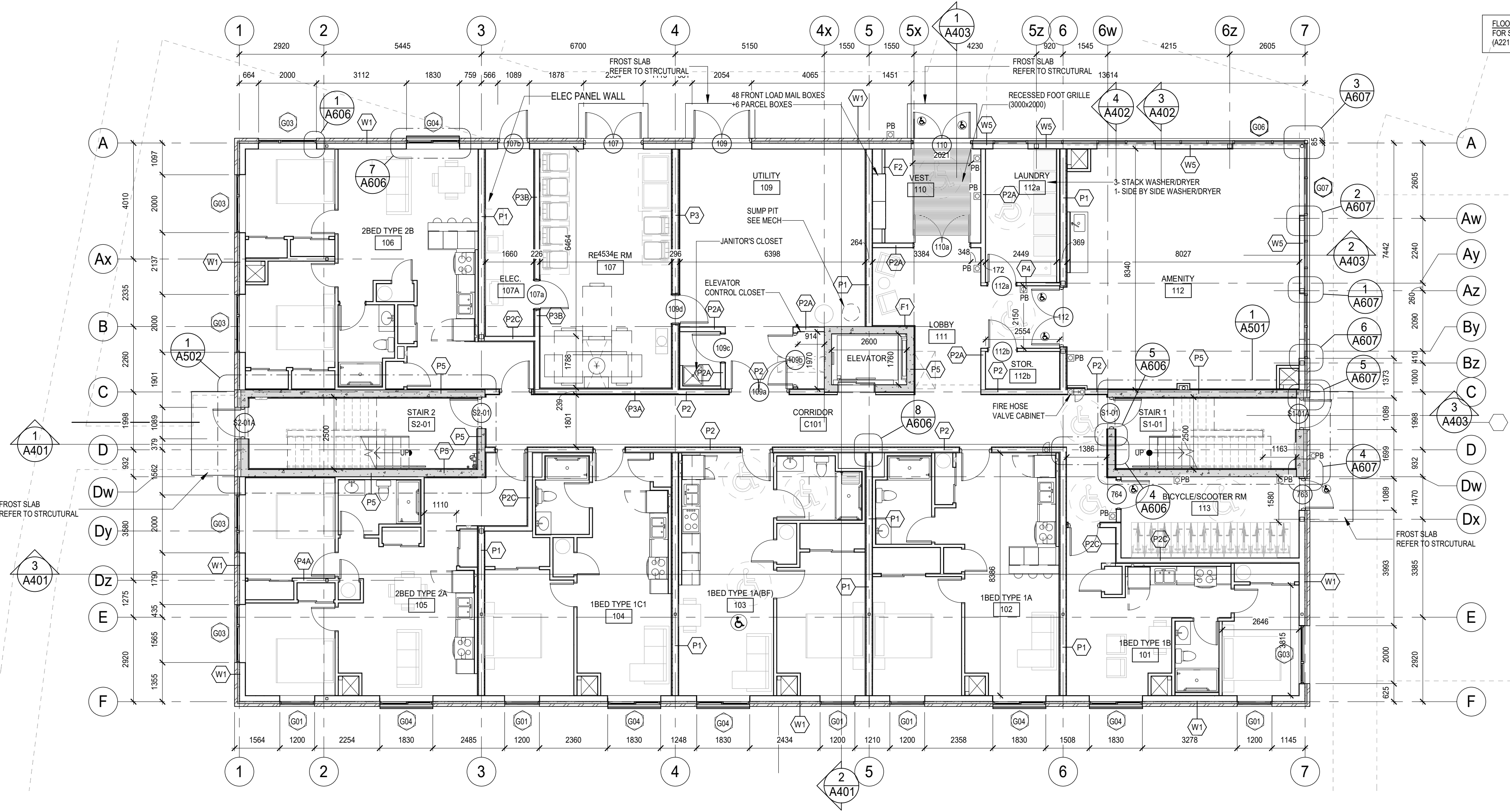
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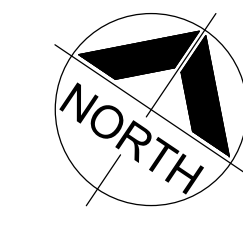
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1  
A201 2ND FLOOR  
1:100



3  
A201 GROUND FLOOR  
1:100



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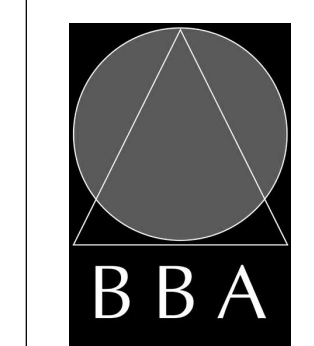
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2	SPA.R1	Nov 03 2023	AA
3	SPA.R2	Jan 26 2024	AA
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PROJECT:  
**Mixed-Use Building  
Development (BLDG.#3)  
PHASE 1**

1697 Durham Regional Hwy 2, Courtyce,  
ON L1E 2R5  
RH Gay Holdings Co.

DRAWING:  
**GROUND & 2ND FLOOR  
PLANS**



BARRY BRYAN  
ASSOCIATES

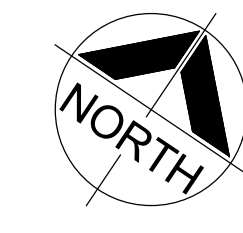
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Tel: (905) 686-5252  
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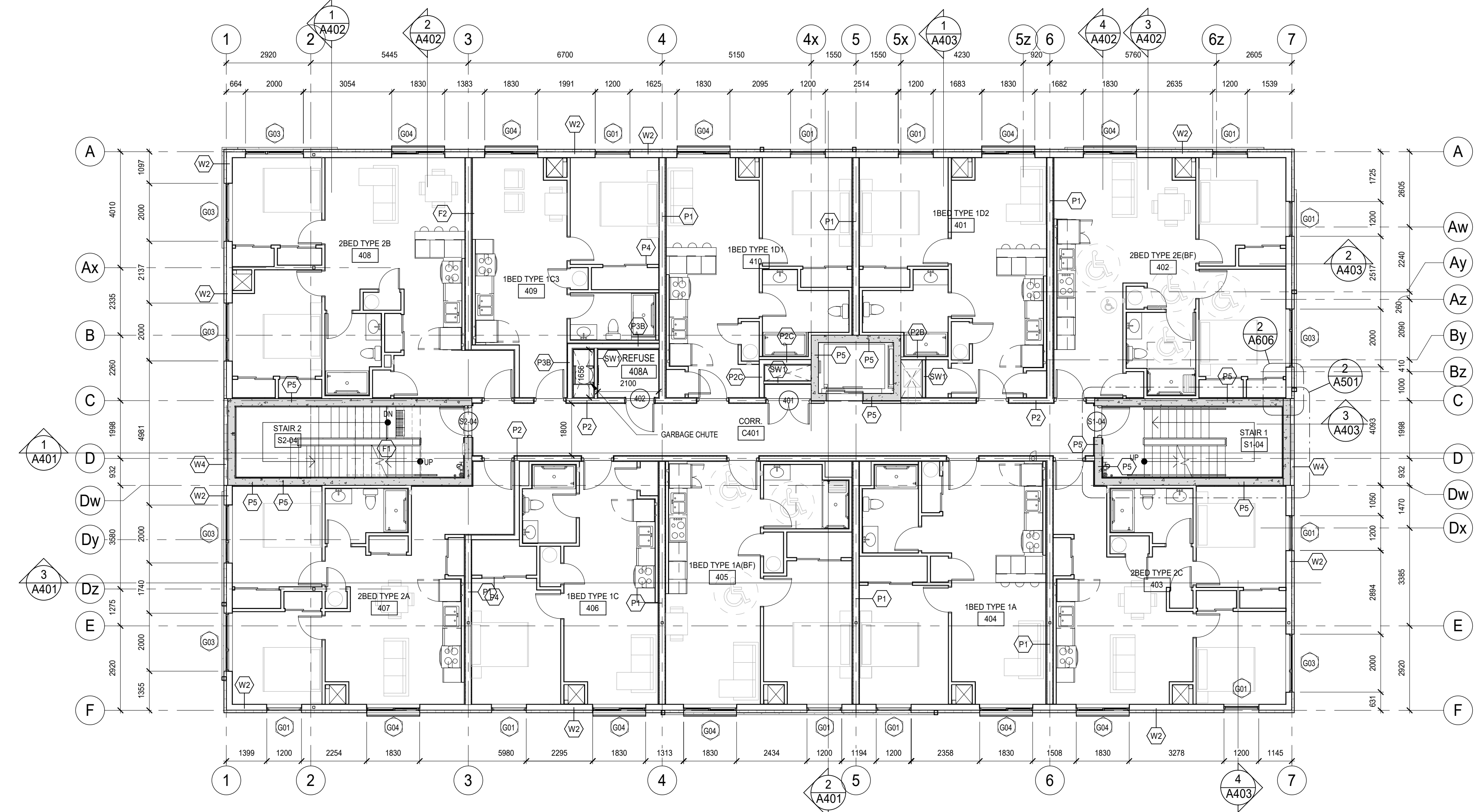


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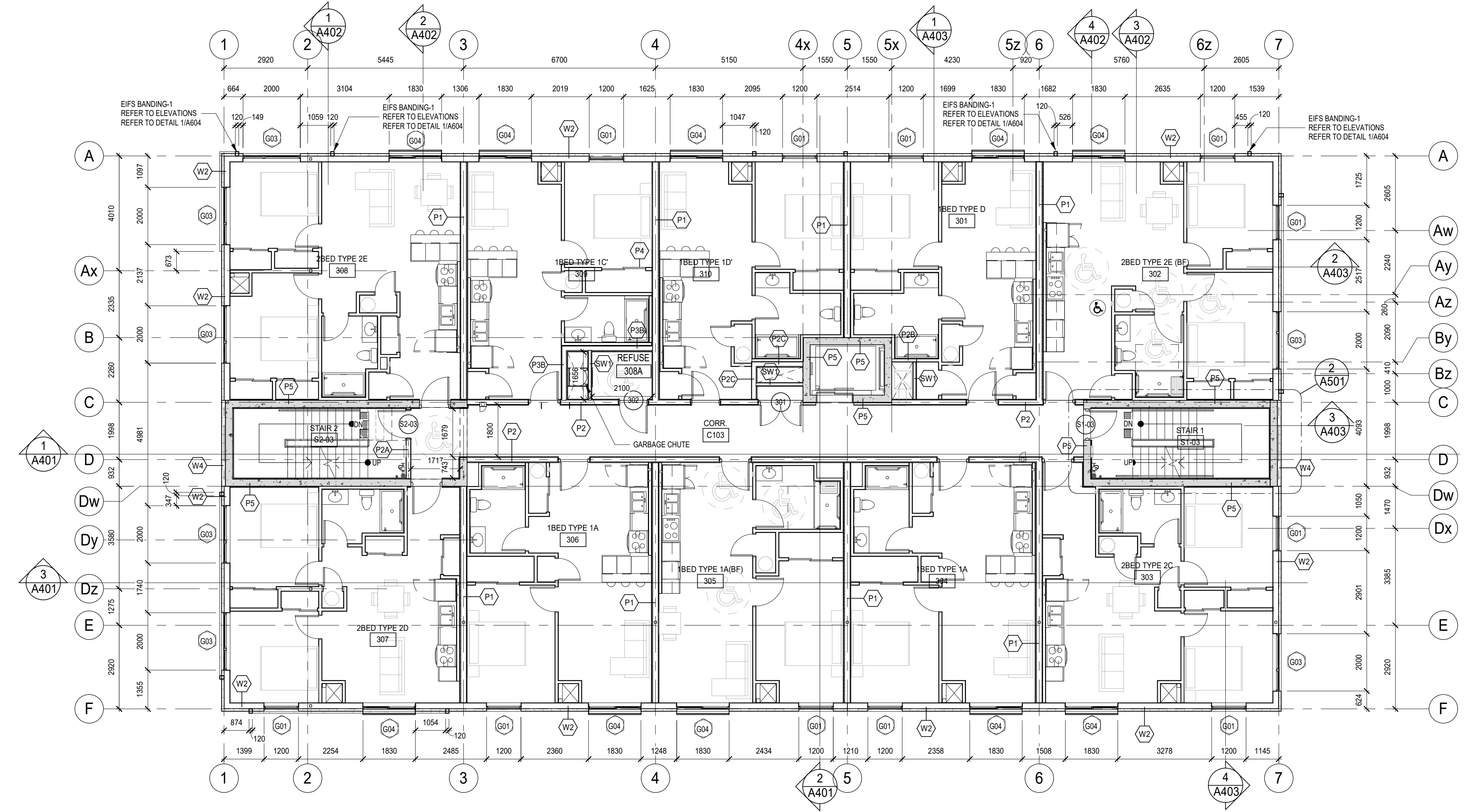
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DRAWING NO: **A201**



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2  
A202  
4TH FLOOR  
1:100



1  
A202  
3RD FLOOR  
1:100

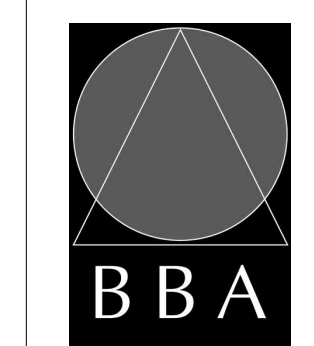
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PROJECT:  
**Mixed-Use Building  
Development (BLDG.#3)  
PHASE 1**

1697 Durham Regional Hwy 2, Courtice,  
ON L1E 2R5  
RH Gay Holdings Co.

DRAWING:  
**3RD & 4TH FLOOR  
PLANS**



**BARRY BRYAN  
ASSOCIATES**

Architects  
Engineers  
Project Managers

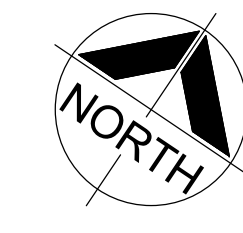
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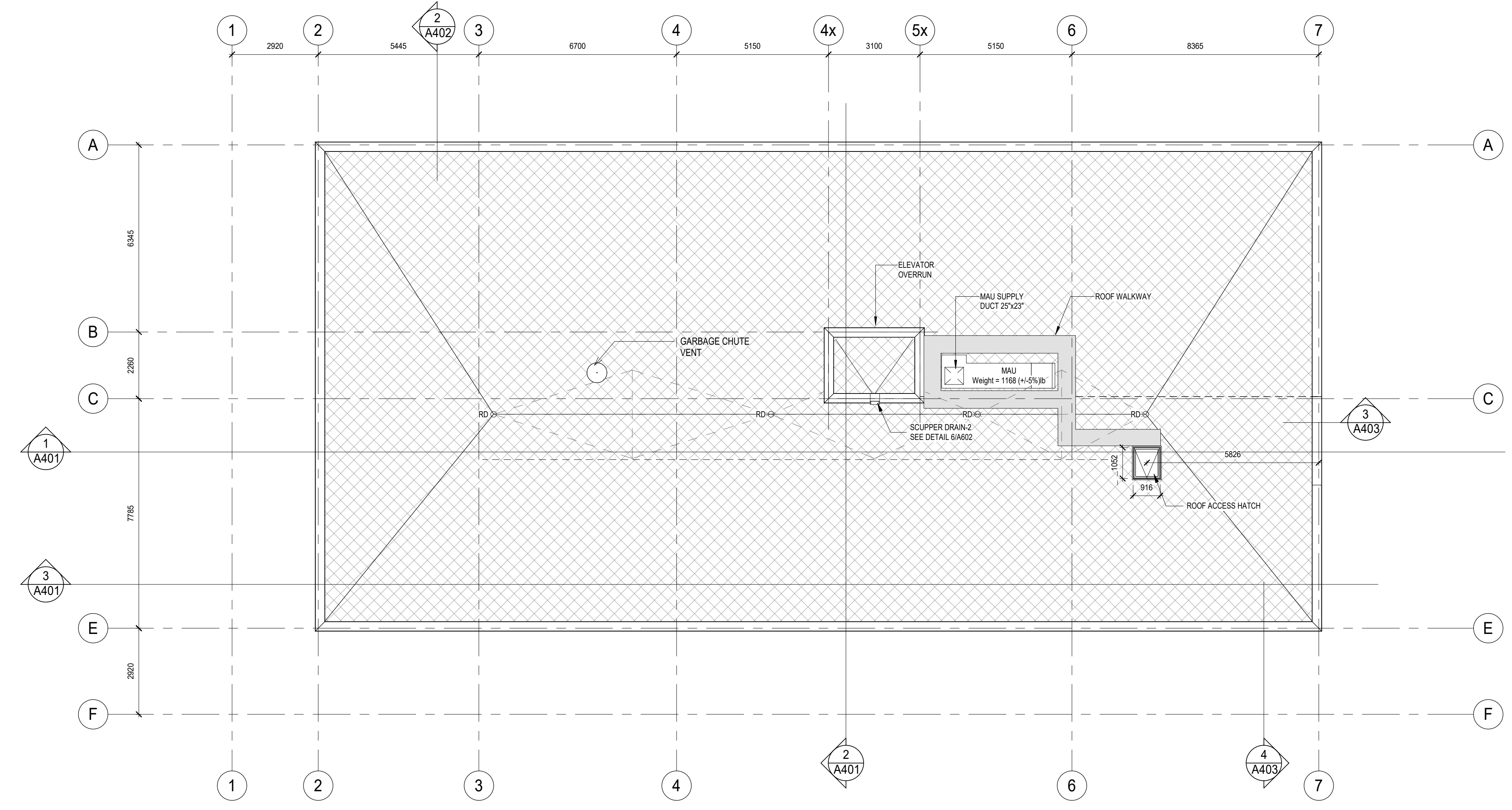
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PROJECT NO: **21046**  
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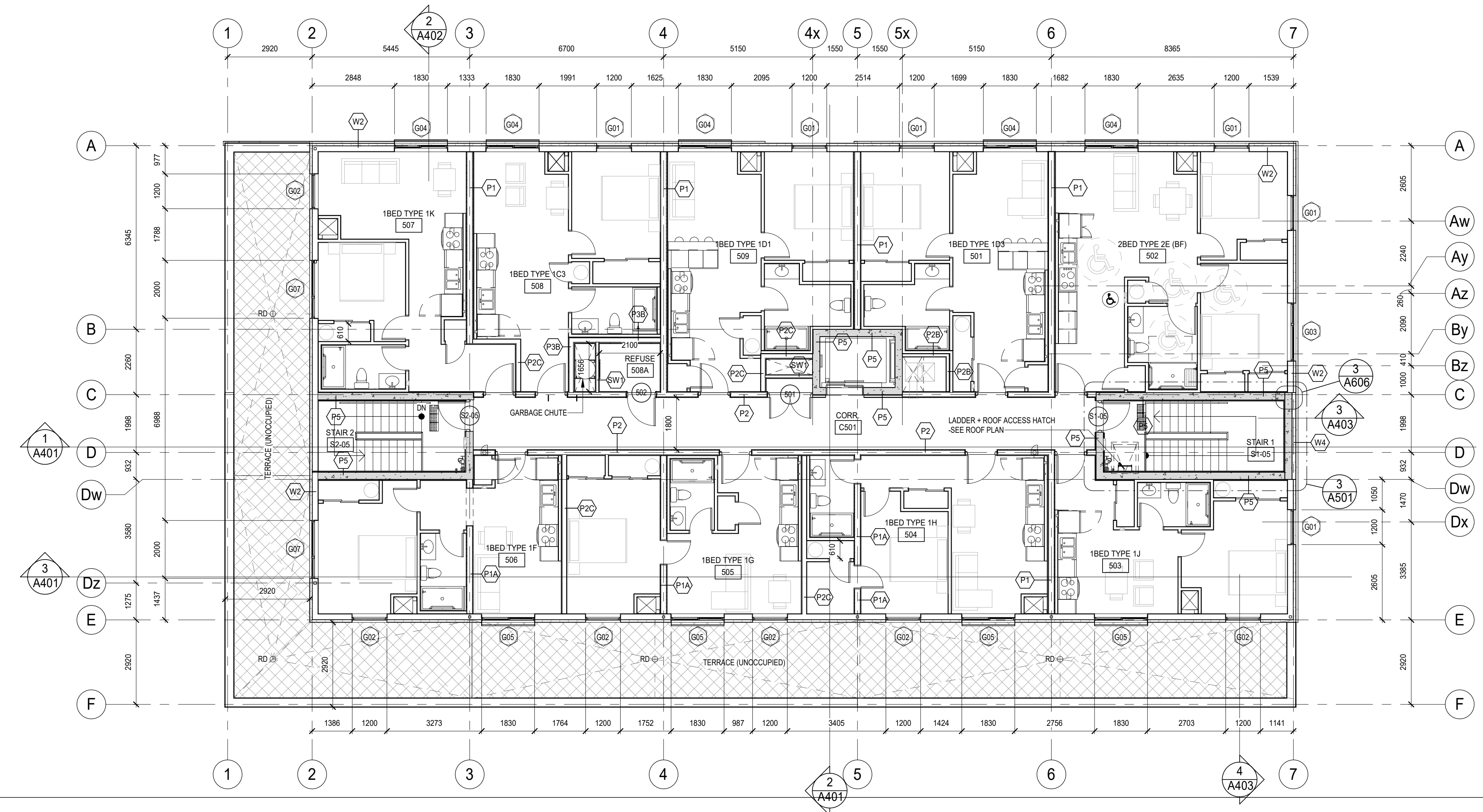
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2	SPAR1	Nov 03 2023	AA
3	SPAR2	Jan 26 2024	AA
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1 ROOF  
A203  
1:100

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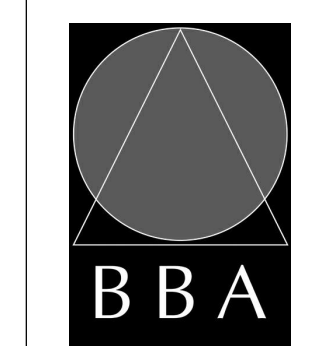


2 5TH FLOOR  
A203  
1:100

PROJECT:  
**Mixed-Use Building  
Development (BLDG.#3)  
PHASE1**

1697 Durham Regional Hwy 2, Courtice,  
ON L1E 2R5  
RH Gay Holdings Co.

DRAWING:  
**5TH & ROOF PLAN**



**BARRY BRYAN  
ASSOCIATES**

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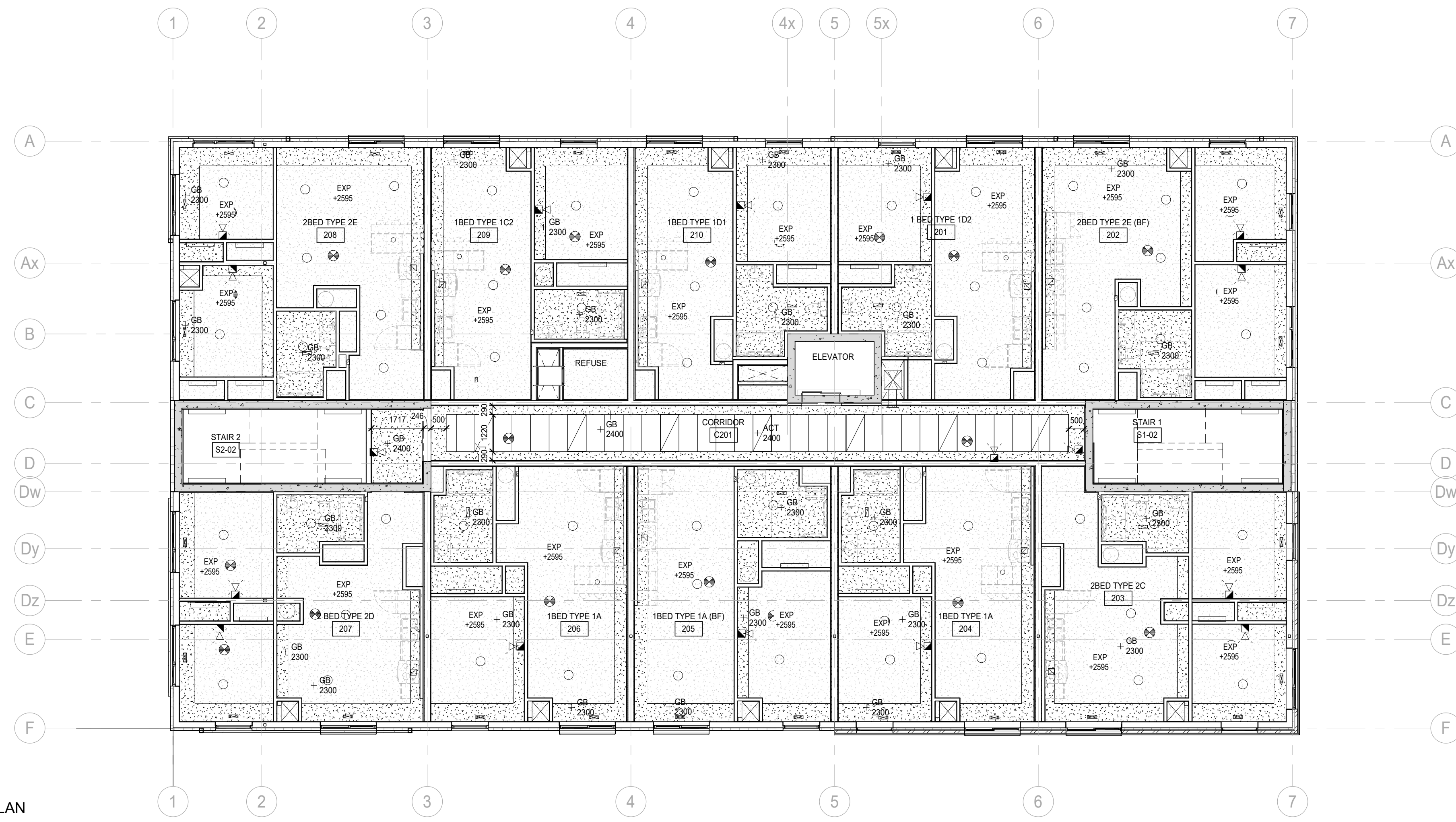


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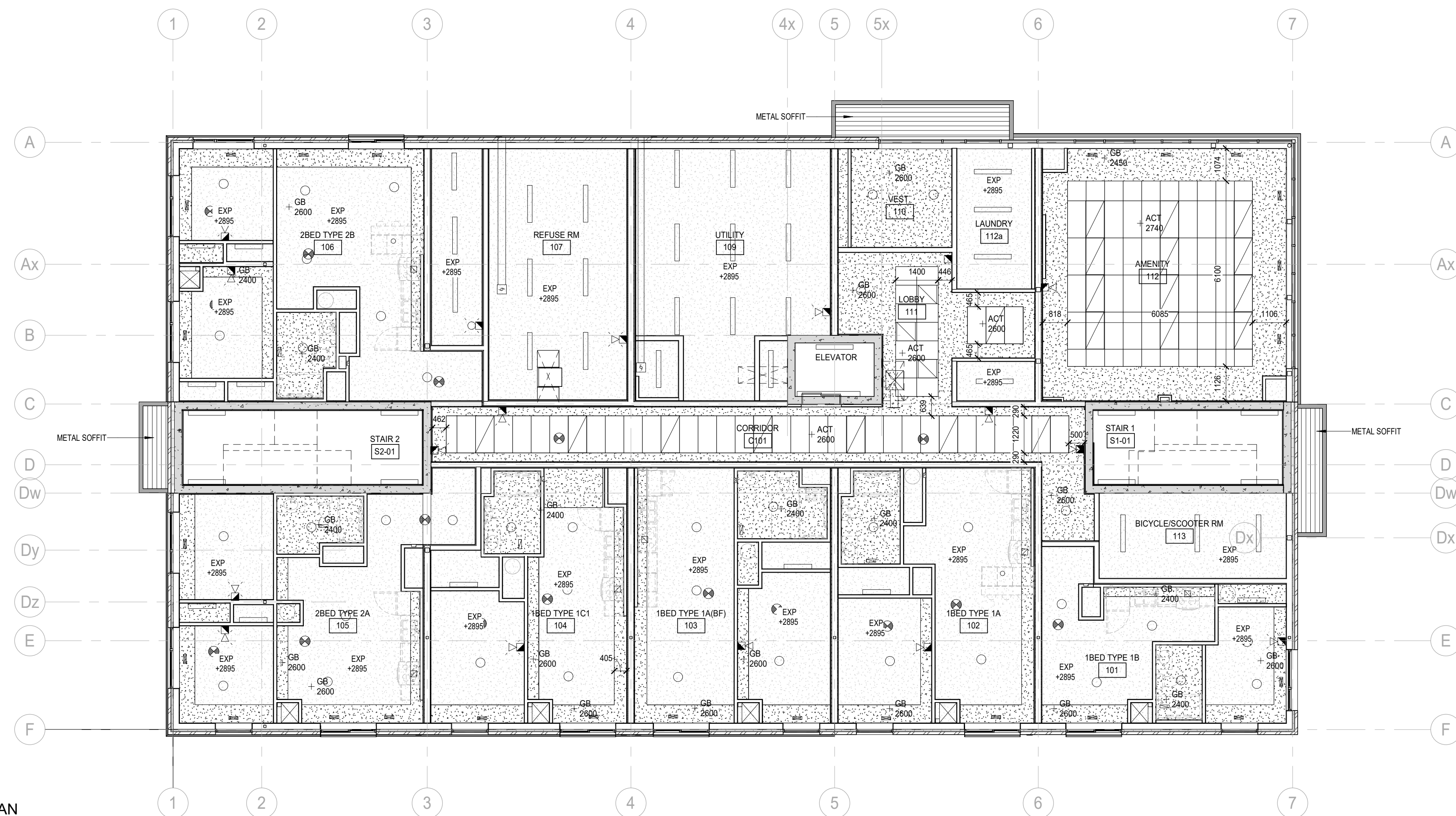
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PROJECT NO:  
**21046**

DRAWING NO:  
**A203**



2 2ND & 3RD FLOOR CEILING PLAN  
A211 1:100



1 GROUND FLOOR CEILING PLAN  
A211 1:100

**CEILING TYPES:**

- EXP 2400 EXPOSED 16mm TYPE X GYPSUM BOARD OF FIRE RATED FLOOR ASSEMBLY
- GB 2400 13mm GYPSUM BOARD ON METAL STUD FRAMING w/ CEILING LEVEL USE CEMENT BOARD IN SHOWER AREAS
- ACT 2400 610mm x 1220mm ACOUSTIC CEILING PANELS IN SUSPENDED T-BAR GRID w/ CEILING LEVEL

**CEILING NOTATION LEGEND:**

- LAY-IN T-BAR LUMINAIRE (REFER TO ELECTRICAL)
- LUMINAIRE / STRIP LIGHTS (REFER TO ELECTRICAL)
- LIGHT FIXTURES AS PER ELECTRICAL
- CEILING OFFUSER EXHAUST GRILLE (REFER TO MECHANICAL)
- DETECTORS, ALARMS (REFER TO ELECTRICAL)

NOTE: MAXIMIZE EXTENT OF EXPOSED (HIGH) CEILINGS WITHIN ALL UNITS. GYPSUM BOARD BULKHEADS TO BE TIGHT TO SERVICES AS MUCH AS POSSIBLE. COORDINATE EXTENT OF BULKHEADS WITH MECHANICAL AND SPRINKLER DRAWINGS.

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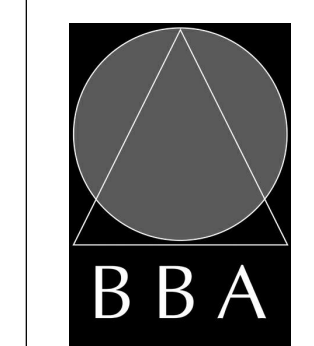
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**PROJECT:**  
**Mixed-Use Building Development (BLDG.#3) PHASE 1**

1697 Durham Regional Hwy 2, Courtice, ON L1E 2R5  
RH Gay Holdings Co.

**DRAWING:**  
**CEILING PLANS-GROUND AND TYPICAL FLOOR (2-3)**



**BARRY BRYAN ASSOCIATES**

Architects  
Engineers  
Project Managers

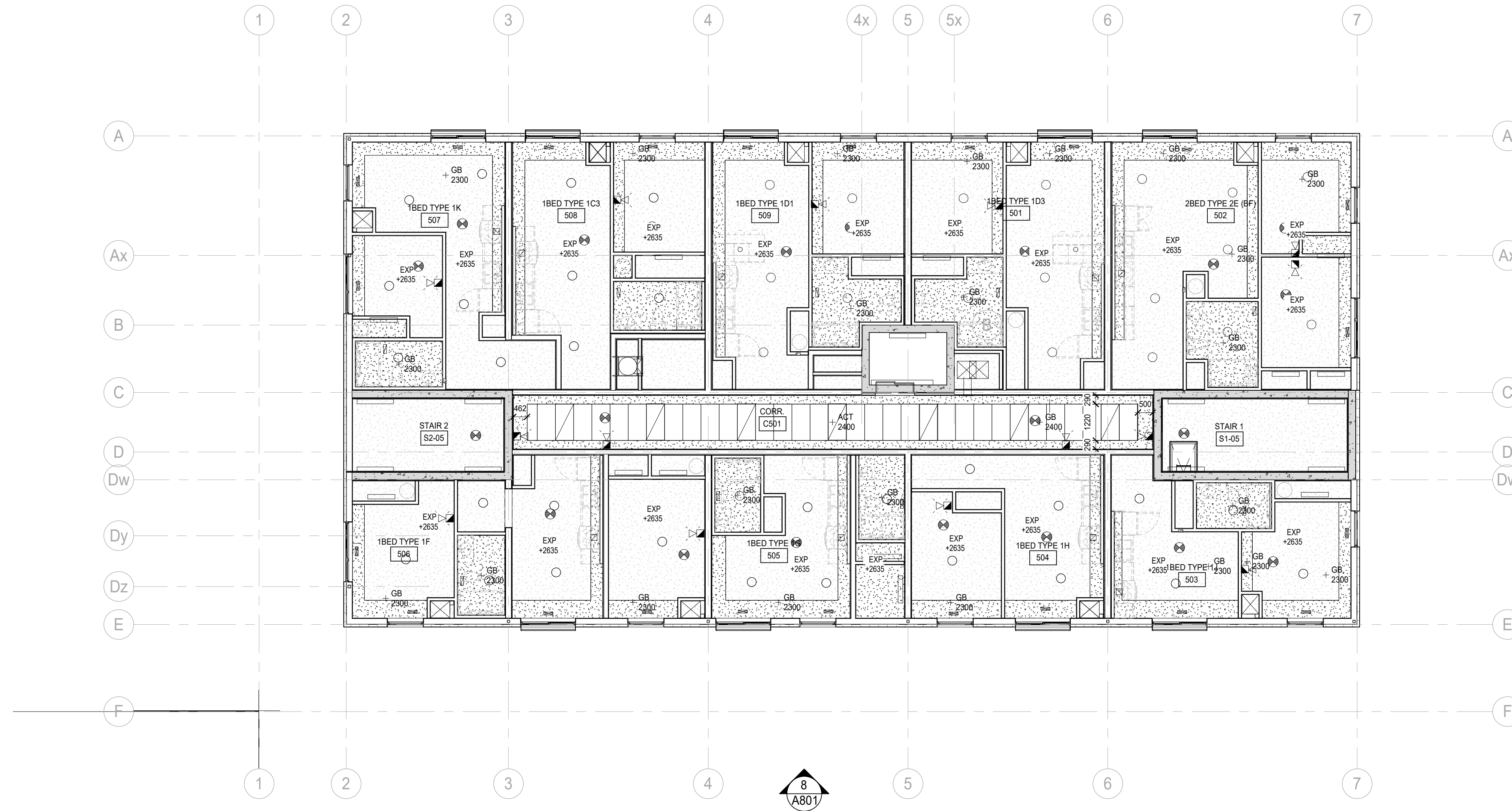
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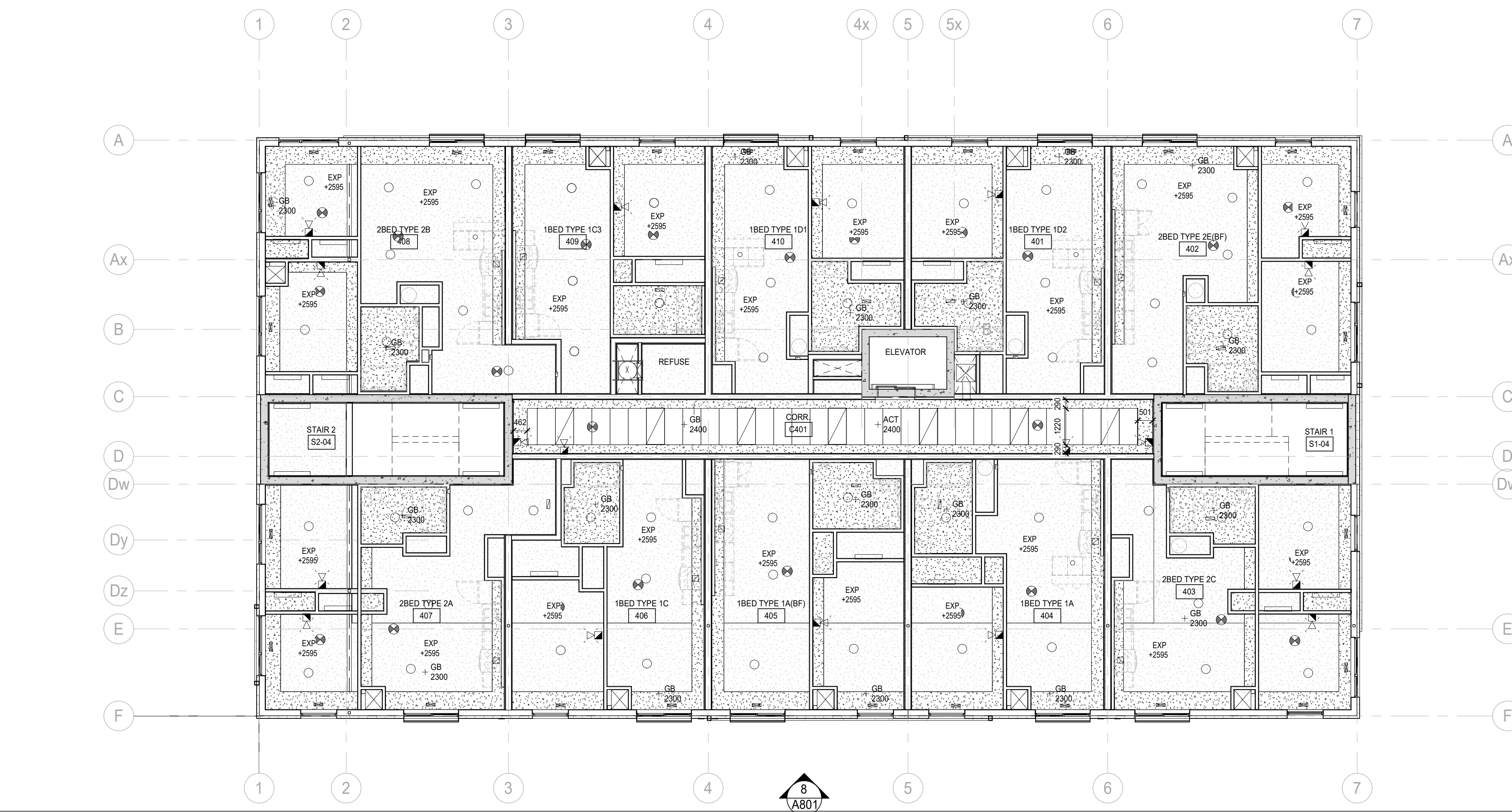
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FILE: Drawings - Current - CECC.RVT

PROJECT NO: **21046**  
DRAWING NO: **A211**



2  
A212  
5TH FLOOR-CEILING PLAN  
1:100



1  
A212  
4TH FLOOR - CEILING PLAN  
1:100

**CEILING TYPES:**

- EXP 2400 EXPOSED 16mm TYPE X GYPSUM BOARD OF FIRE RATED FLOOR ASSEMBLY
- GB 2400 13mm GYPSUM BOARD ON METAL STUD FRAMING w/ CEILING LEVEL USE CEMENT BOARD IN SHOWER AREAS
- ACT 2400 610mm x 1220mm ACOUSTIC CEILING PANELS IN SUSPENDED T-BAR GRID w/ CEILING LEVEL

**CEILING NOTATION LEGEND:**

- LAY-IN BAR LUMINAIRE (REFER TO ELECTRICAL)
- LUMINAIRE / STRIP LIGHTS (REFER TO ELECTRICAL)
- LIGHT FIXTURES AS PER ELECTRICAL
- CEILING OFFUSER EXHAUST GRILLE (REFER TO MECHANICAL)
- DETECTORS, ALARMS (REFER TO ELECTRICAL)

NOTE: MAXIMIZE EXTENT OF EXPOSED (HIGH) CEILINGS WITHIN ALL UNITS. GYPSUM BOARD BULKHEADS TO BE TIGHT TO SERVICES AS MUCH AS POSSIBLE. COORDINATE EXTENT OF BULKHEADS WITH MECHANICAL AND SPRINKLER DRAWINGS.

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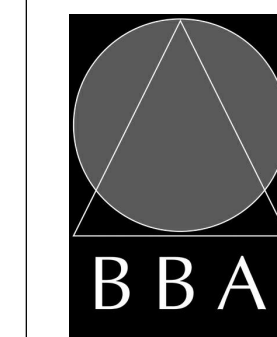
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PROJECT:  
**Mixed-Use Building Development (BLDG.#3) PHASE 1**

1697 Durham Regional Hwy 2, Courtice,  
ON L1E 2R5  
RH Gay Holdings Co.

DRAWING:  
**CEILING PLANS-4TH & 5TH FLOORS**



**BARRY BRYAN ASSOCIATES**

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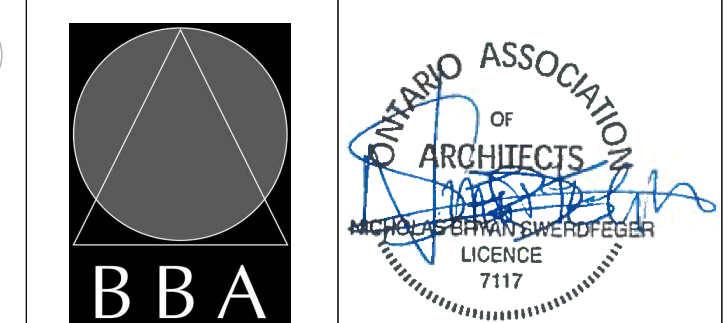
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PROJECT:  
**Mixed-Use Building  
Development (BLDG.#3)  
PHASE 1**

1697 Durham Regional Hwy 2, Courtice,  
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RH Gay Holdings Co.

DRAWING:  
**UNIT PLANS**

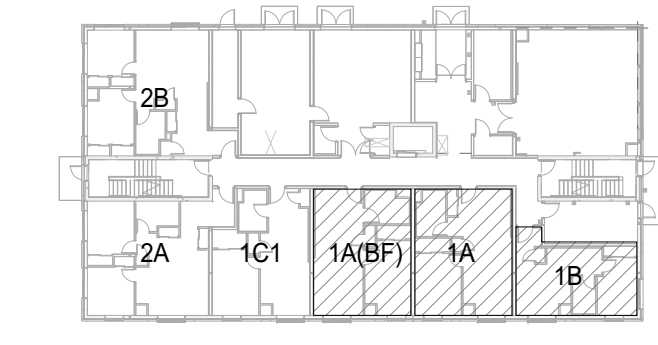


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Engineers  
Project Managers

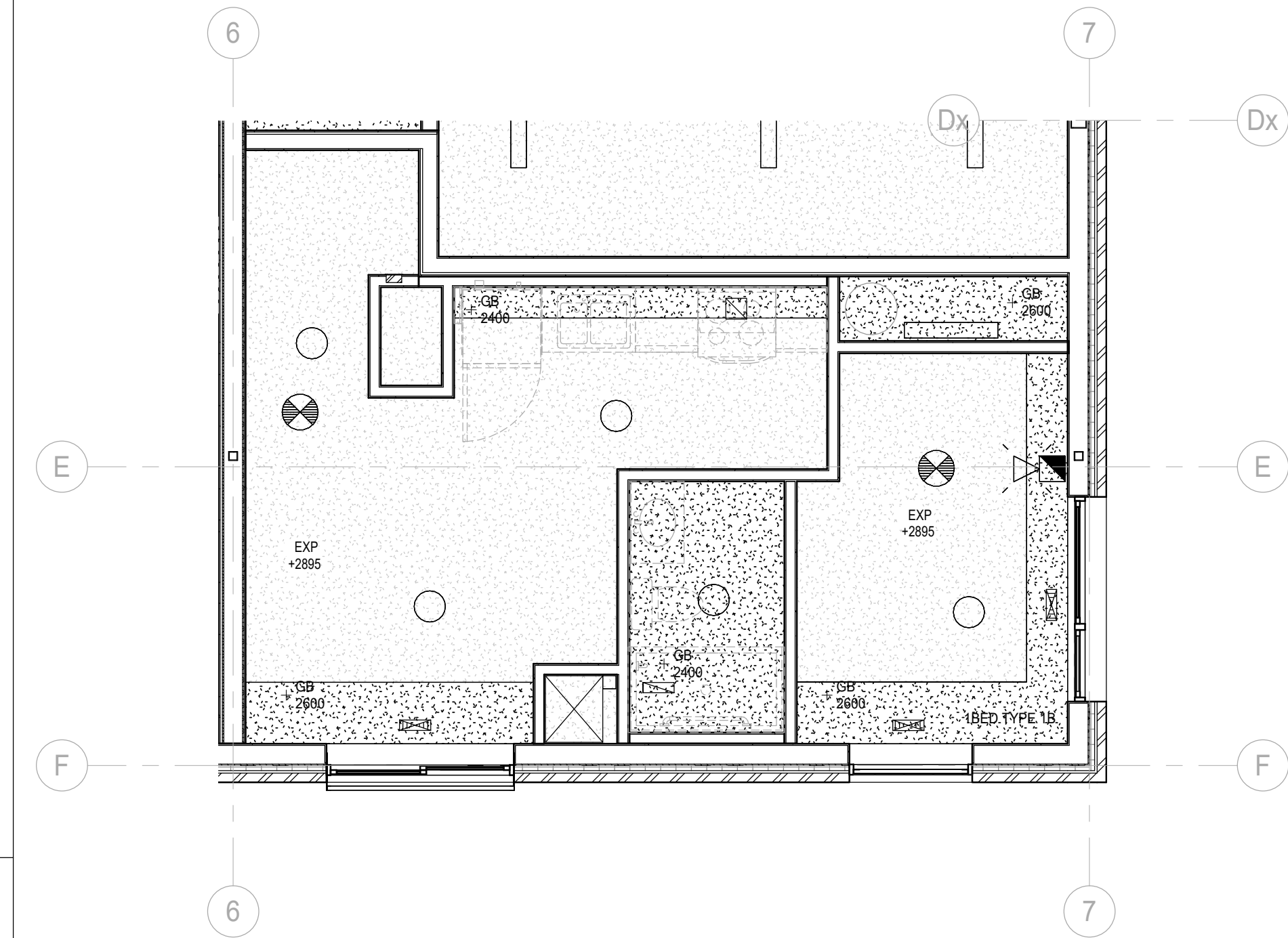
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e-mail: bba@bba-arch.com

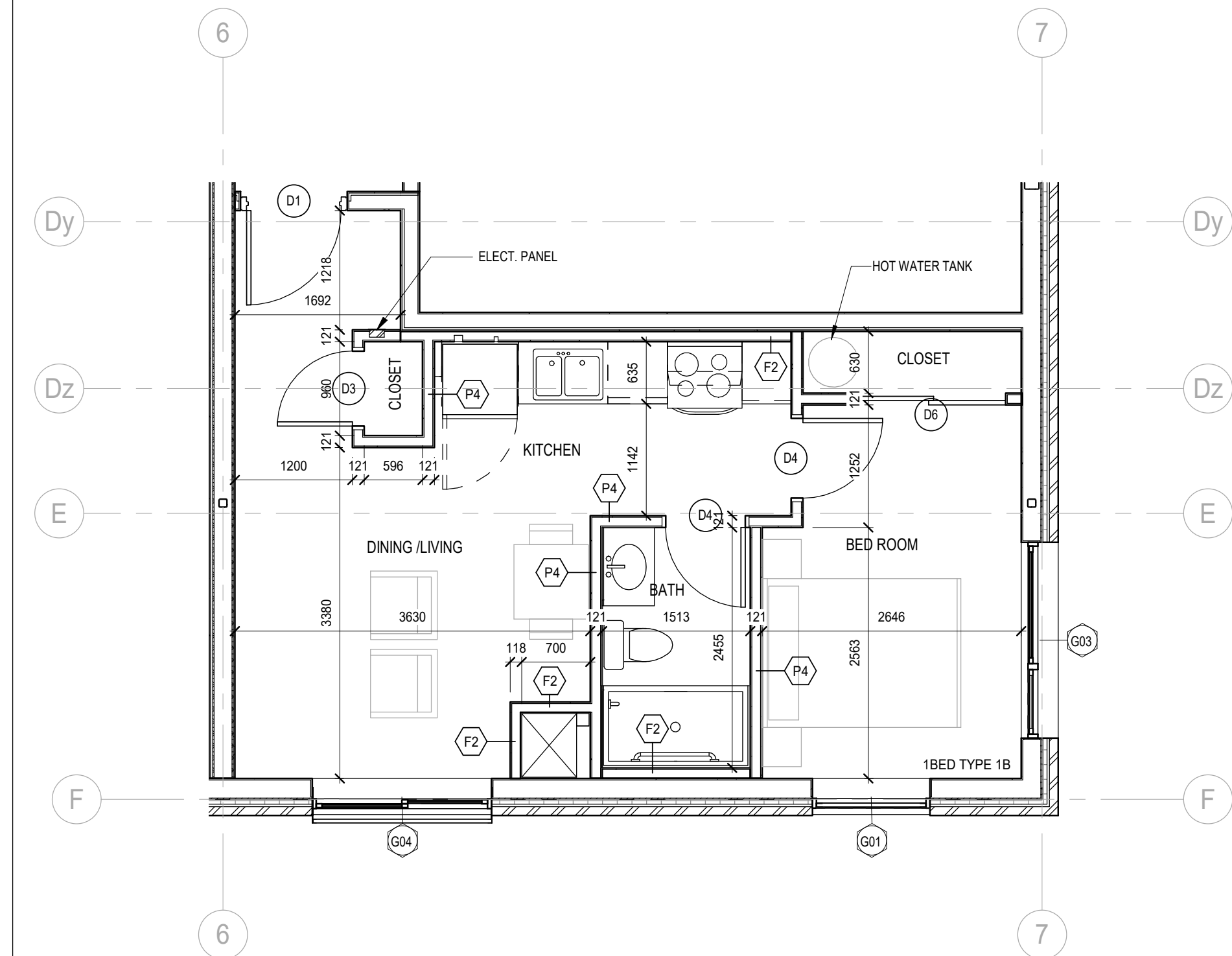
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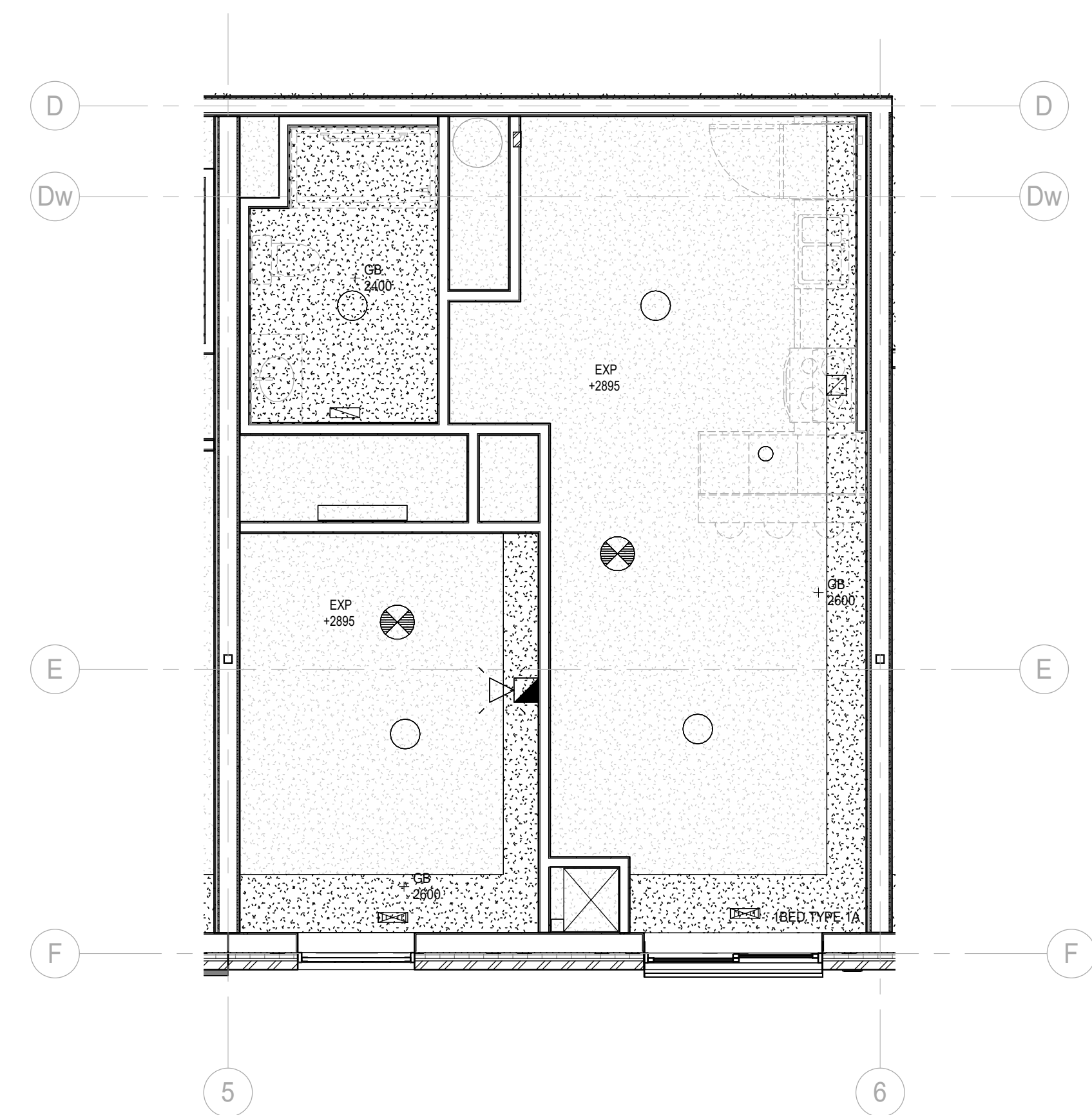
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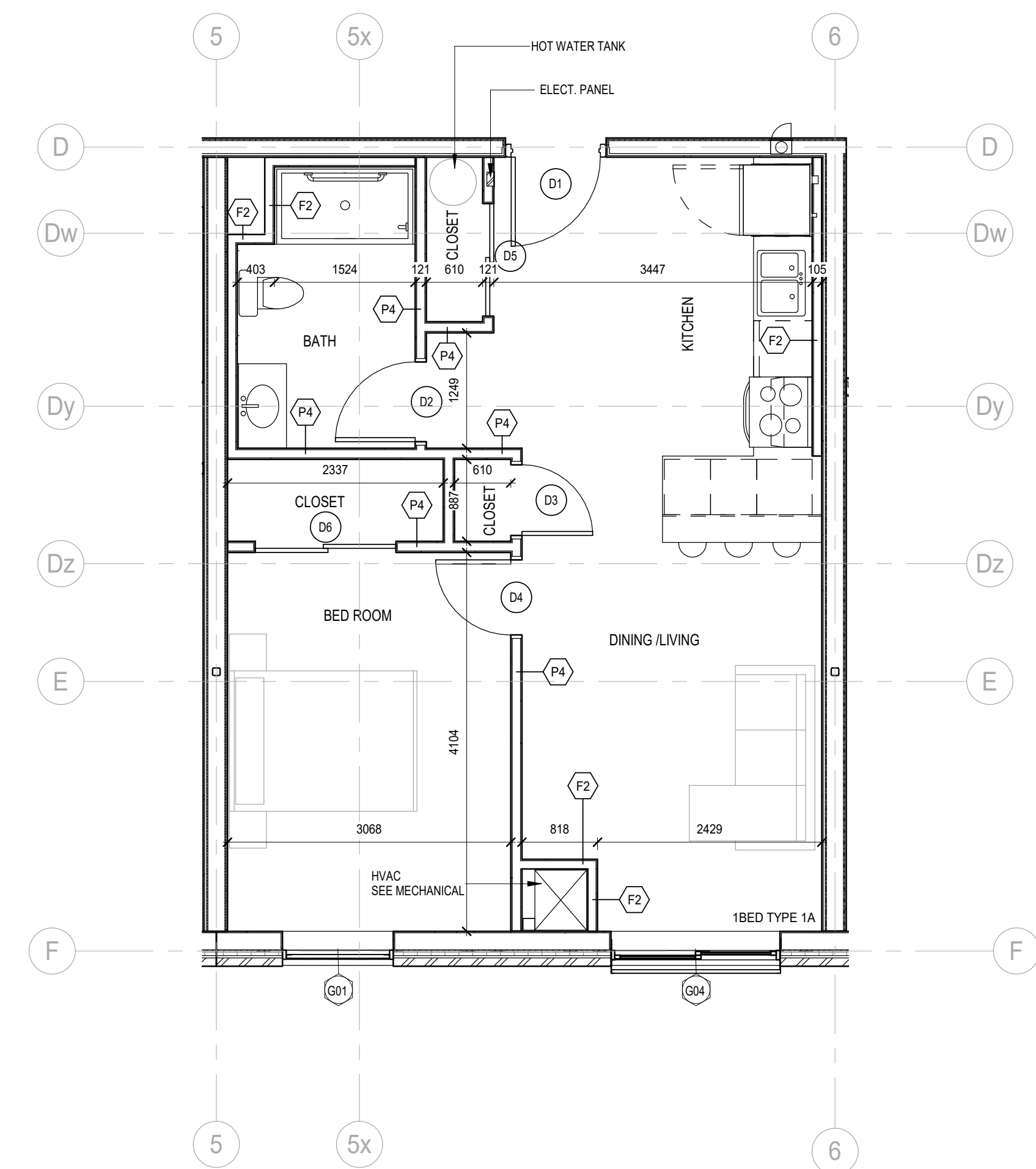
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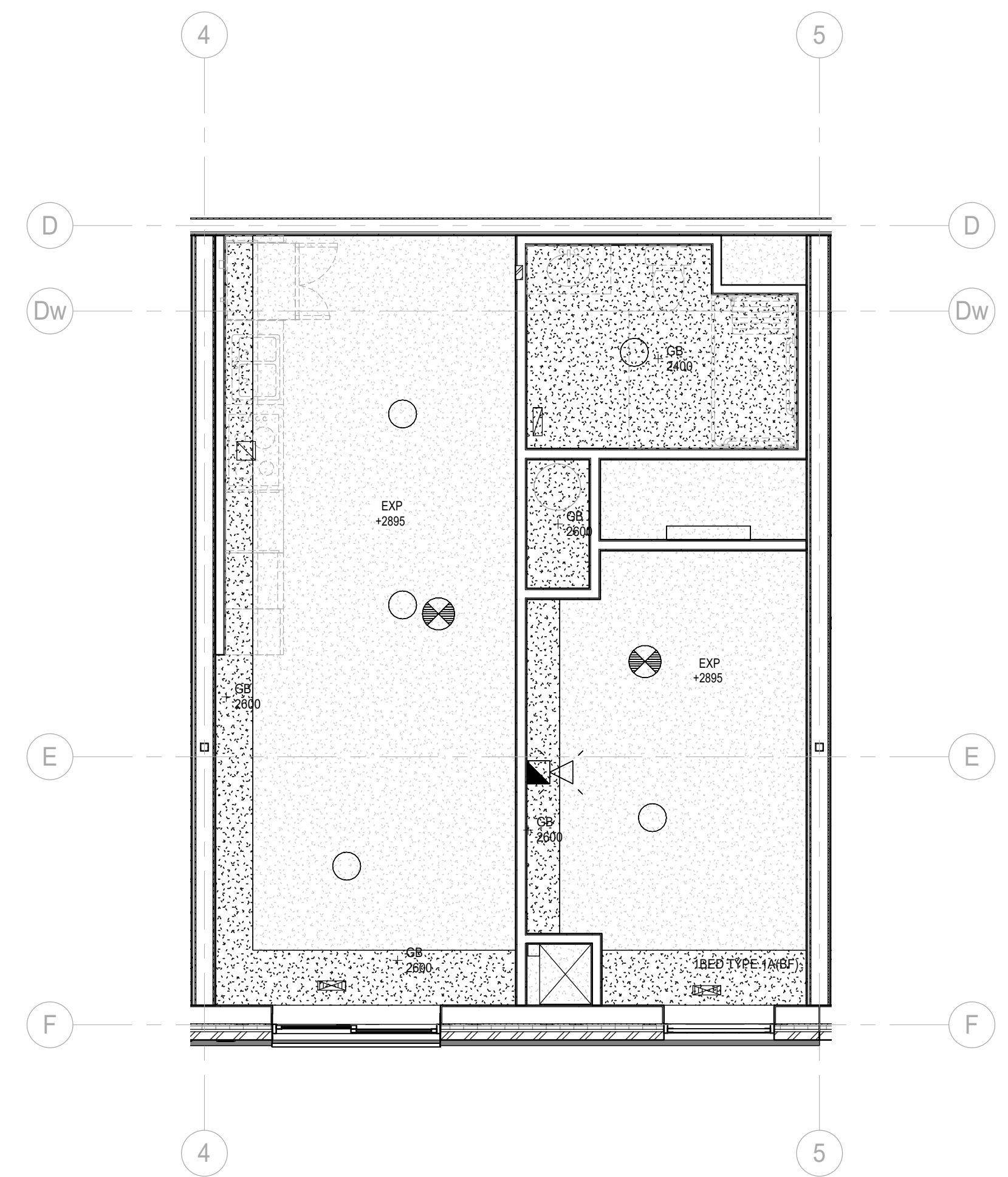
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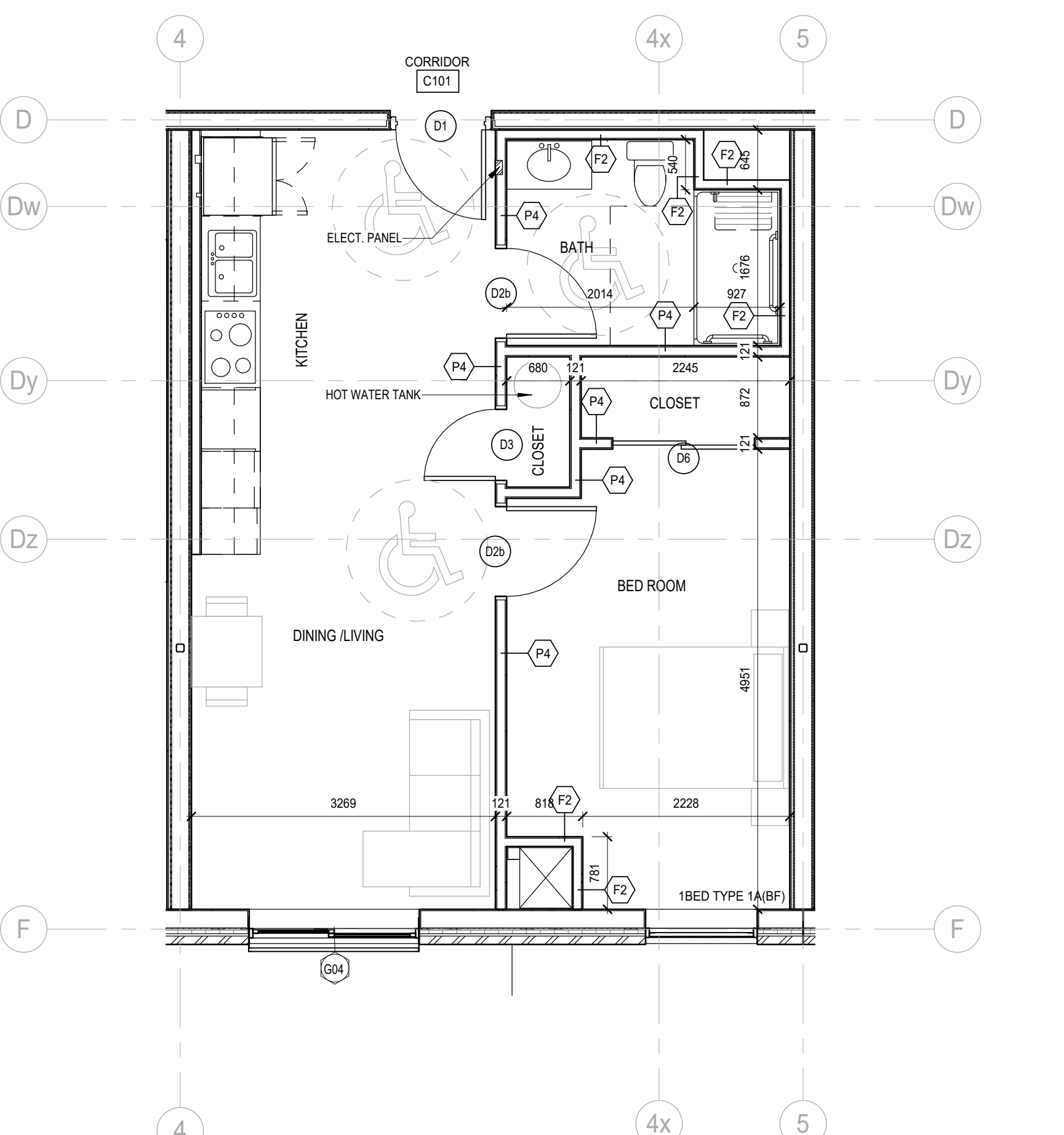
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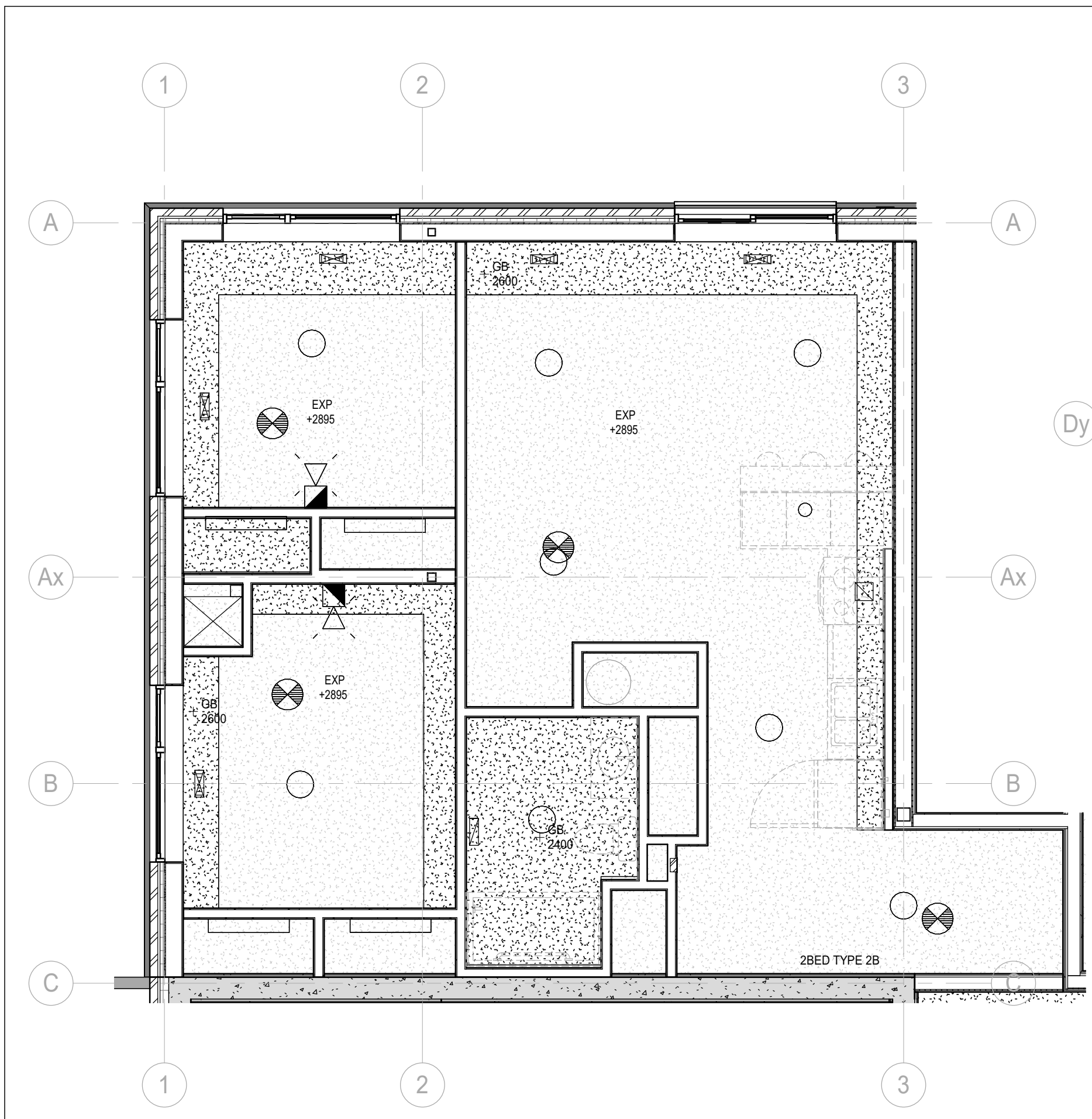
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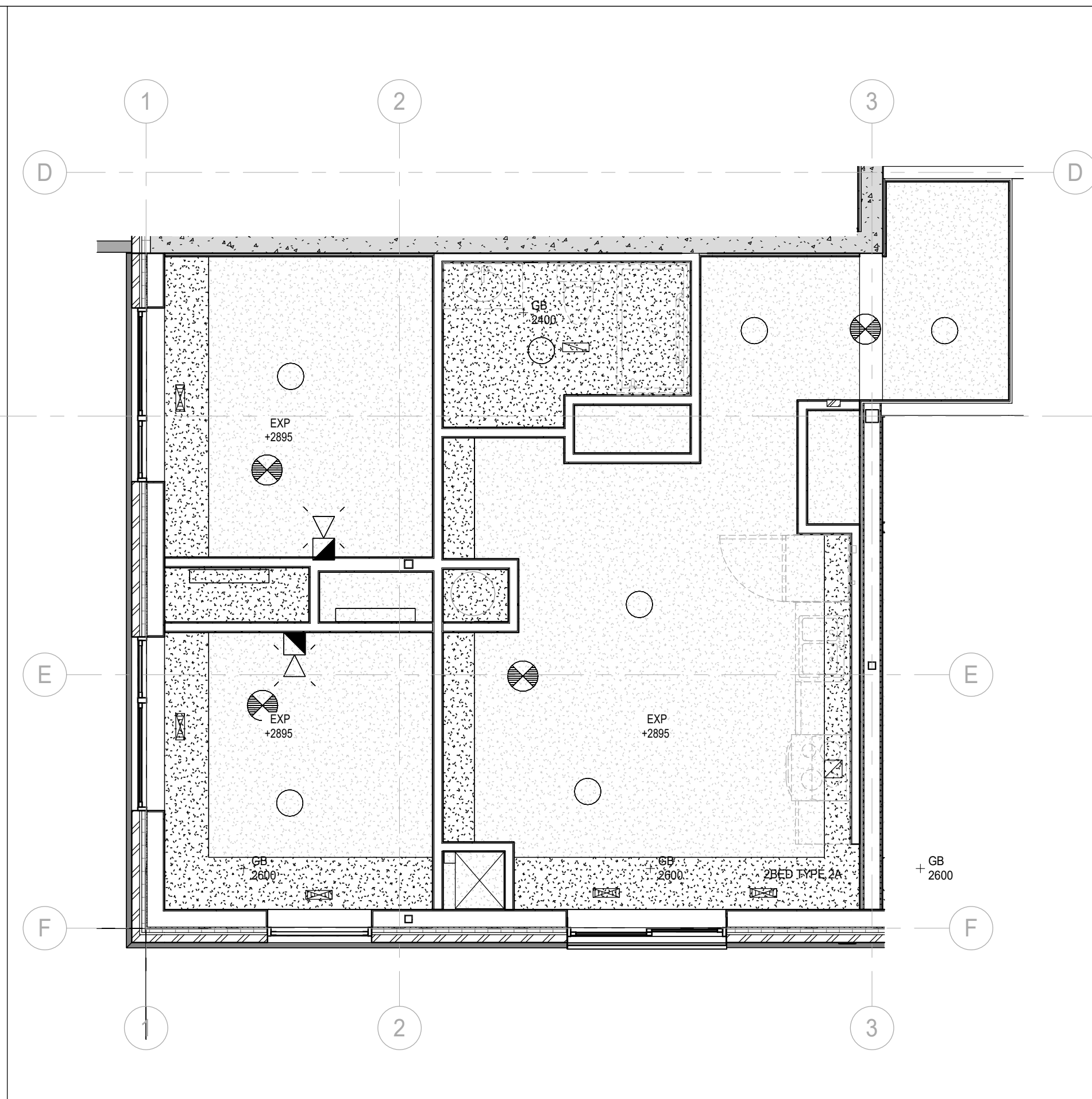
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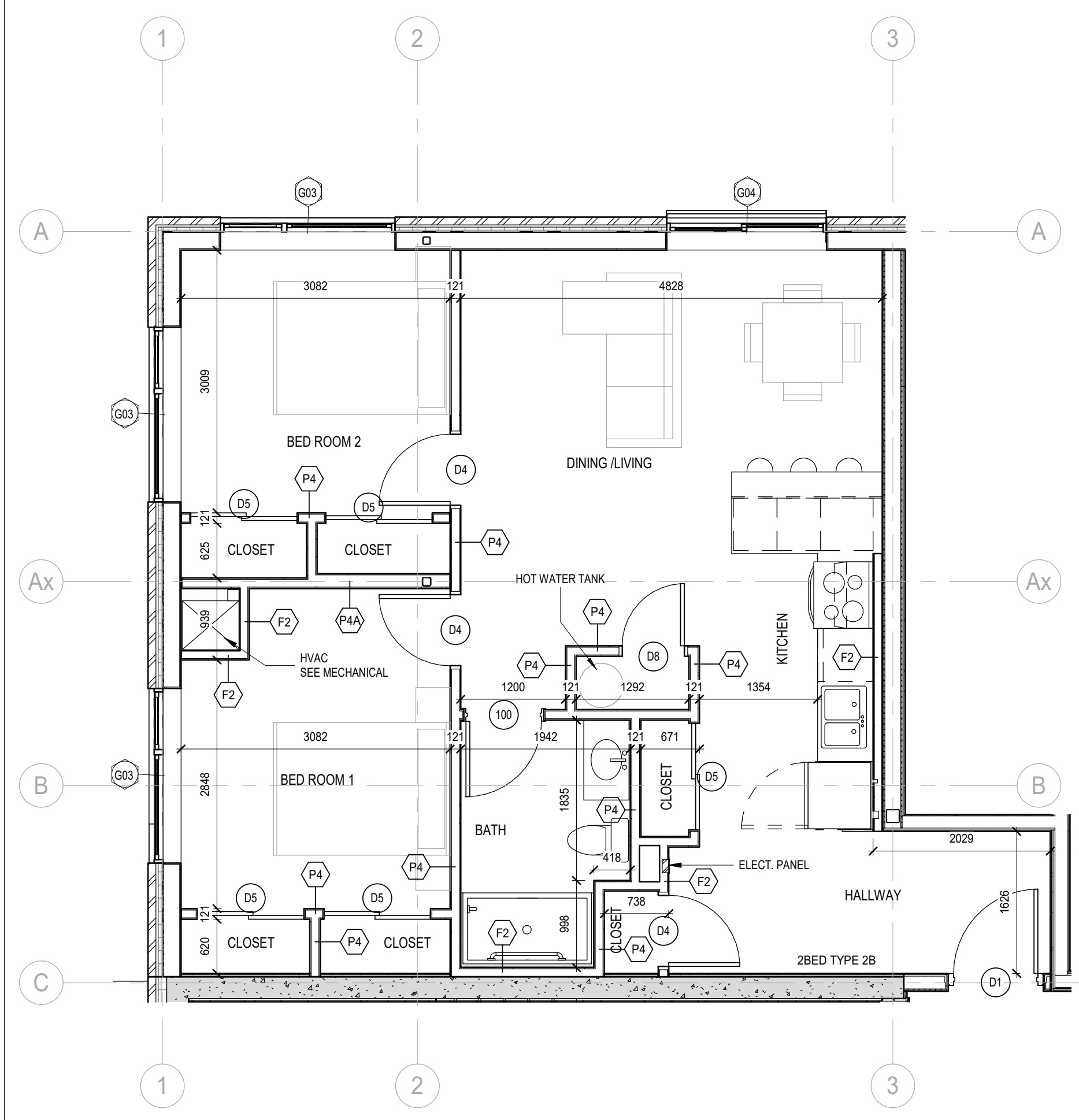
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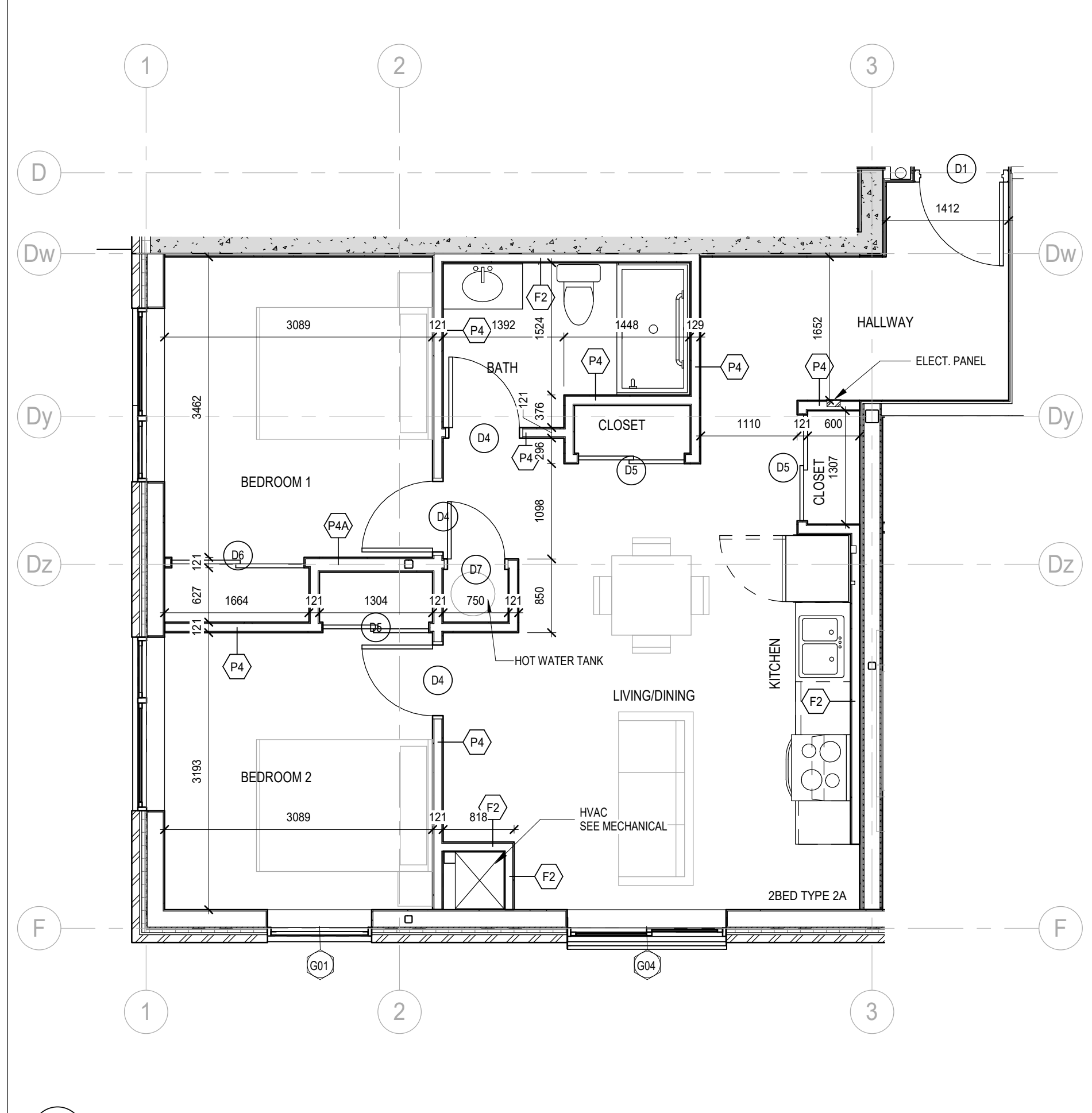
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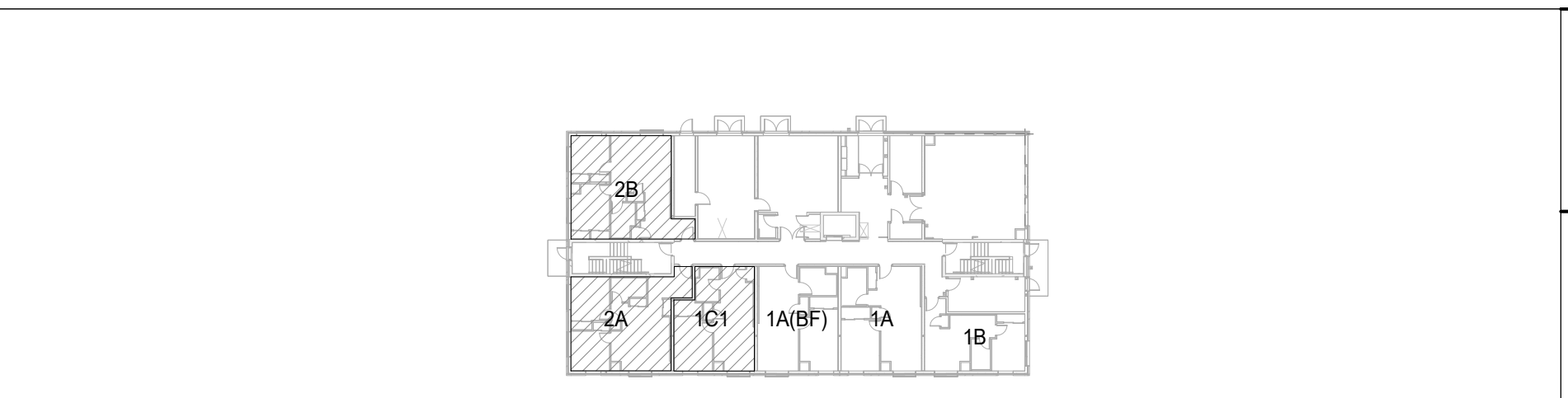
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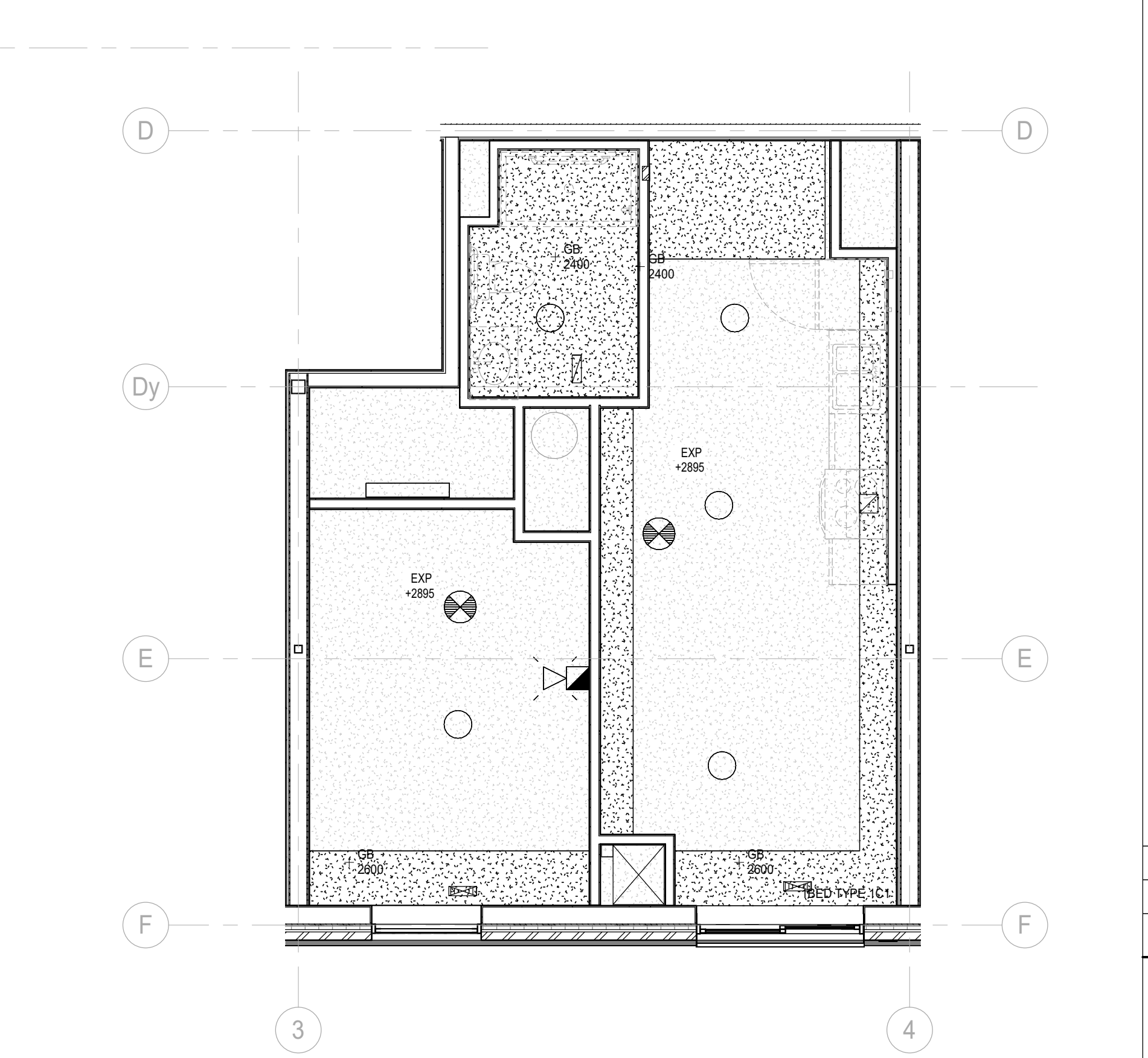
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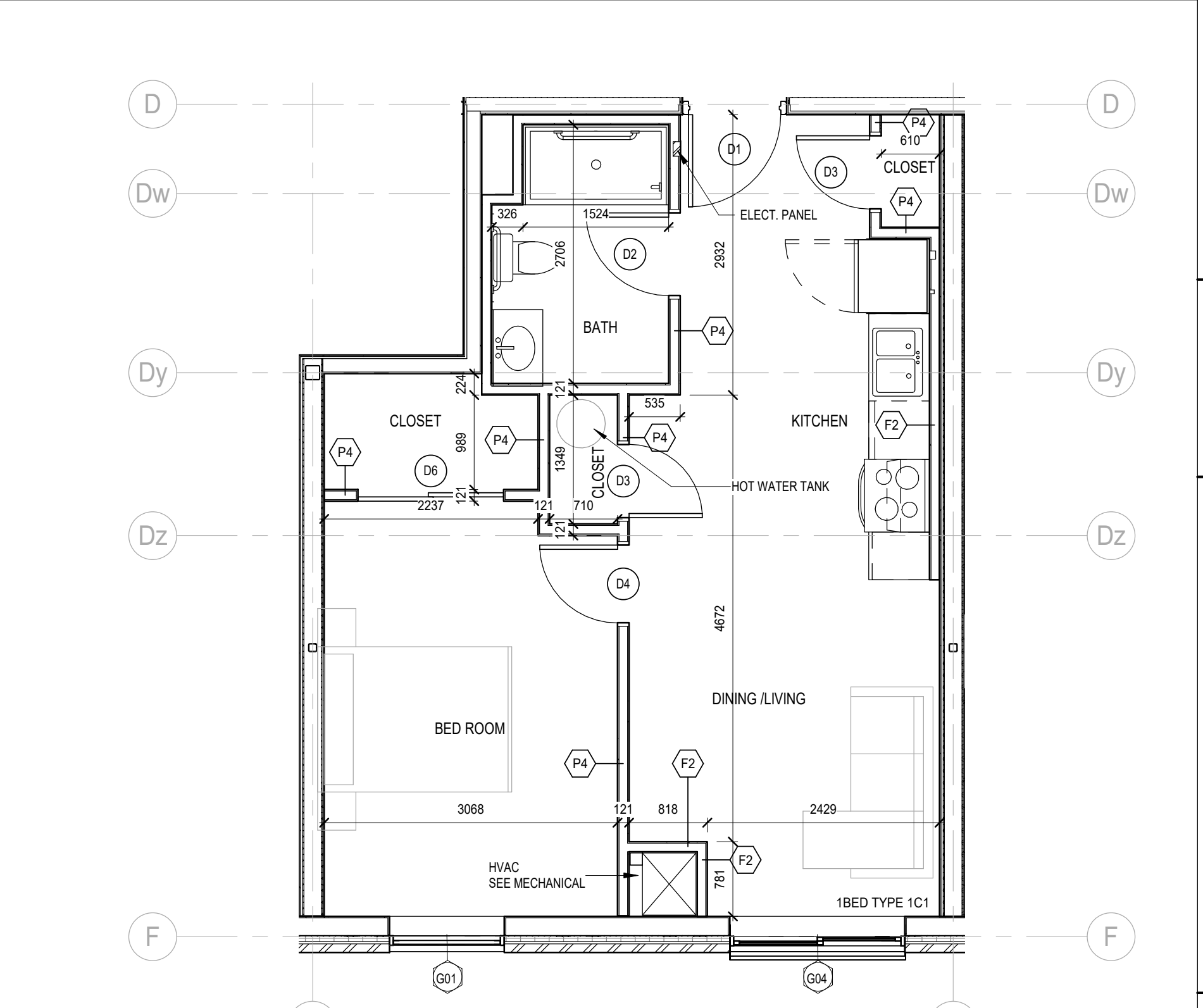
2 TYPE 2A  
A222 1:50



5 KEY PLAN-GF2  
A222 1:500



4 TYPE 1C CEILING  
A222 1:50



1 TYPE 1C1  
A222 1:50

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PROJECT:  
**Mixed-Use Building  
Development (BLDG.#3)  
PHASE 1**

1697 Durham Regional Hwy 2, Courtice,  
ON L1E 2R5  
RH Gay Holdings Co.

DRAWING:  
**UNIT PLANS**



**BARRY BRYAN  
ASSOCIATES**

Architects  
Engineers  
Project Managers

201-250 Water Street  
Whitby Ontario L1N 0G8  
Tel: (905) 686-5258  
Fax: (905) 686-5258  
e-mail: bba@bba-arch.com

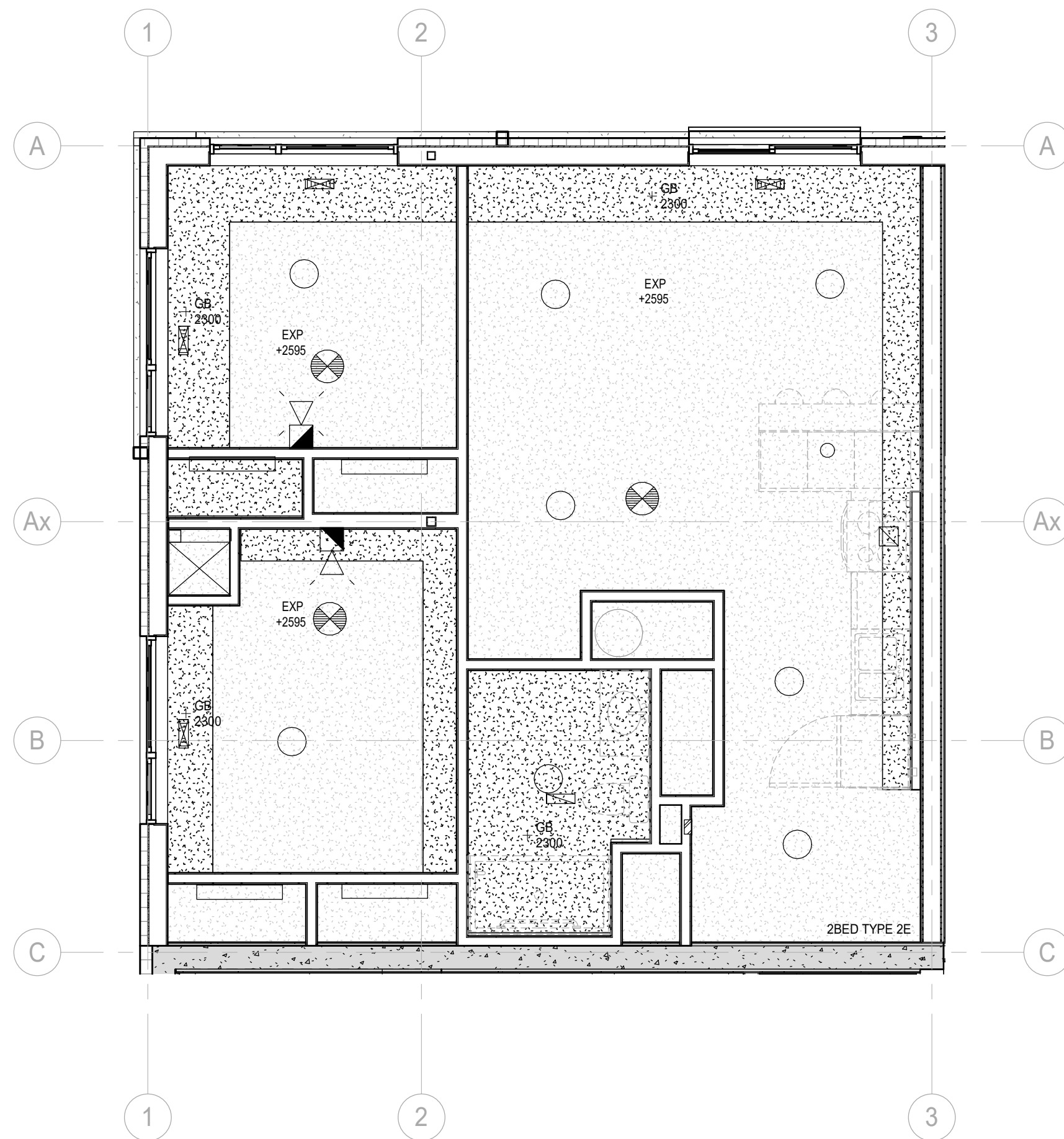


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DRAWN BY: AA/JP  
CHECKED BY: AA/NS

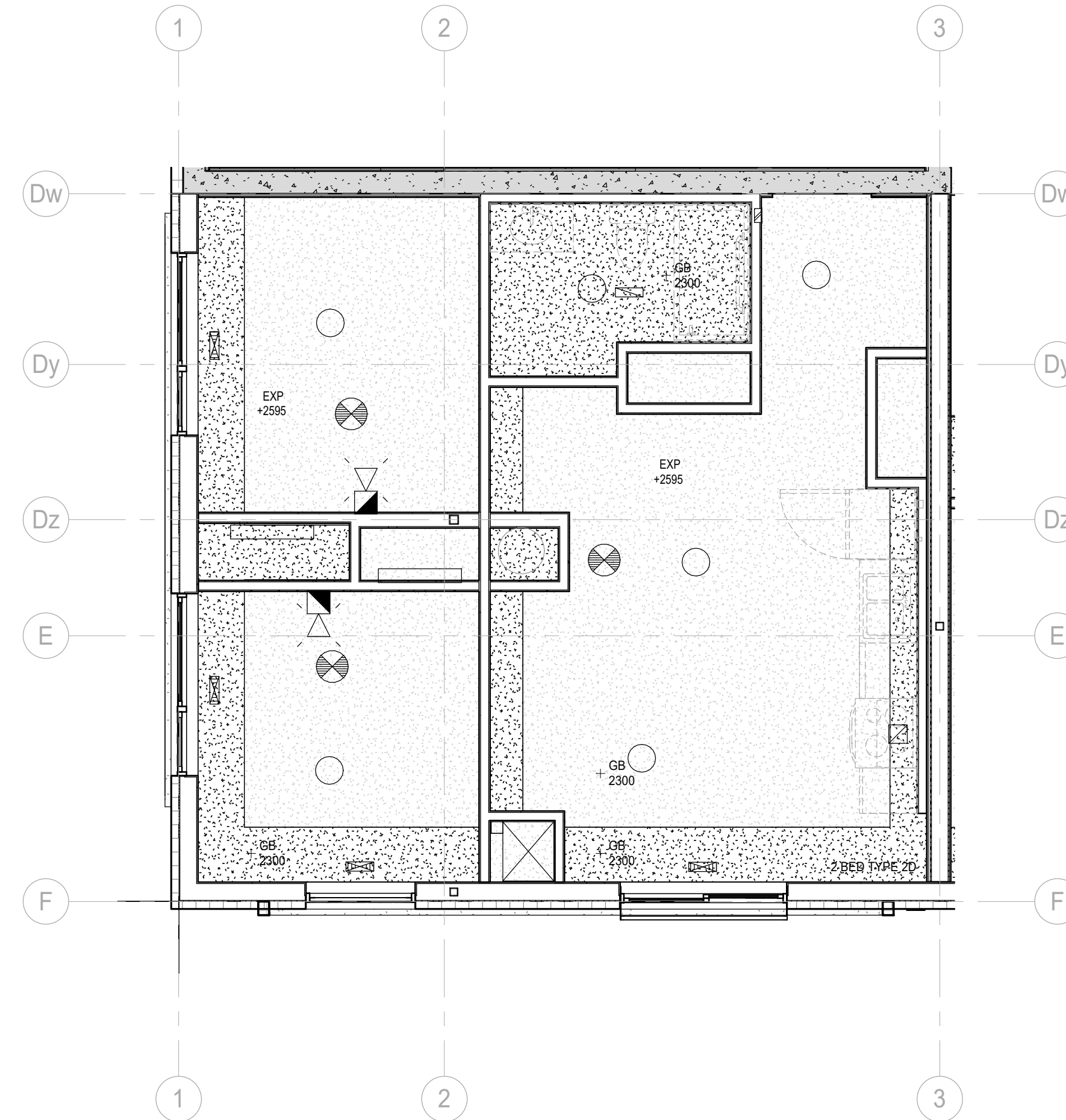
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FILE: Drawings - Current - CECC.RVT  
PROJECT NO: 21046  
DRAWING NO: A222

**21046** **A222**

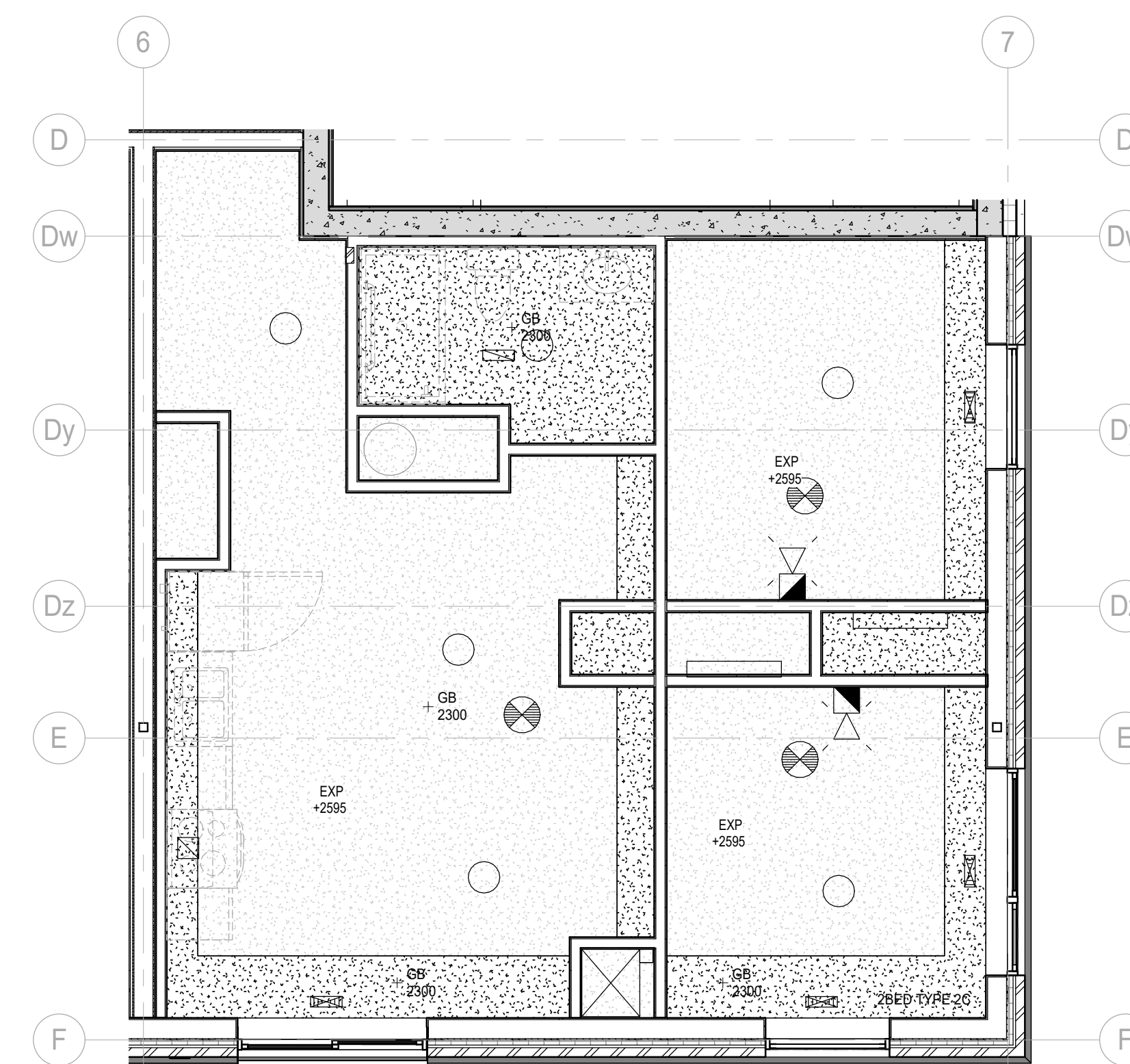
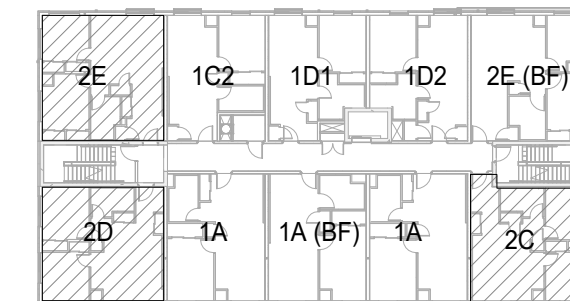


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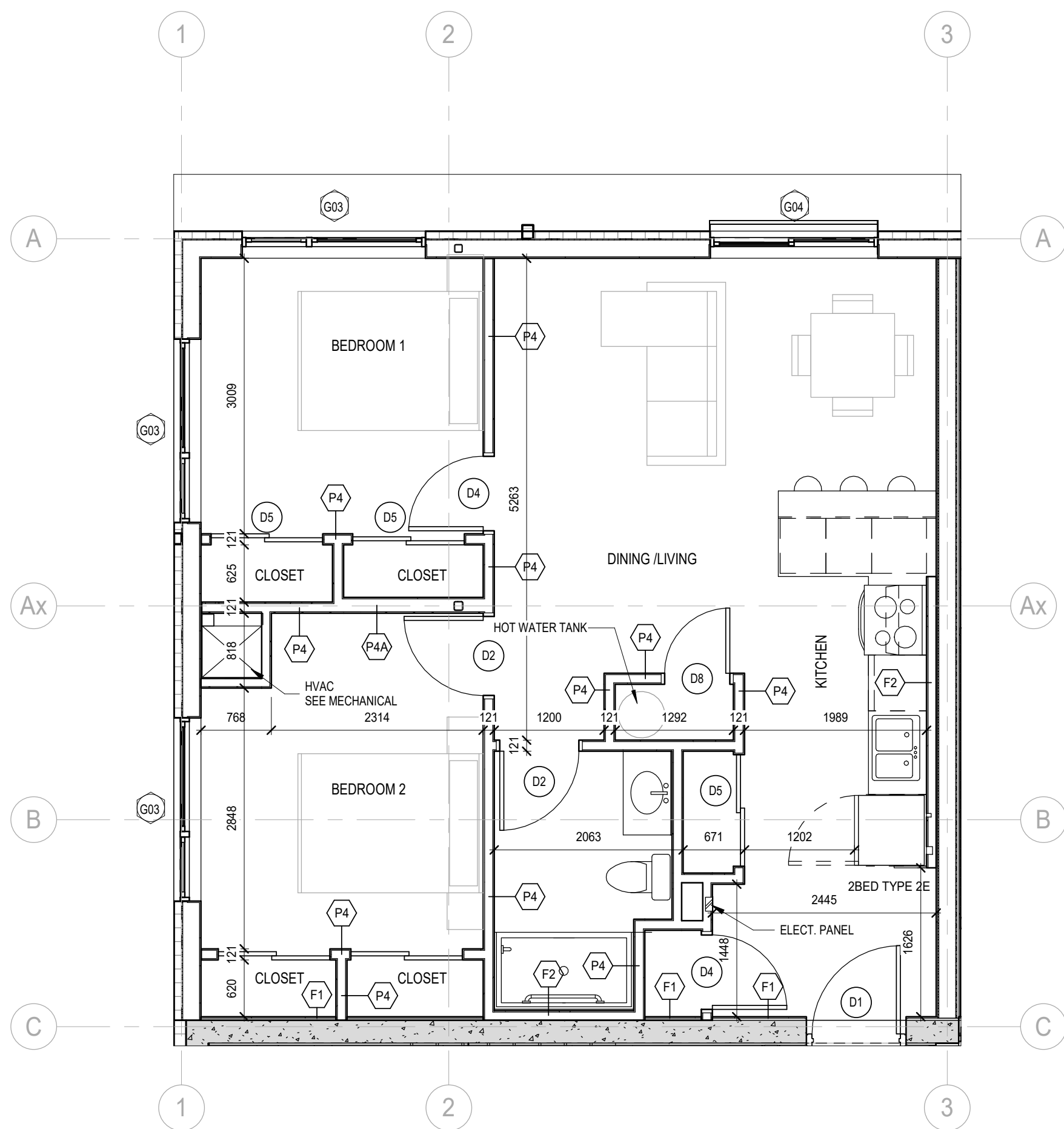


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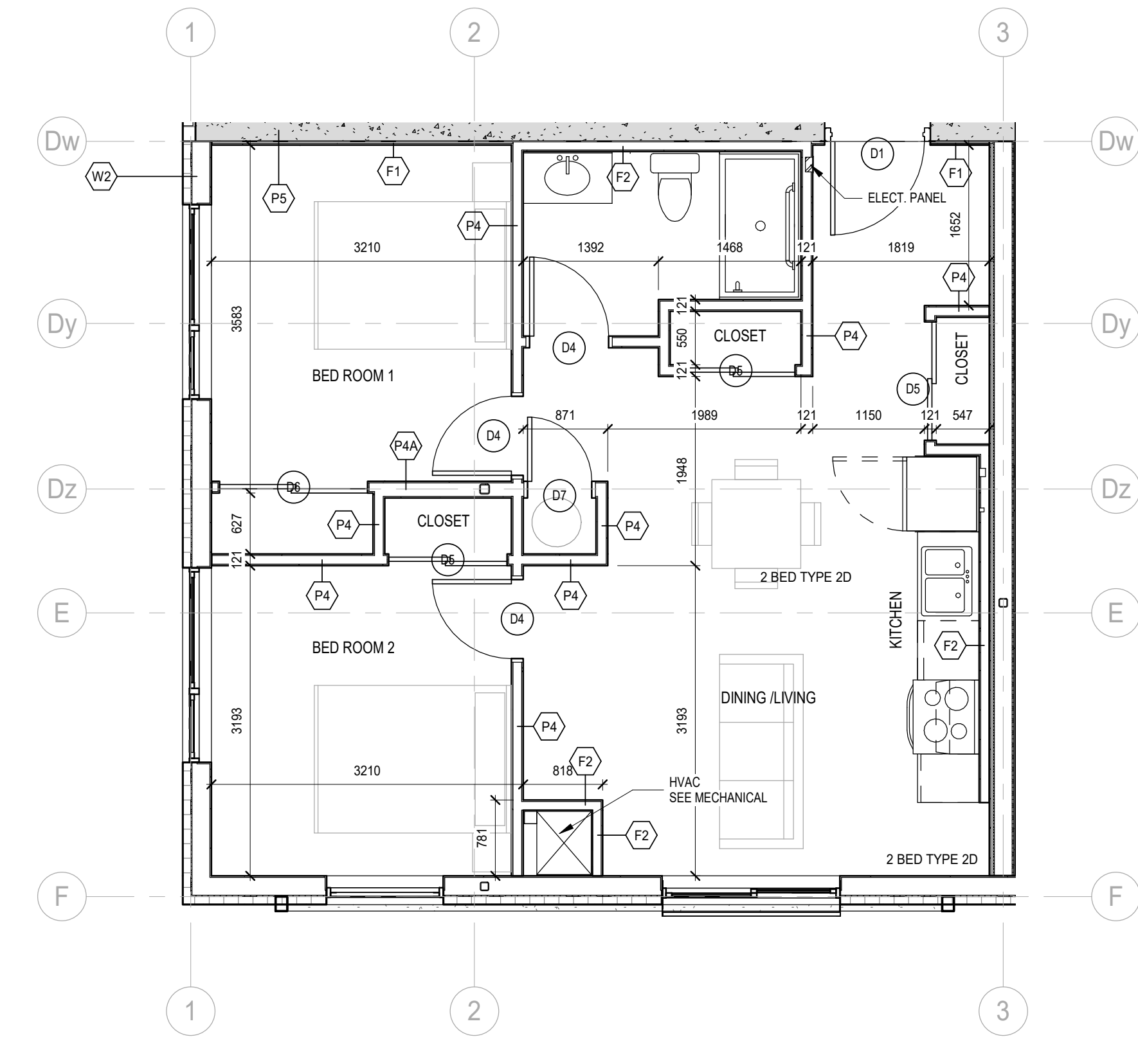
1 KEY PLAN-2nd & 3rd  
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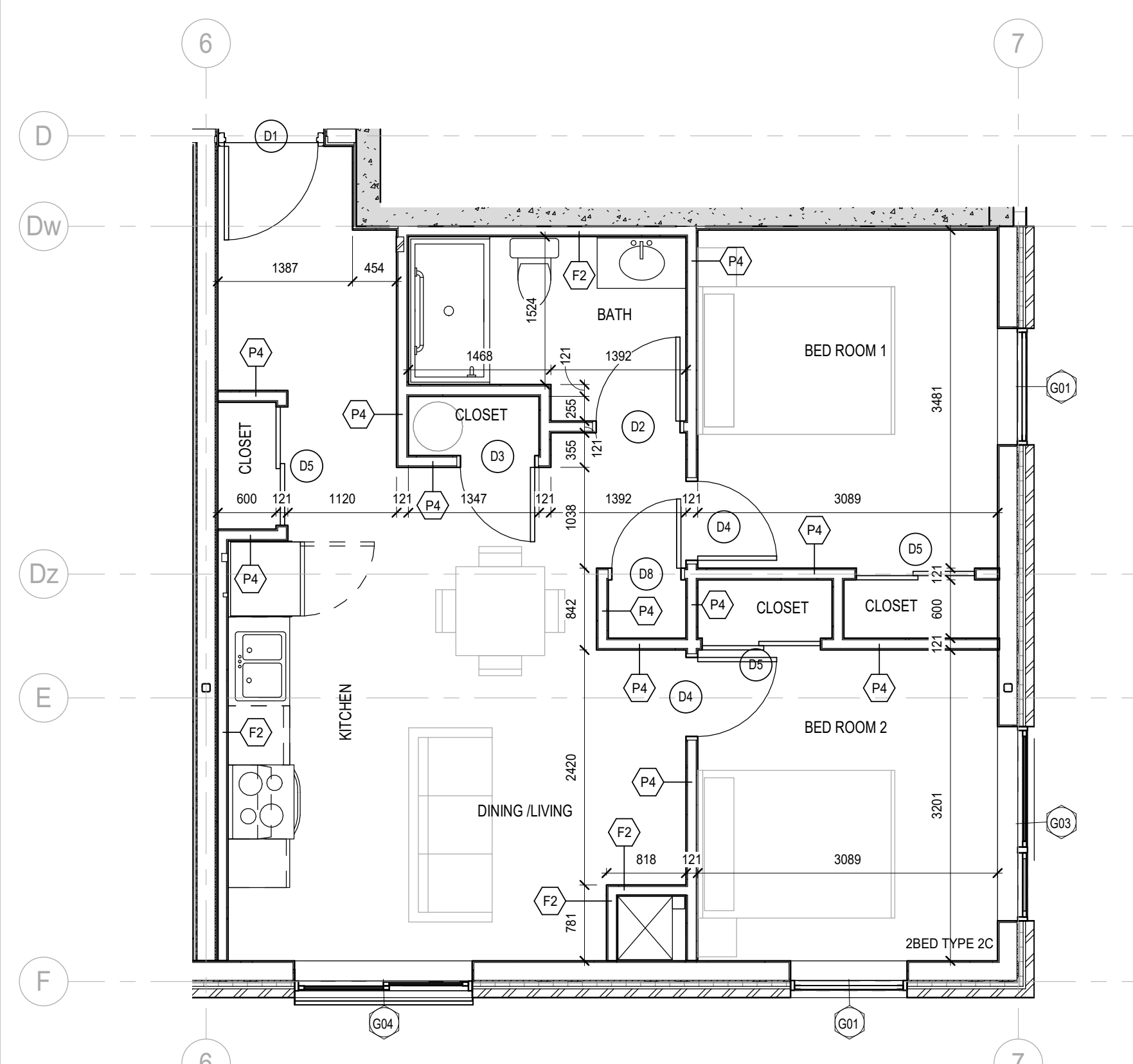
2 TYPE 2C CEILING  
1:50



4 TYPE 2E  
1:50



3 TYPE 2D  
1:50



5 TYPE 2C  
1:50

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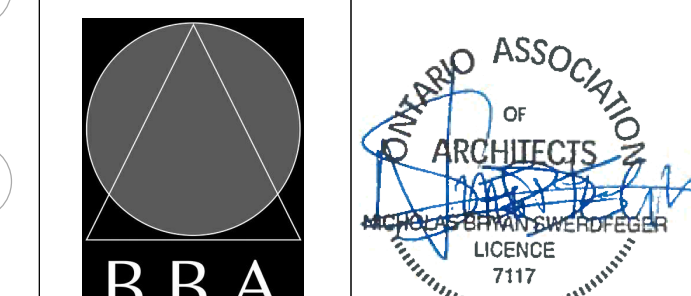
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PROJECT:  
**Mixed-Use Building  
Development (BLDG.#3)  
PHASE 1**

1697 Durham Regional Hwy 2, Courtice,  
ON L1E 2R5  
RH Gay Holdings Co.

DRAWING:  
**UNIT PLANS**



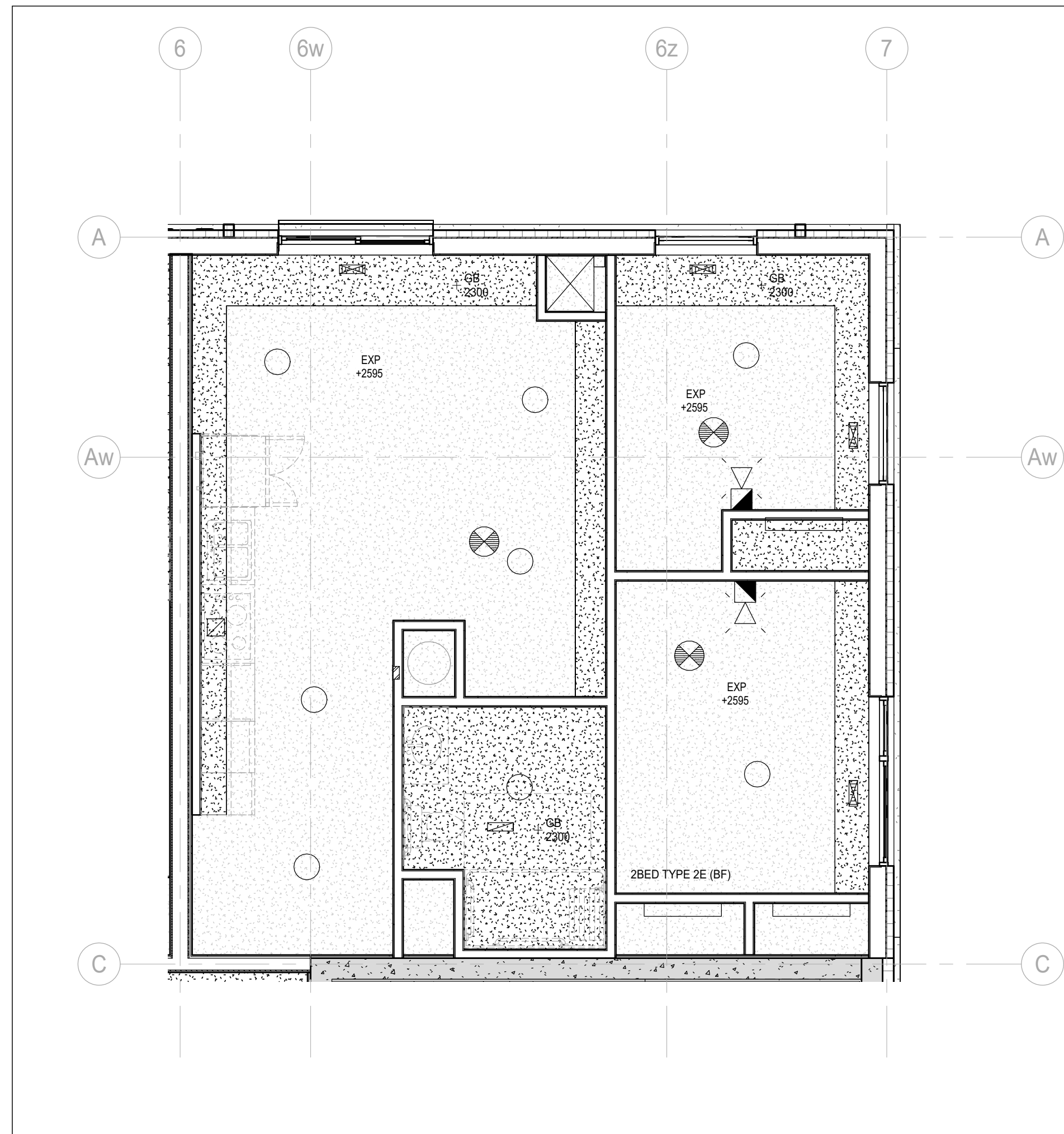
**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers

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DRAWN BY: AA/JP  
CHECKED BY: AA/NS  
DATE: 2023-11-03  
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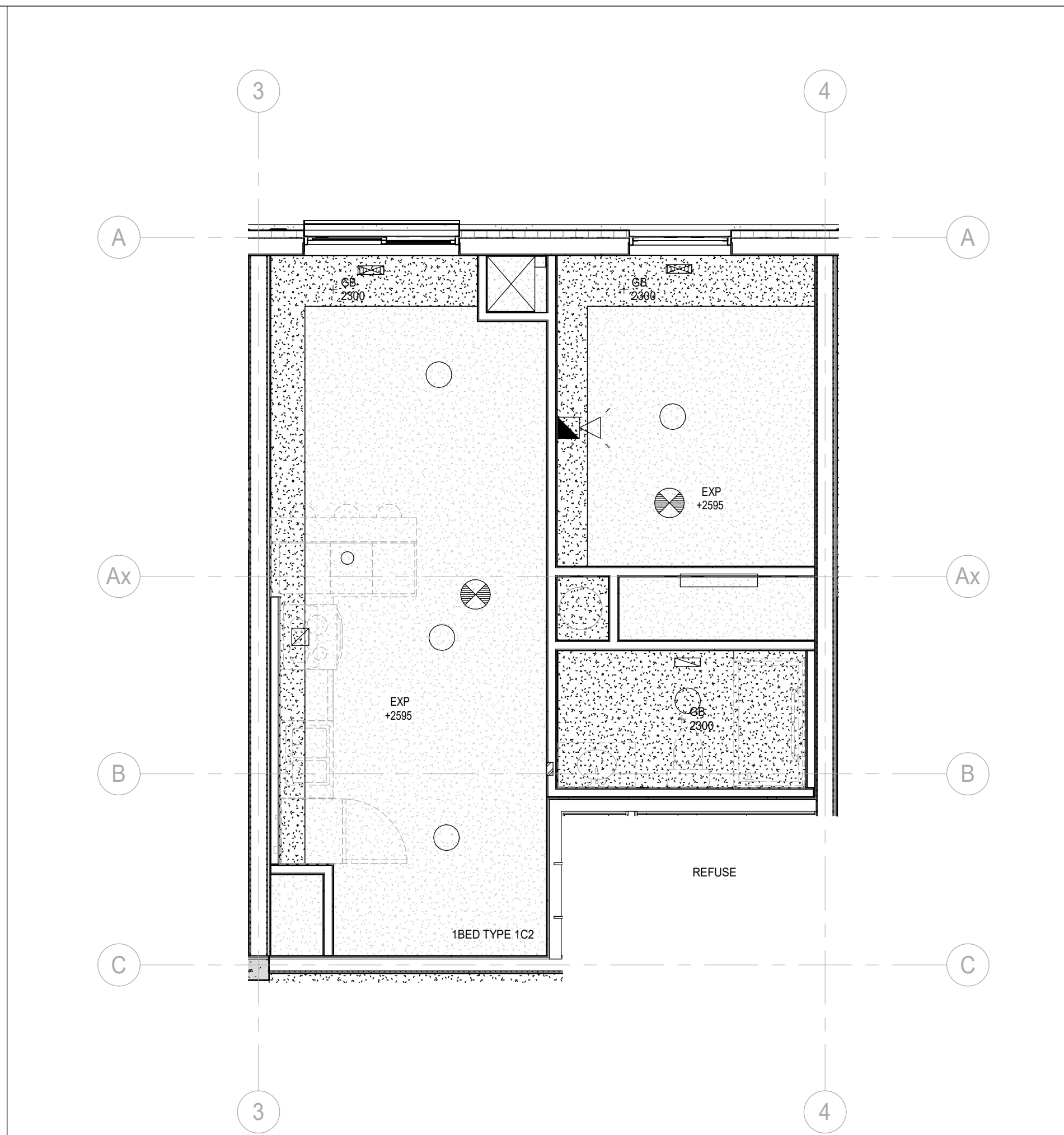
201-250 Water Street  
Whitby Ontario L1N 0G8  
Tel: (905) 686-5252  
Fax: (905) 686-5256  
e-mail: bba@bba-arch.com

PROJECT NO:  
**21046**

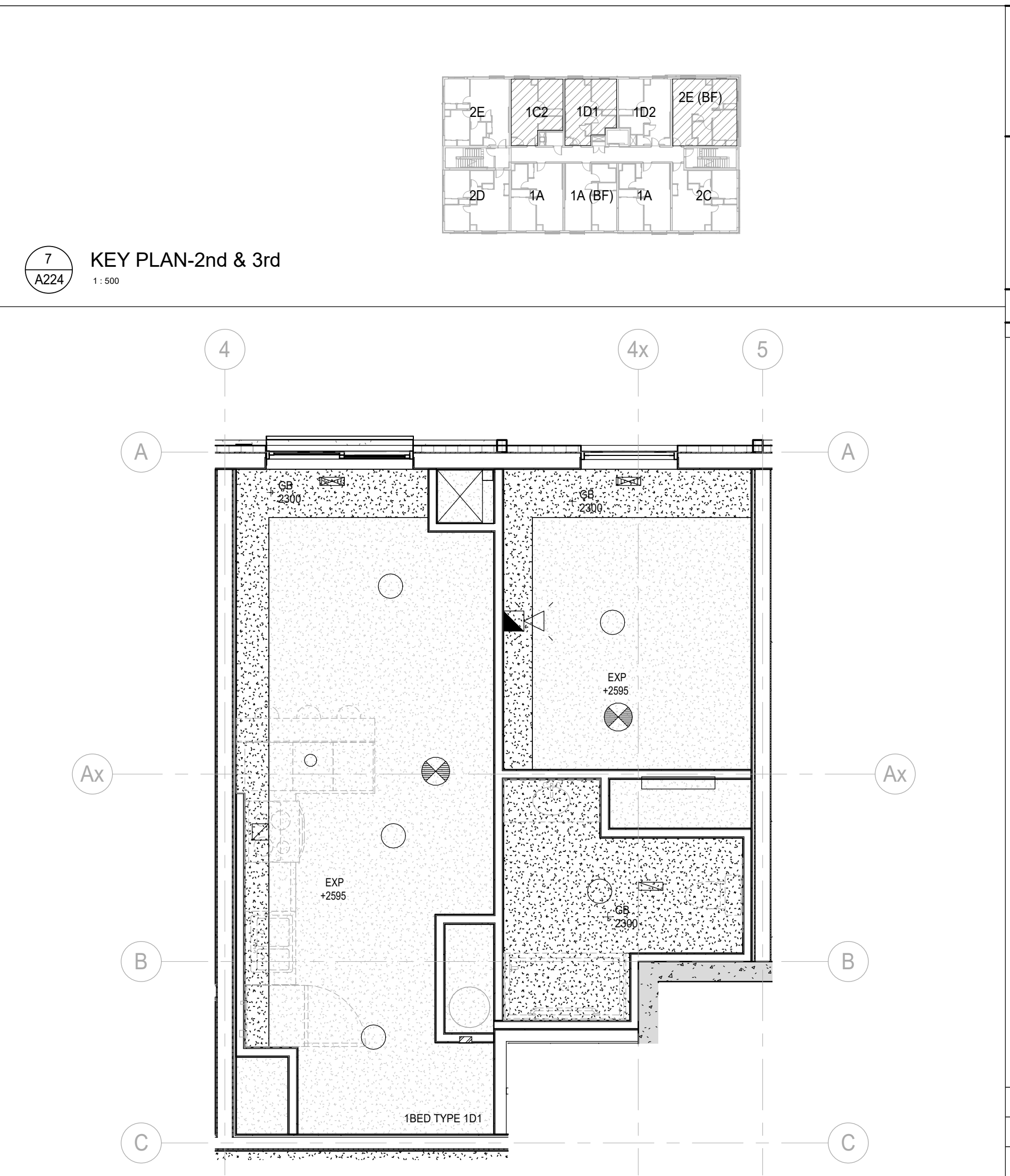
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6 TYPE 2E(BF) CEILING  
A224 1:50

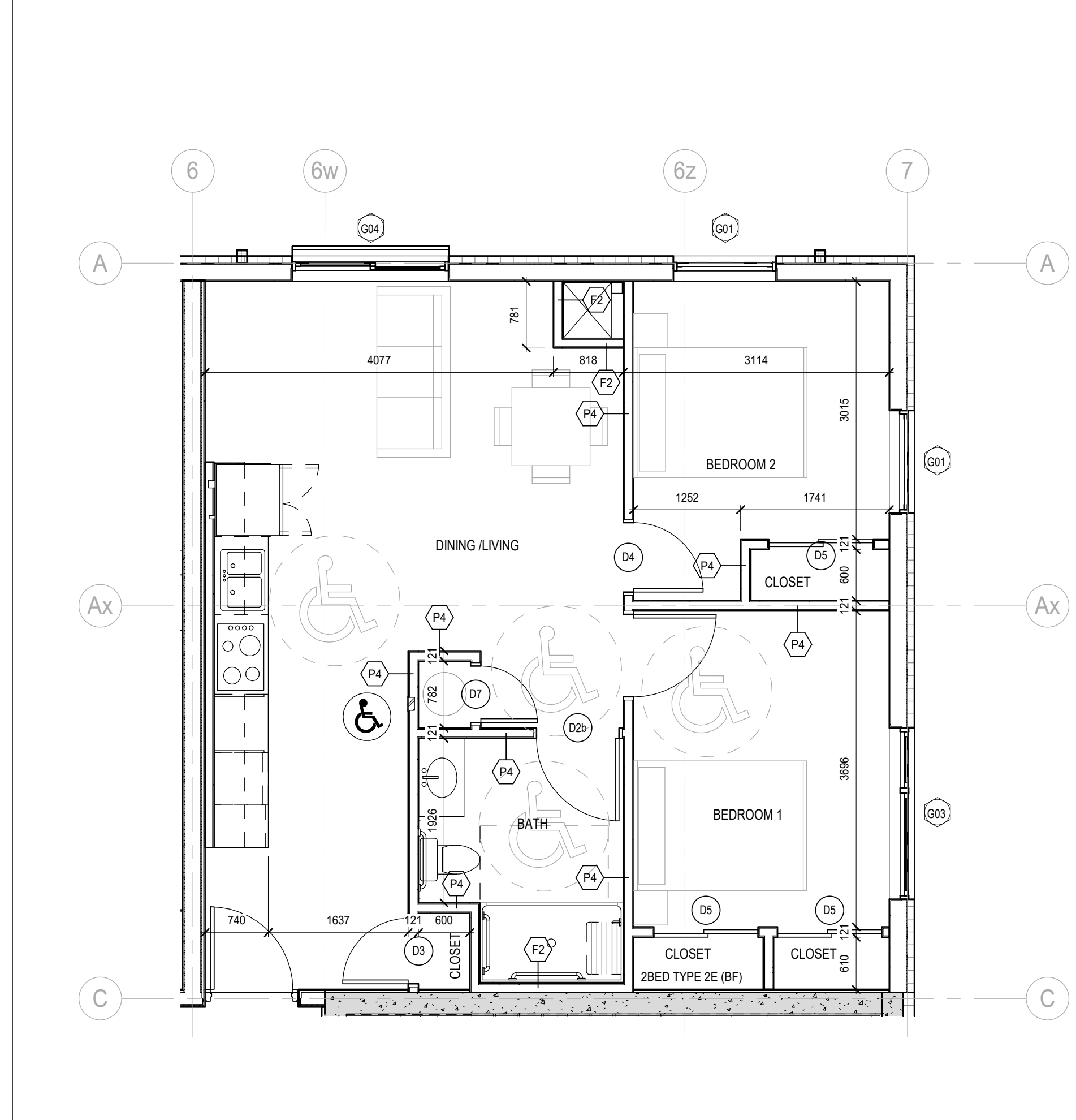


5 TYPE 1C2 CEILING  
A224 1:50

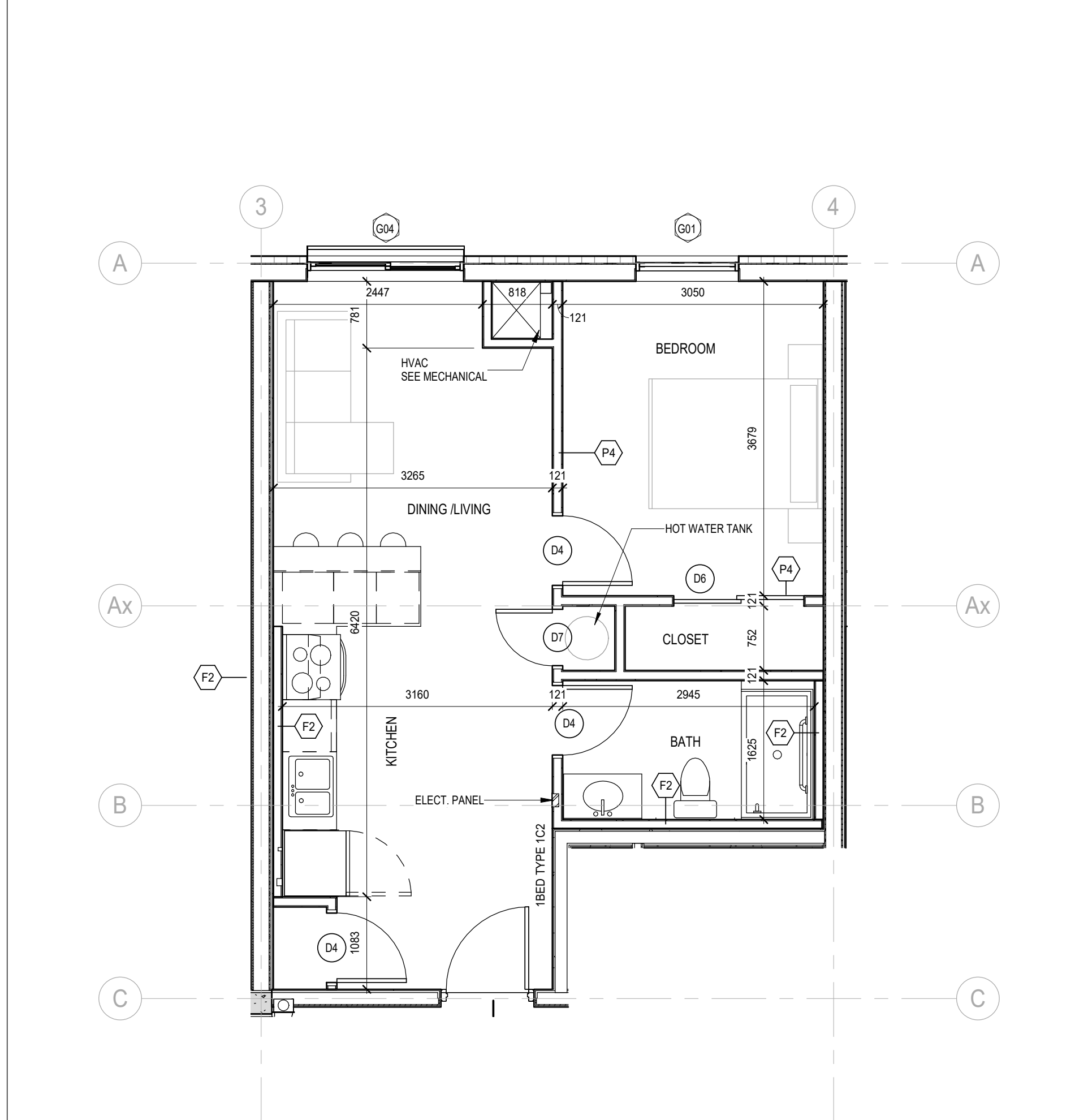


7 KEY PLAN-2nd & 3rd  
A224 1:500

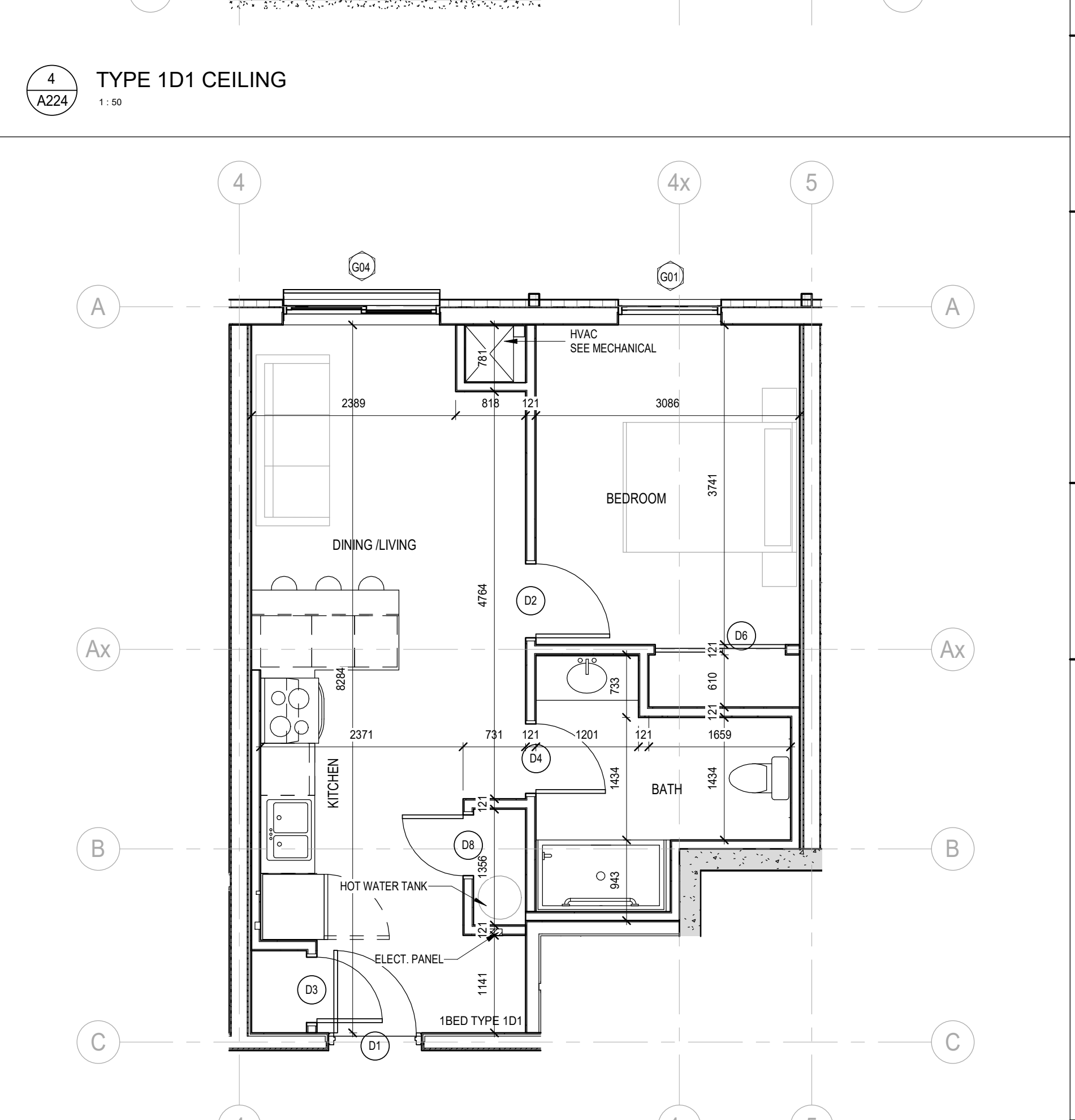
4 TYPE 1D1 CEILING  
A224 1:50



3 TYPE 2E(BF)  
A224 1:50



2 TYPE 1C2  
A224 1:50



1 TYPE 1D1 1D2 & 1D3 ARE SIMILAR-MIRRORED  
A224 1:50

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PROJECT:  
**Mixed-Use Building  
Development (BLDG.#3)  
PHASE 1**  
  
1697 Durham Regional Hwy 2, Courtice,  
ON L1E 2R5  
RH Gay Holdings Co.

DRAWING:  
**UNIT PLANS**



**BARRY BRYAN  
ASSOCIATES**

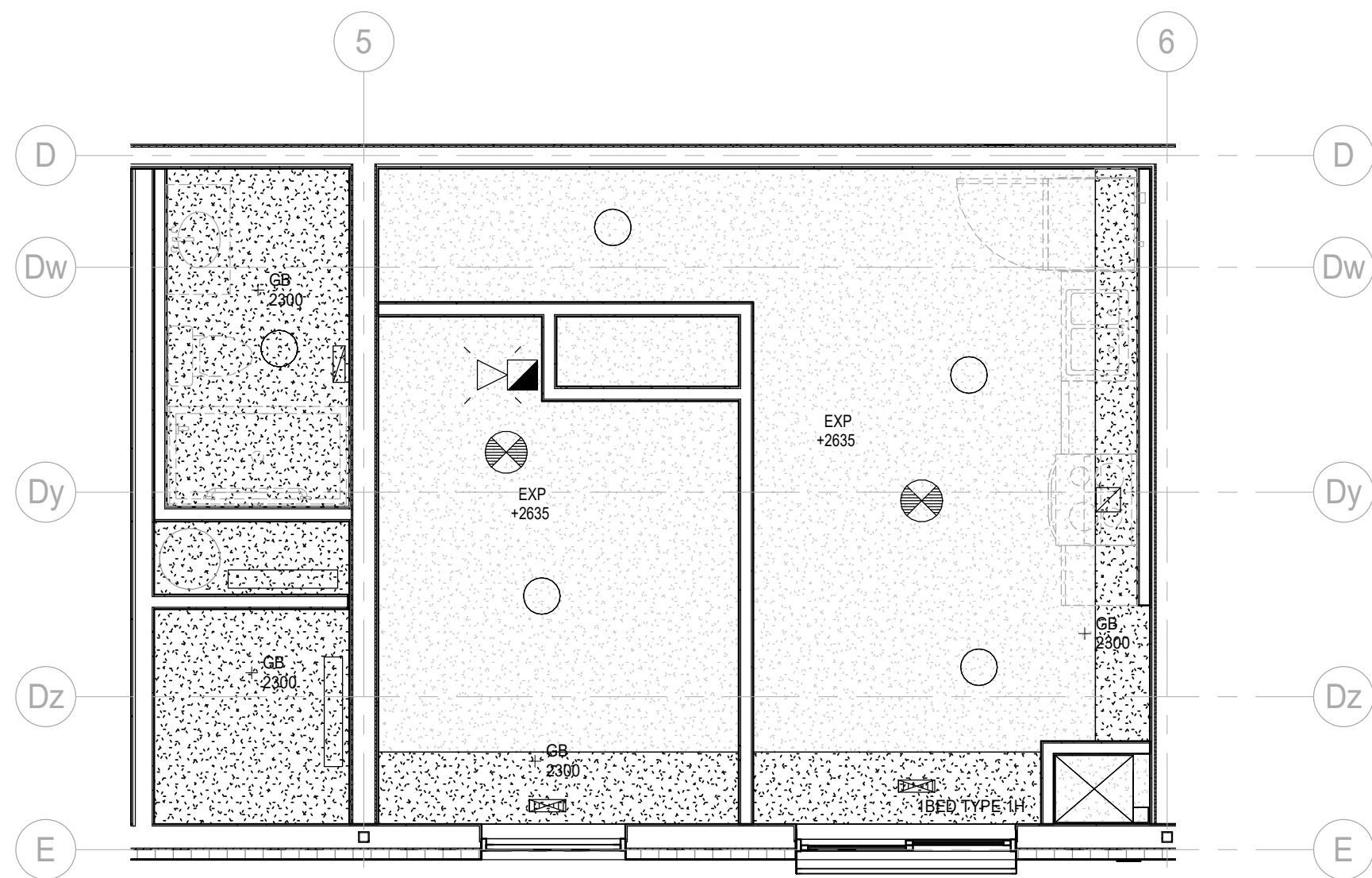
Architects  
Engineers  
Project Managers

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Whitby Ontario L1N 0G6  
Tel: (905) 666-5252  
Fax: (905) 666-5256  
e-mail: bba@bba-arch.com

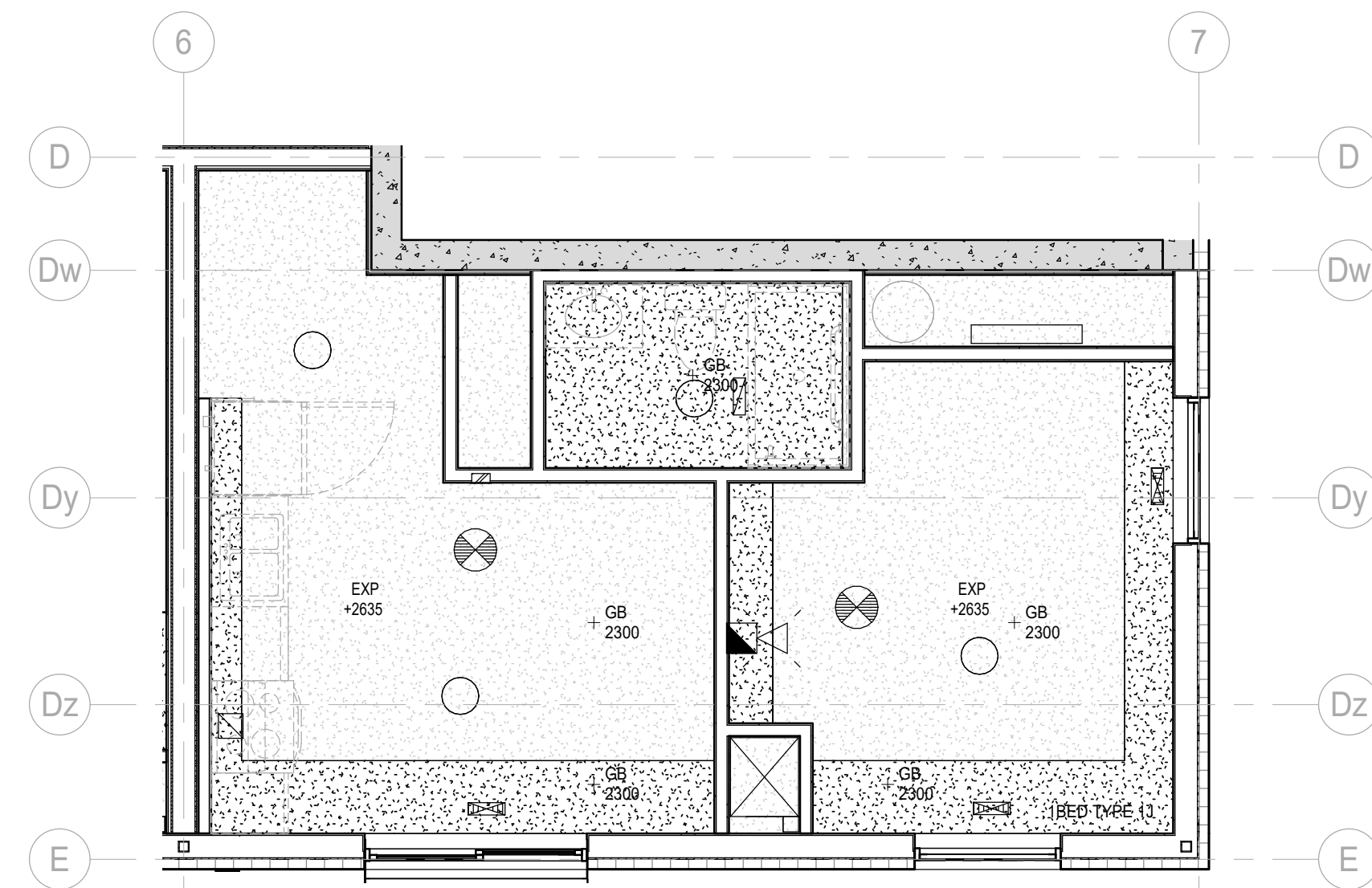


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CHECKED BY: AA/NS  
DATE: 2023-11-03  
SCALE: As Indicated  
FILE: Drawings - Current - CECC.RVT

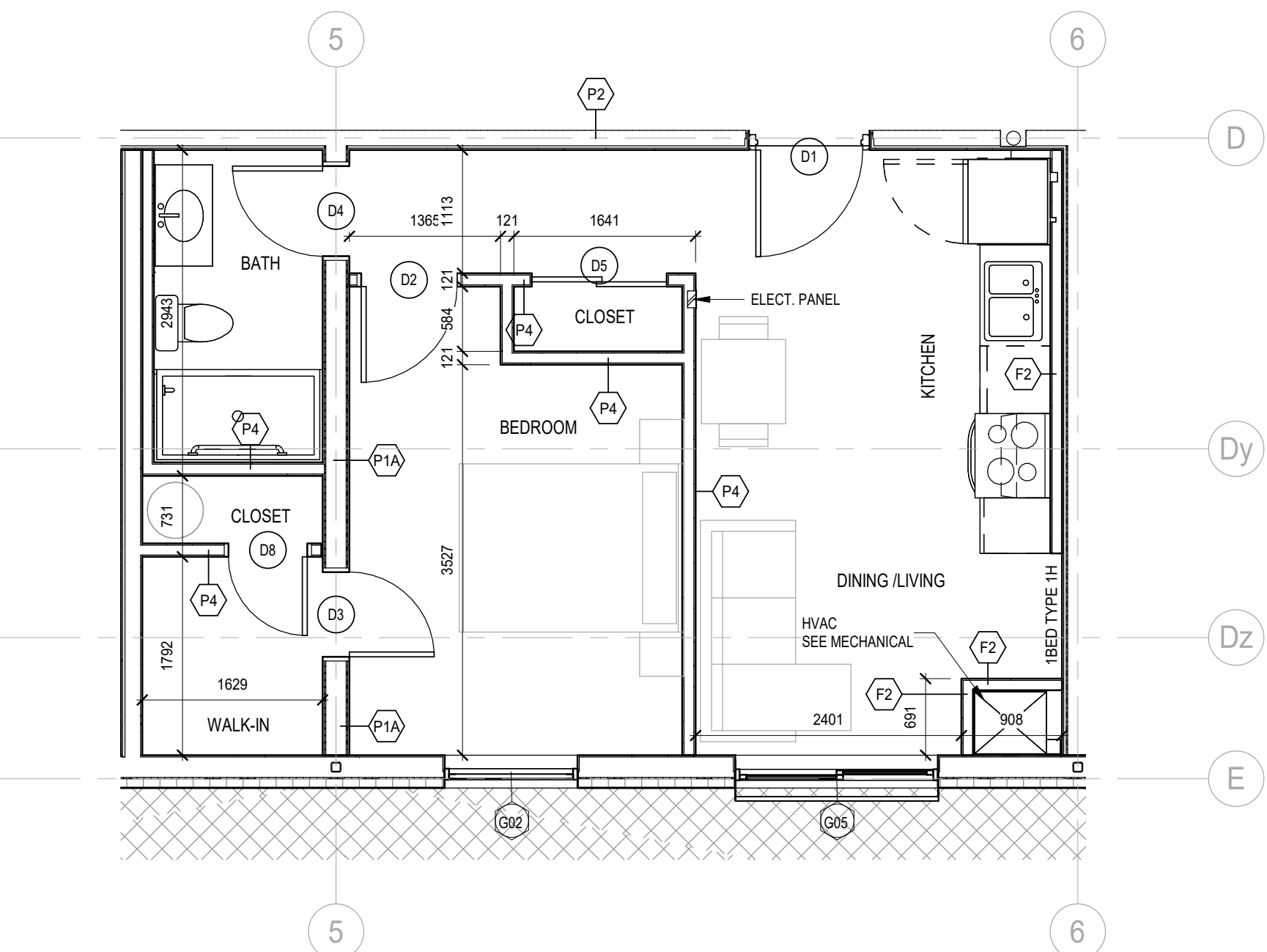
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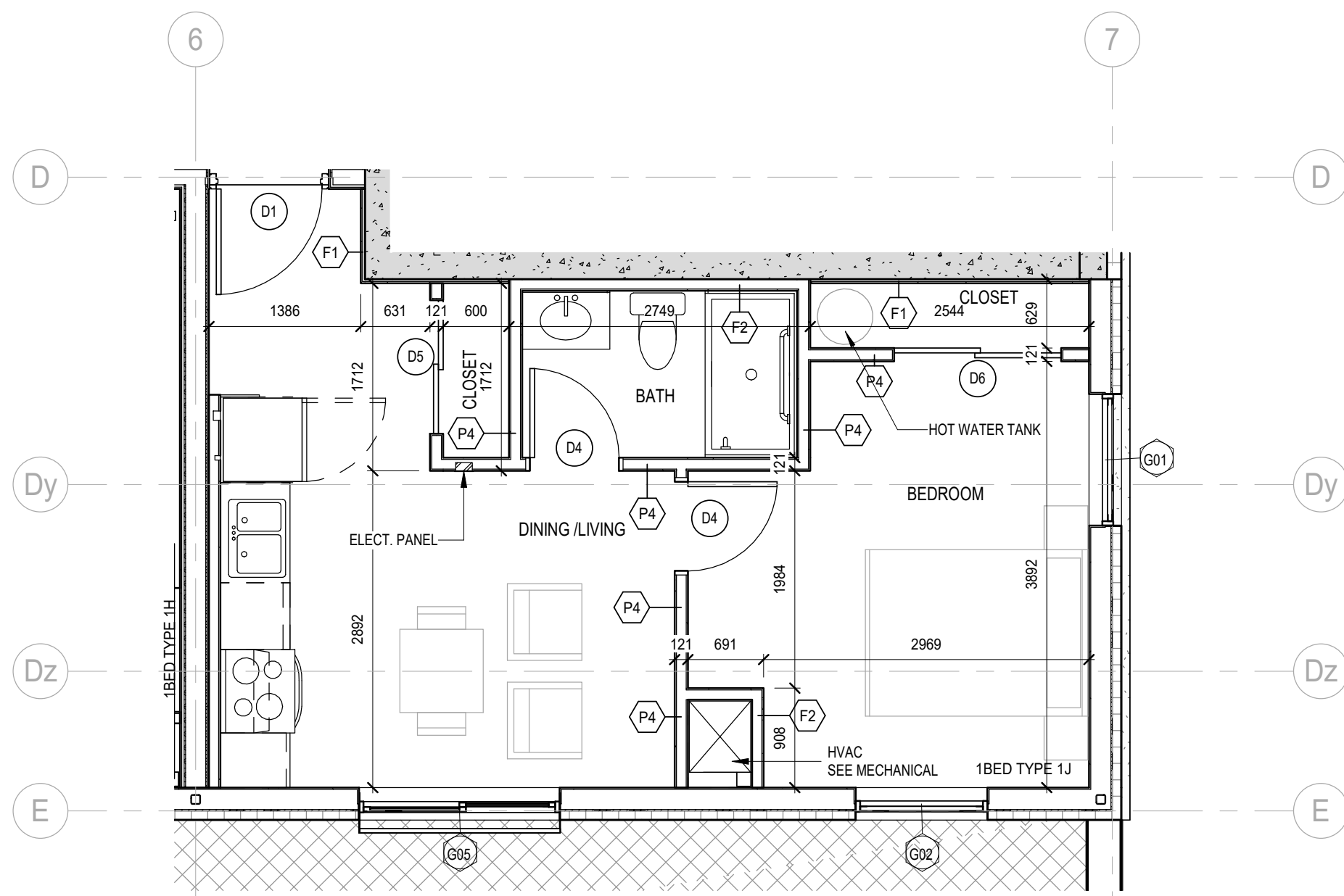
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A225 1:50



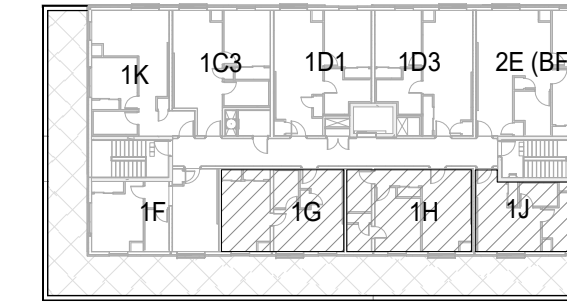
7 TYPE 1J CEILING  
A225 1:50



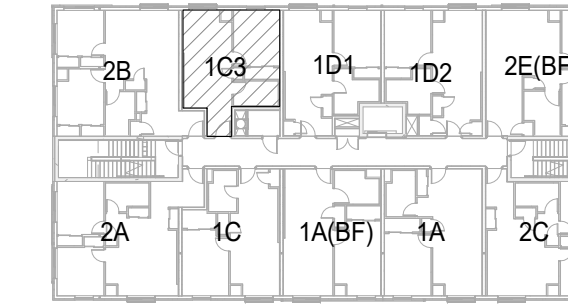
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A225 1:50



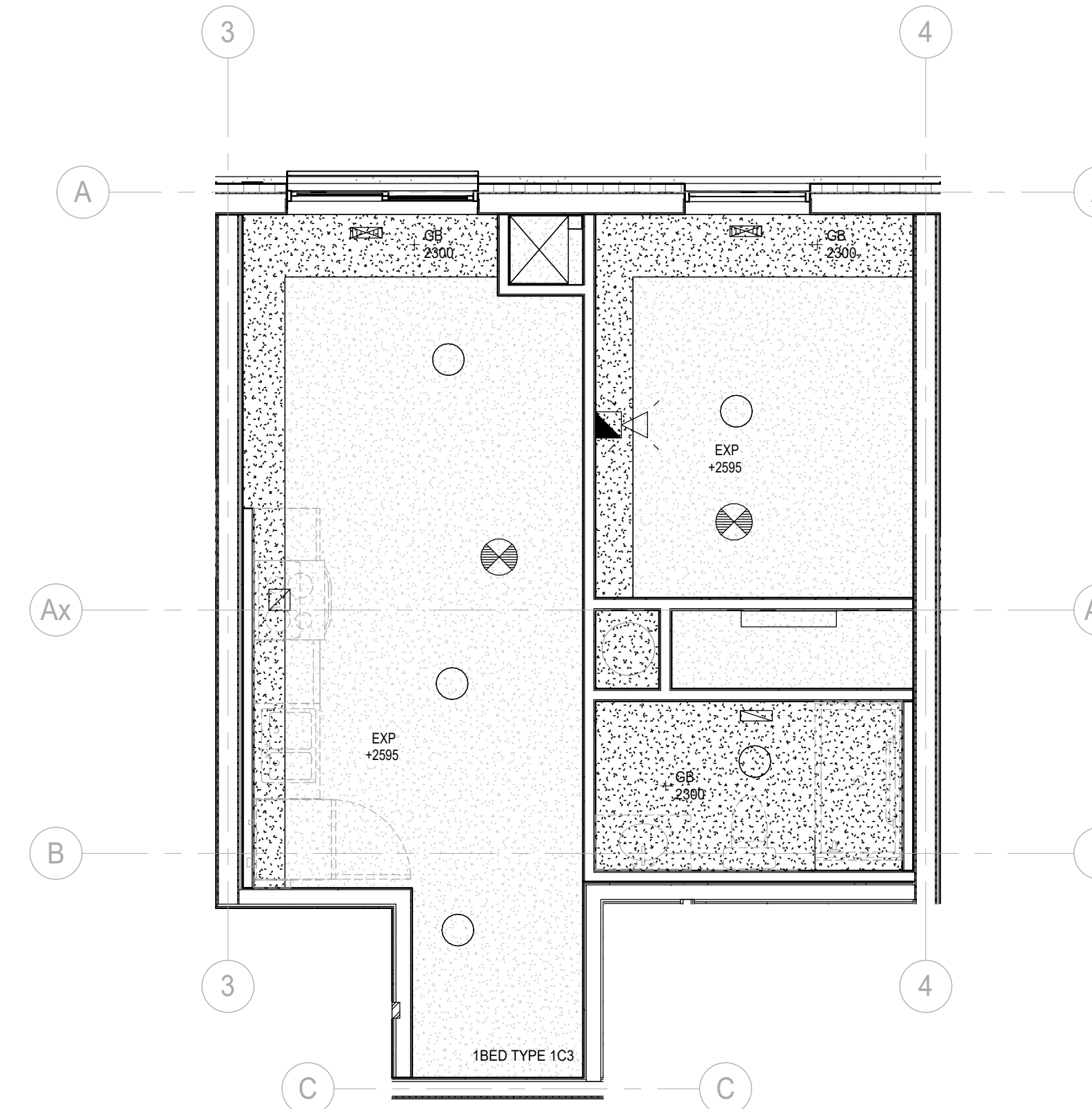
6 TYPE 1J  
A225 1:50



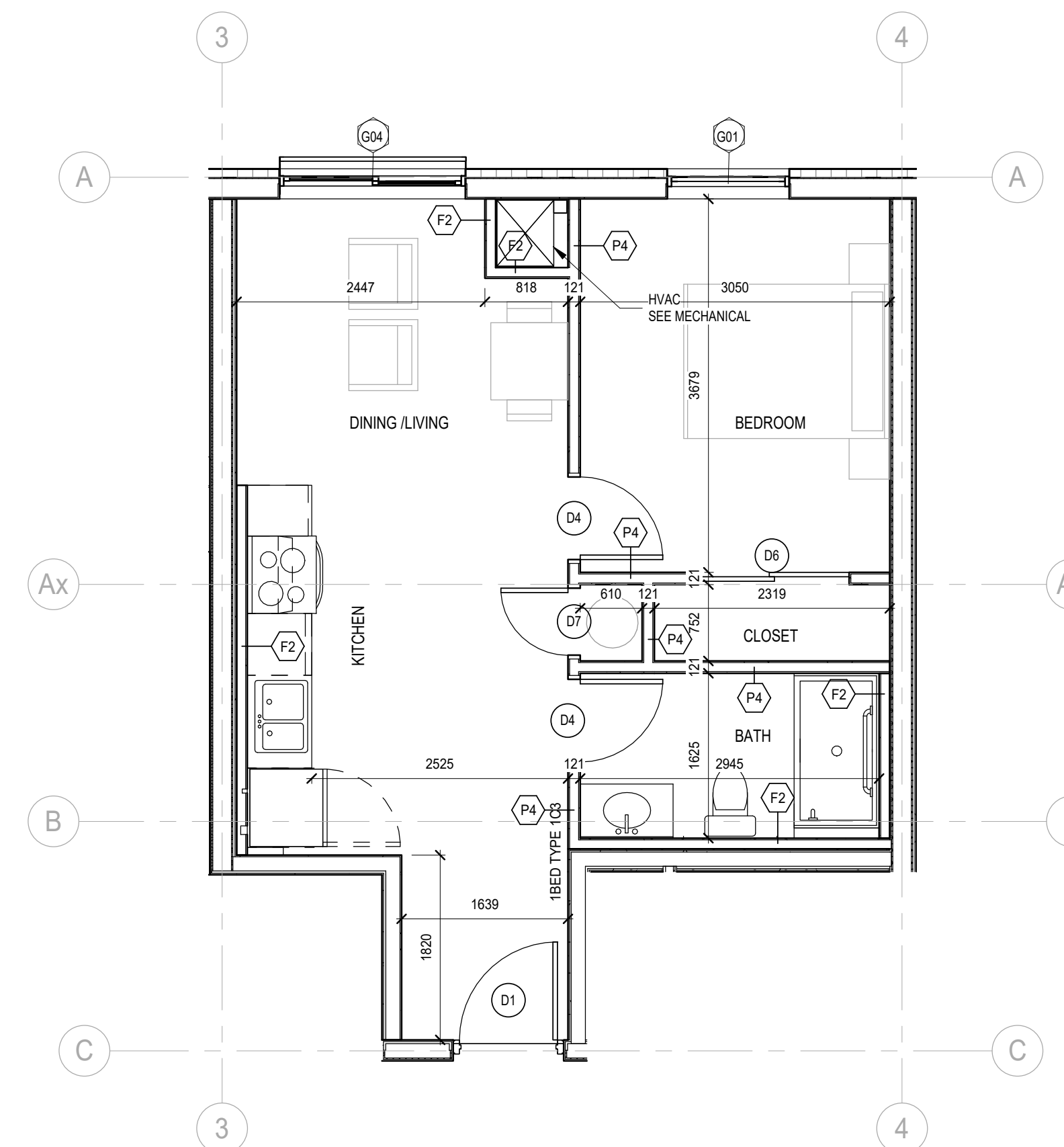
3 KEY PLAN-5TH-1  
A225 1:500



1 KEY PLAN-4TH  
A225 1:500



5 TYPE 1C3 CEILING  
A225 1:50



2 TYPE 1C3  
A225 1:50

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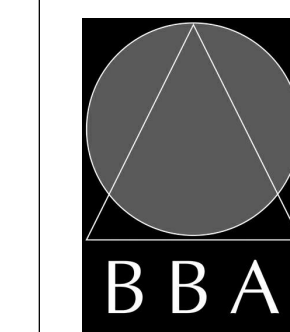
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PROJECT:  
**Mixed-Use Building  
Development (BLDG.#3)  
PHASE 1**

1697 Durham Regional Hwy 2, Courtice,  
ON L1E 2R5  
RH Gay Holdings Co.

DRAWING:  
**UNIT PLANS**



**BARRY BRYAN  
ASSOCIATES**

Architects  
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Project Managers

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Whitby Ontario L1N 0G8  
Tel: (905) 686-5252  
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e-mail: bba@bba-arch.com

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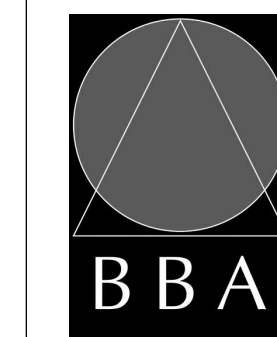
NO.	ISSUES	DATE	BY
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PROJECT:  
**Mixed-Use Building  
Development (BLDG.#3)  
PHASE 1**

1697 Durham Regional Hwy 2, Courtice,  
ON L1E 2R5  
RH Gay Holdings Co.

DRAWING:  
**UNIT PLANS**



**BARRY BRYAN  
ASSOCIATES**

Architects  
Engineers  
Project Managers

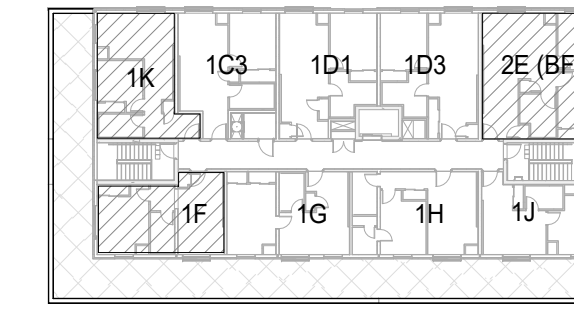
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Whitby Ontario L1N 0G8  
Tel: (905) 686-5252  
Fax: (905) 686-5256  
e-mail: bba@bba-arch.com



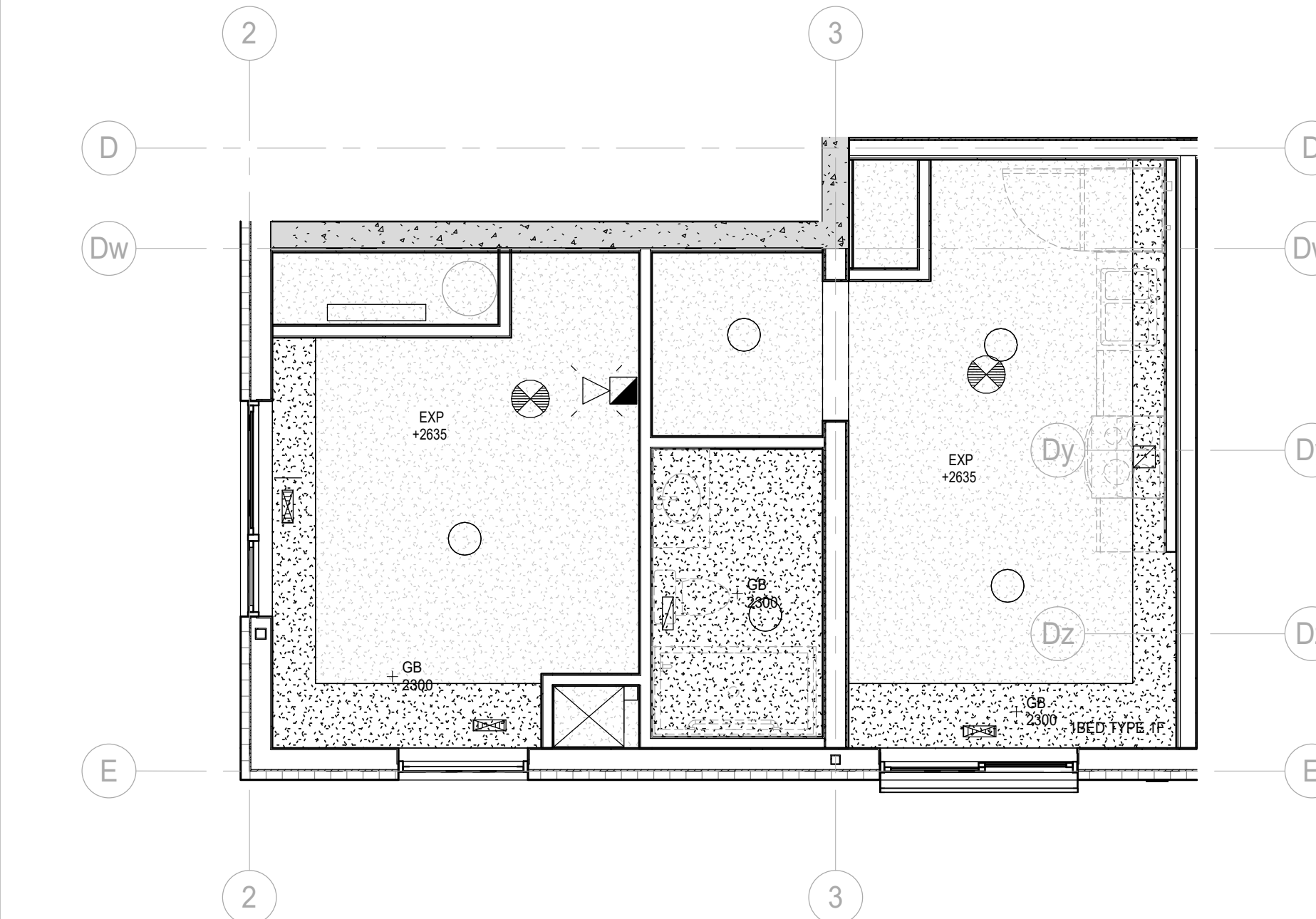
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DRAWN BY: AA/JP  
CHECKED BY: AA/NS  
DATE: 2023-11-03  
SCALE: As indicated  
FILE: Drawings - Current - CECC.RVT

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**21046**

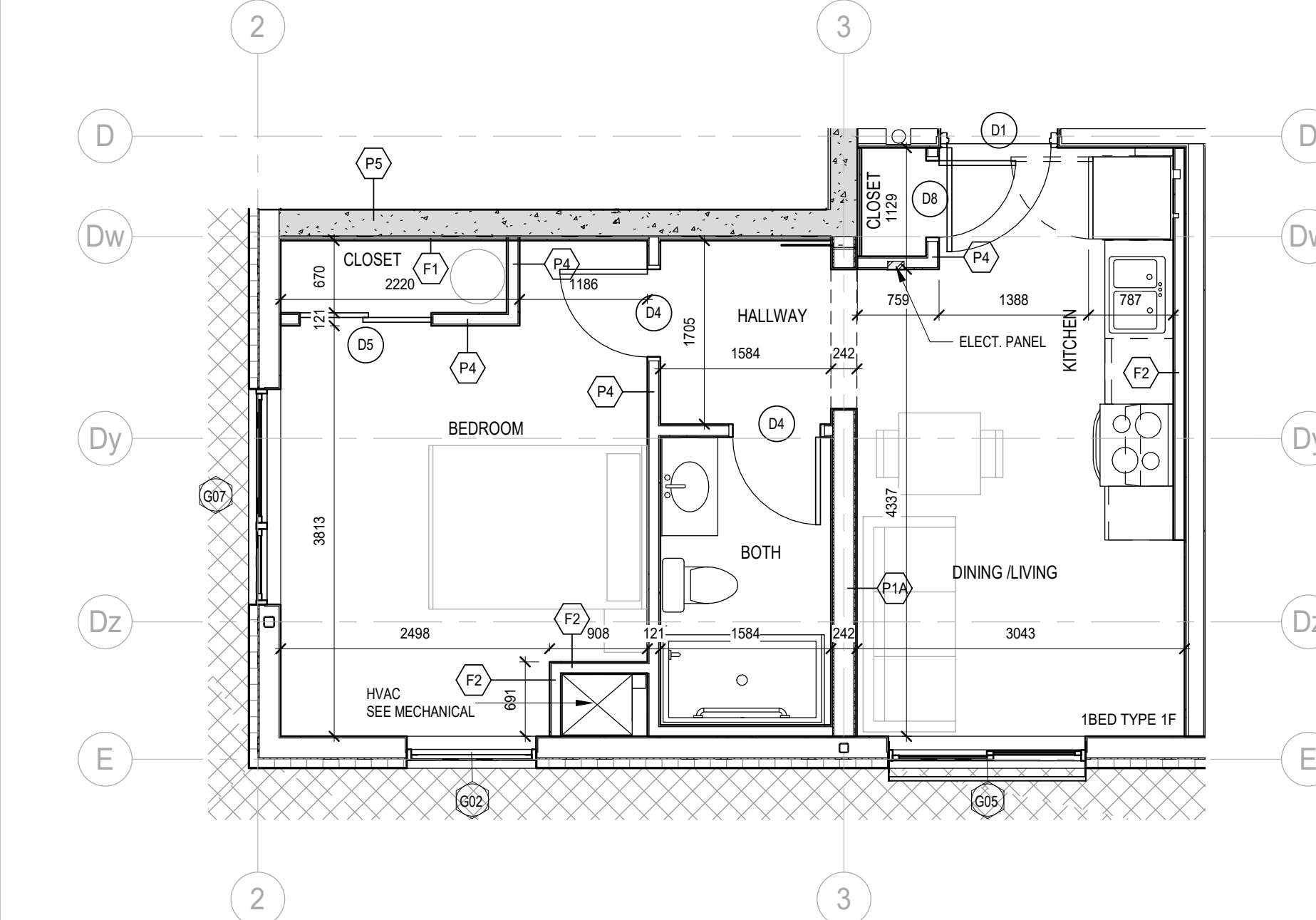
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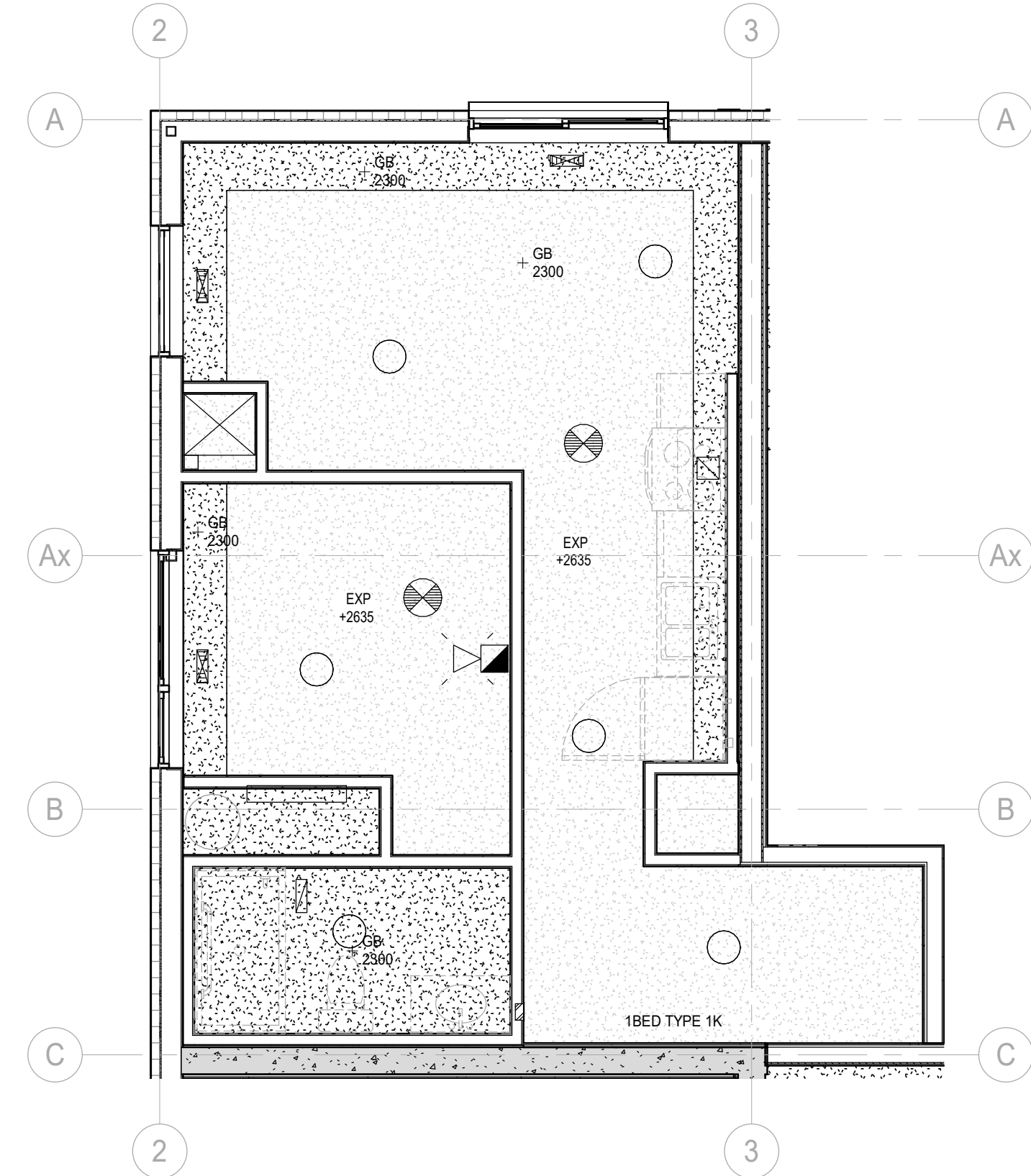
**1 KEY PLAN-5TH-2**  
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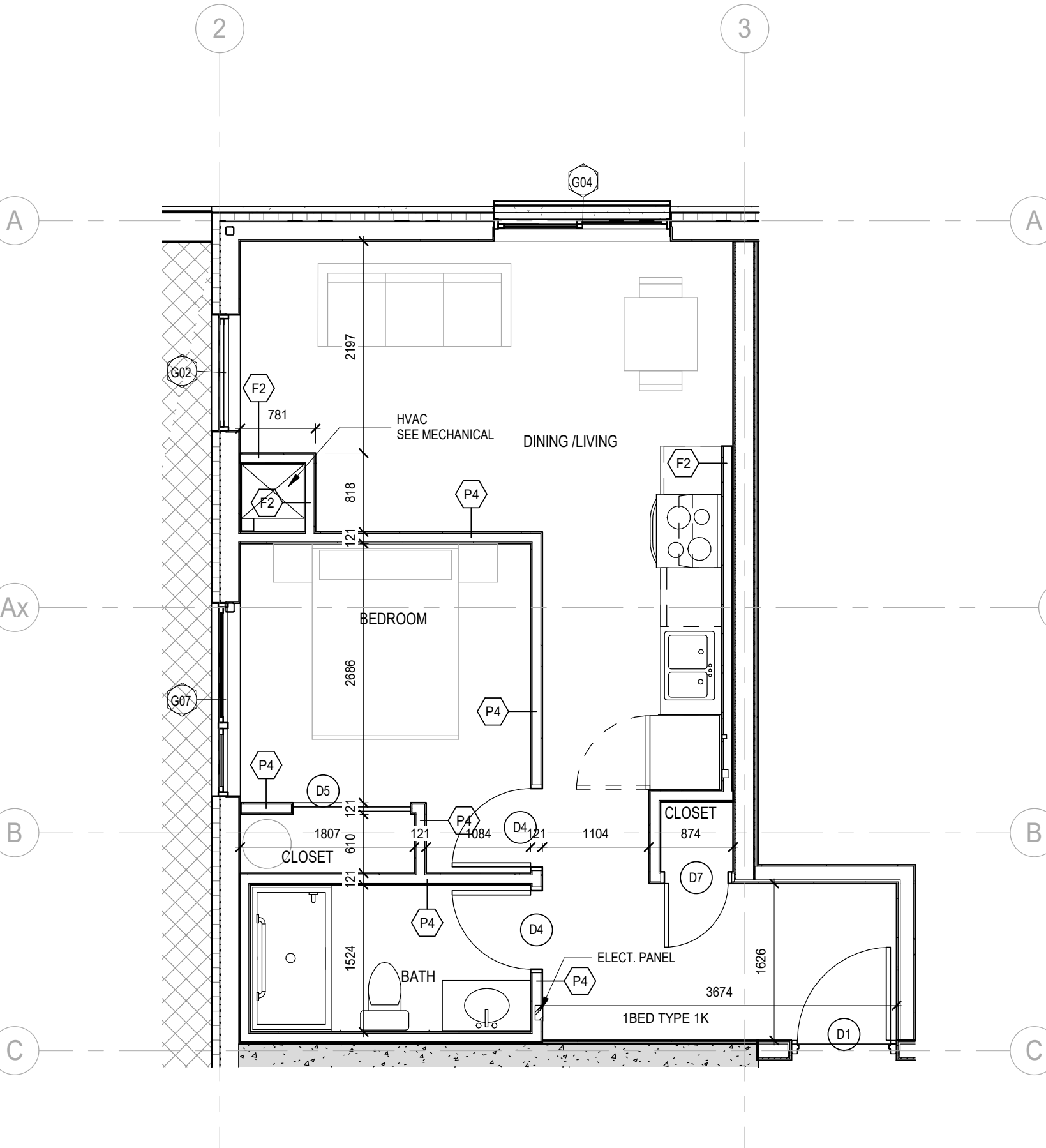
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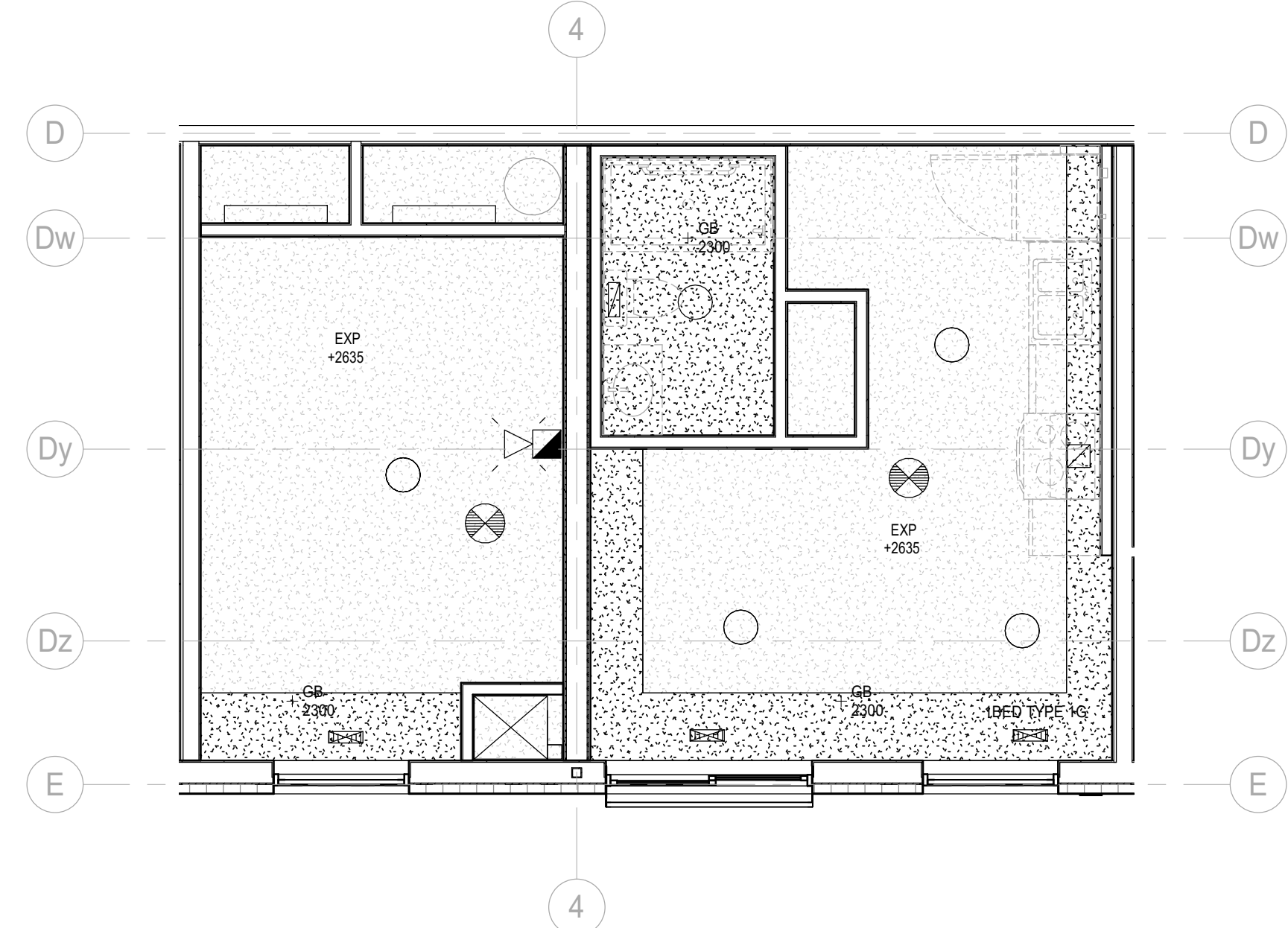
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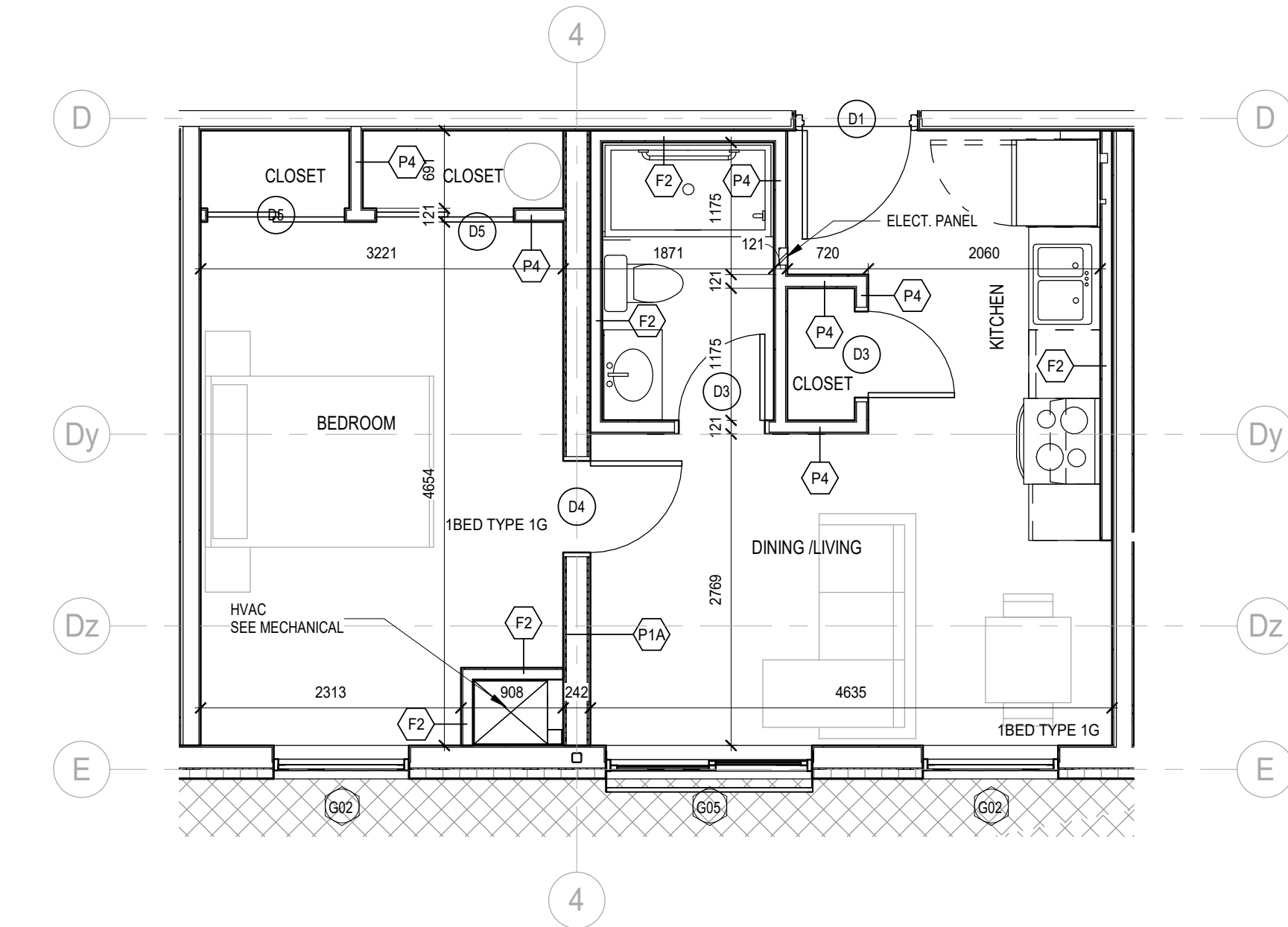
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**3 TYPE 1K**  
1:50



**7 TYPE 1G CEILING**  
1:50



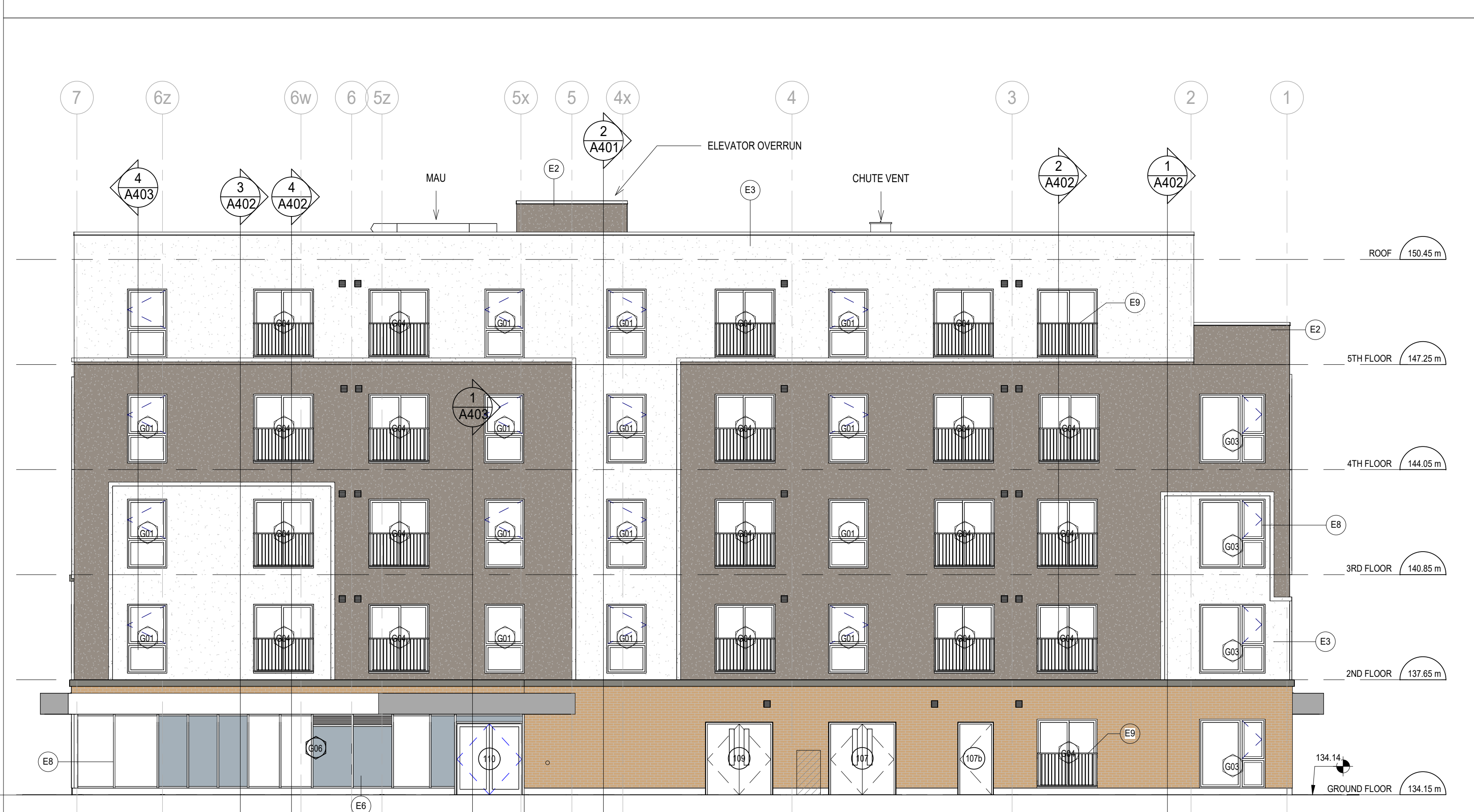
**4 TYPE 1G**  
1:50



3 SOUTH  
A301 1:100



4 WEST  
A301 1:100



1 NORTH  
A301 1:100



2 EAST  
A301 1:100

LEGEND

E1 BRICK MASONRY	E3 EIFS2 (LIGHT-TBD)	E5 METAL CANOPY	E7 STOREFRONT GLAZING	E9 JULIETTE BALCONY
E2 EIFS1 (DARK-TBD)	E4 EIFS BANDING1 CHARCOAL	E8 SPANDREL PANEL	E6 VINYL WINDOW	

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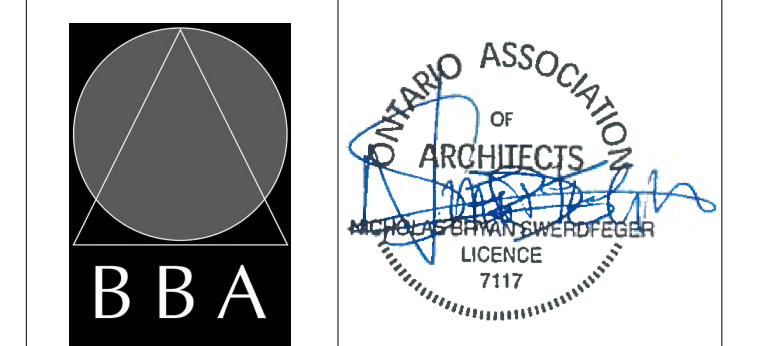
NO.	ISSUES	DATE	BY
1	SPA	Dec 09 2022	AA
2	SPA.R1	Nov 03 2023	AA
3	SPA.R2	Jan 26 2024	AA
4	ISSUED FOR PERMIT	Apr 30 2024	RG

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PROJECT:  
**Mixed-Use Building  
Development (BLDG.#3)  
PHASE 1**

1697 Durham Regional Hwy 2, Courtice,  
ON L1E 2R5  
RH Gay Holdings Co.

DRAWING:  
**ELEVATIONS**

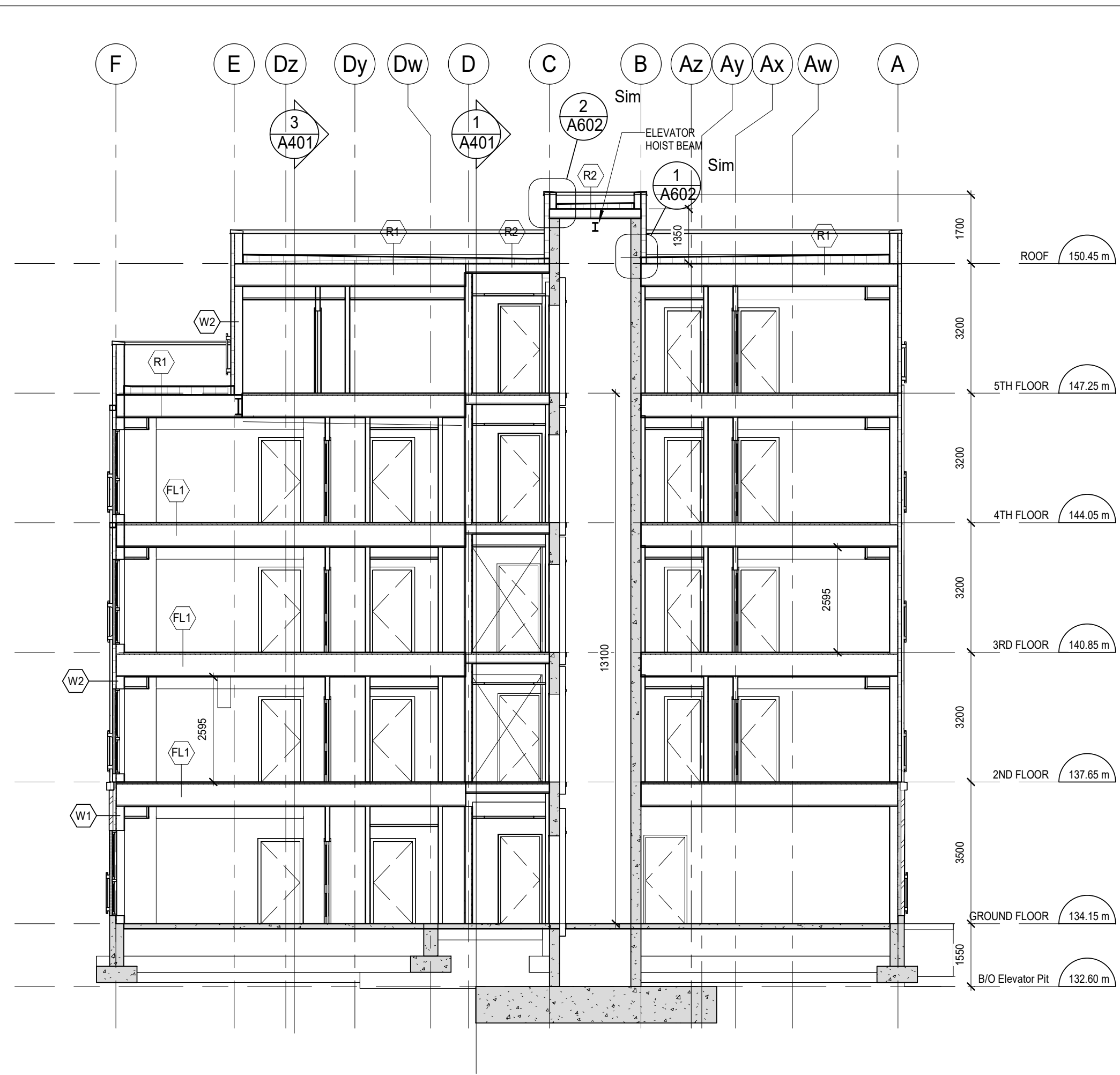


**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers

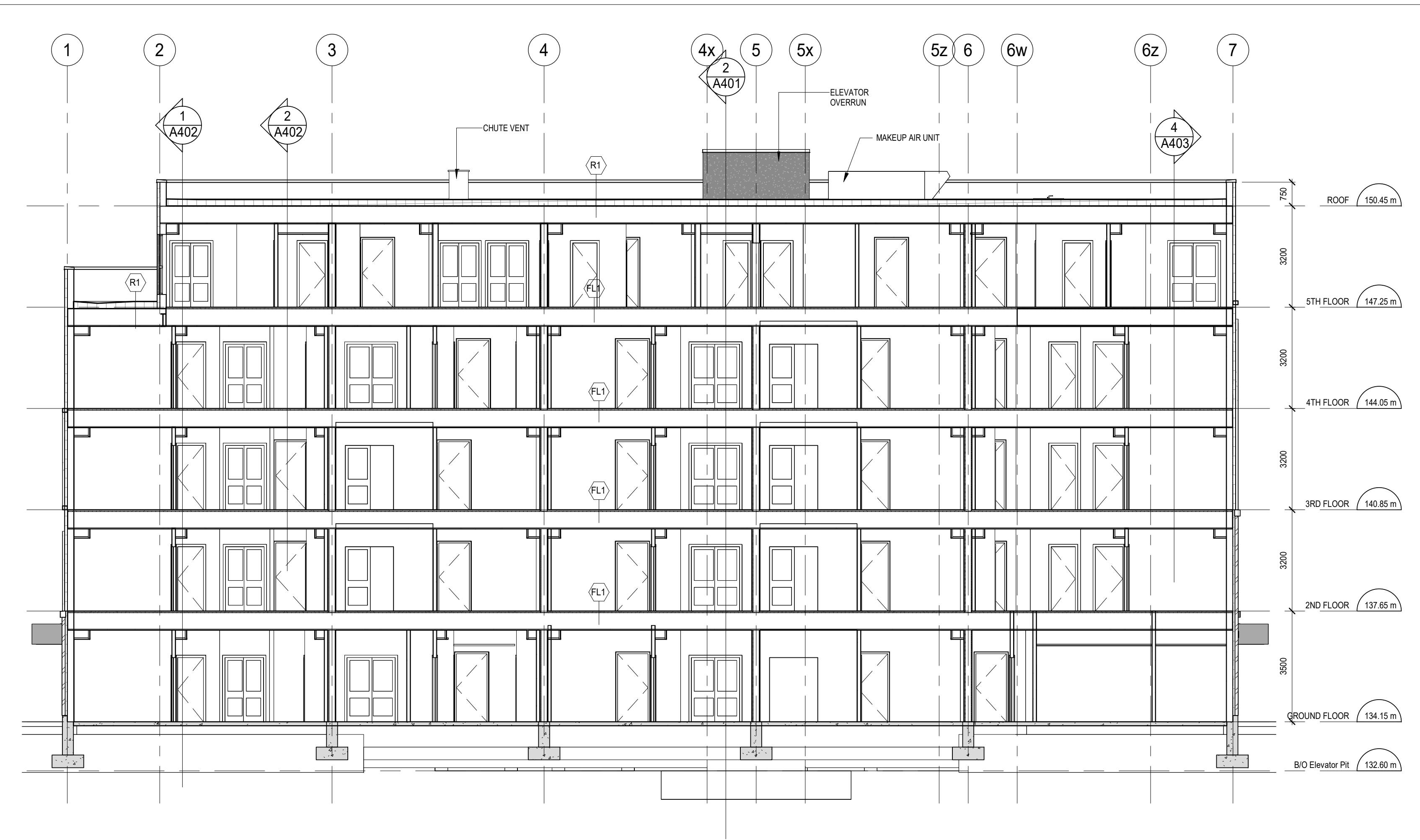
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CHECKED BY: AA/NS  
DATE: 2023-11-03  
SCALE: As Indicated  
FILE: Drawings - Current - CECC.RVT

201-250 Water Street  
Whitby Ontario L1N 0G6  
Tel: (905) 686-5252  
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e-mail: bba@bba-arch.com

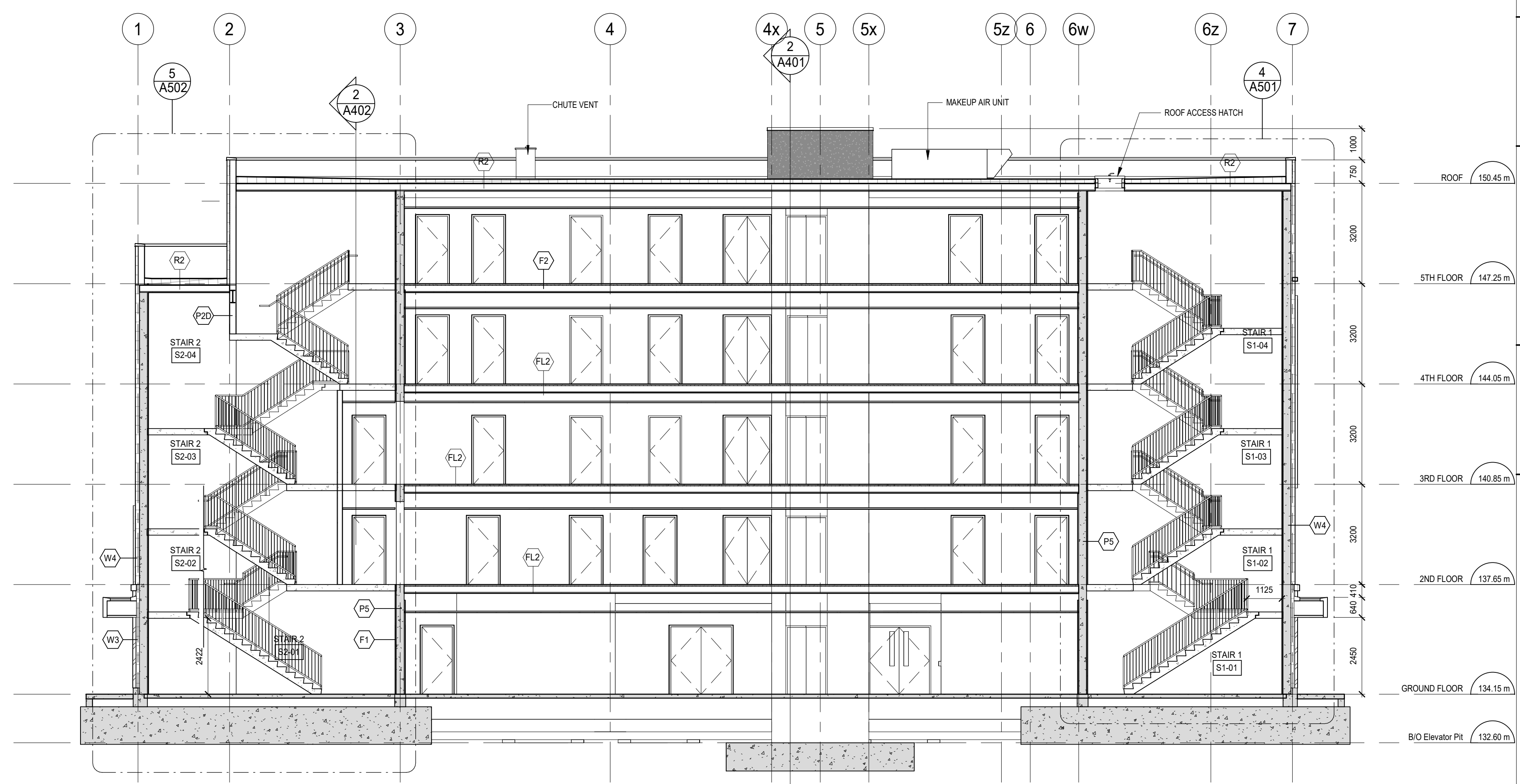
PROJECT NO: **21046**  
DRAWING NO: **A301**



2 N-S SECTION  
A401 1:100



3 E-W SECTION 2  
A401 1:100



1 E-W SECTION 1  
A401 1:100

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PROJECT:  
**Mixed-Use Building  
Development (BLDG.#3)  
PHASE 1**

1697 Durham Regional Hwy 2, Courtice,  
ON L1E 2R5  
RH Gay Holdings Co.

DRAWING:  
**BUILDING SECTIONS**



**BARRY BRYAN  
ASSOCIATES**

Architects  
Engineers  
Project Managers

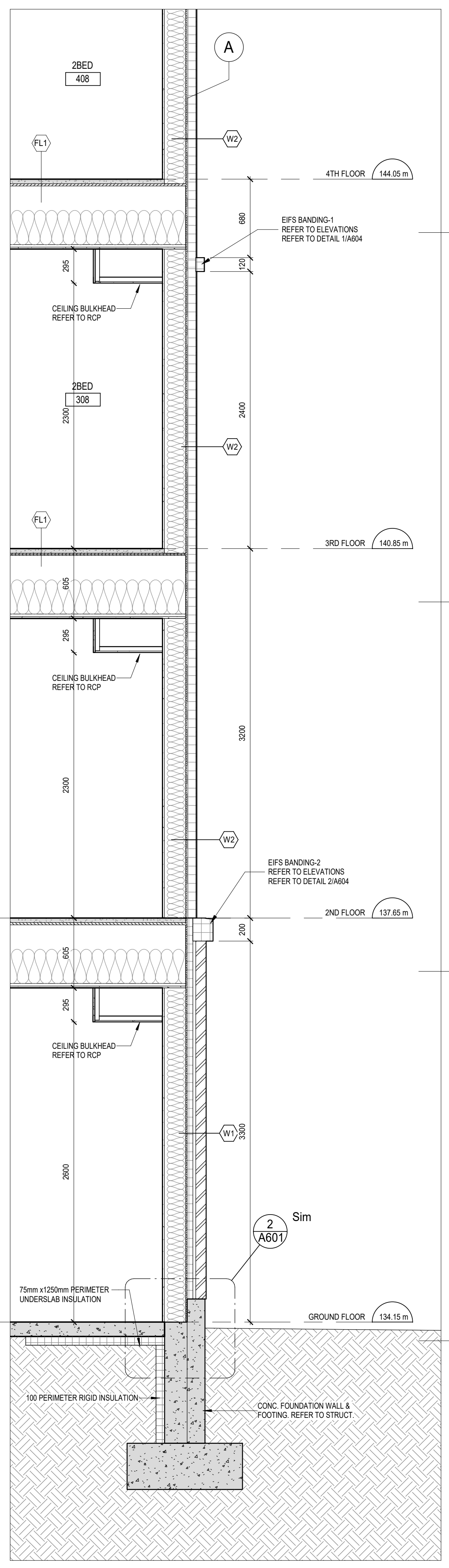
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Whitby Ontario L1N 0G8  
Tel: (905) 666-5252  
Fax: (905) 666-5256  
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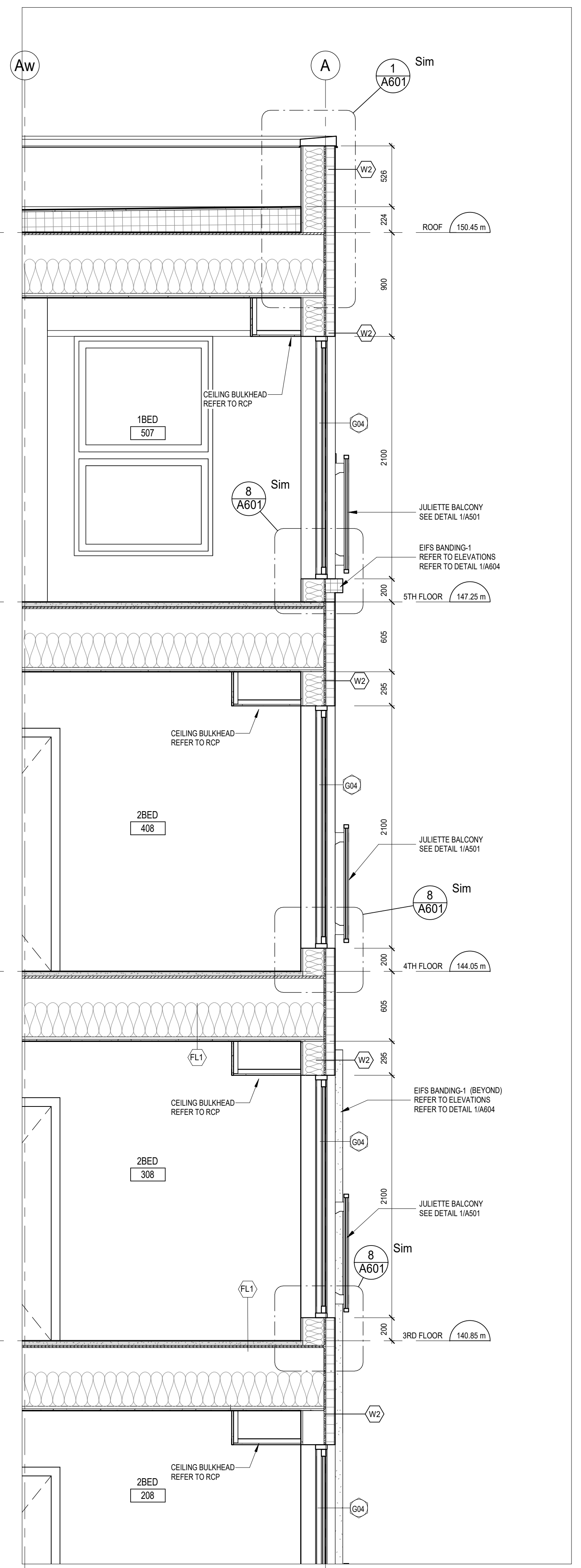
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PROJECT NO: **21046**  
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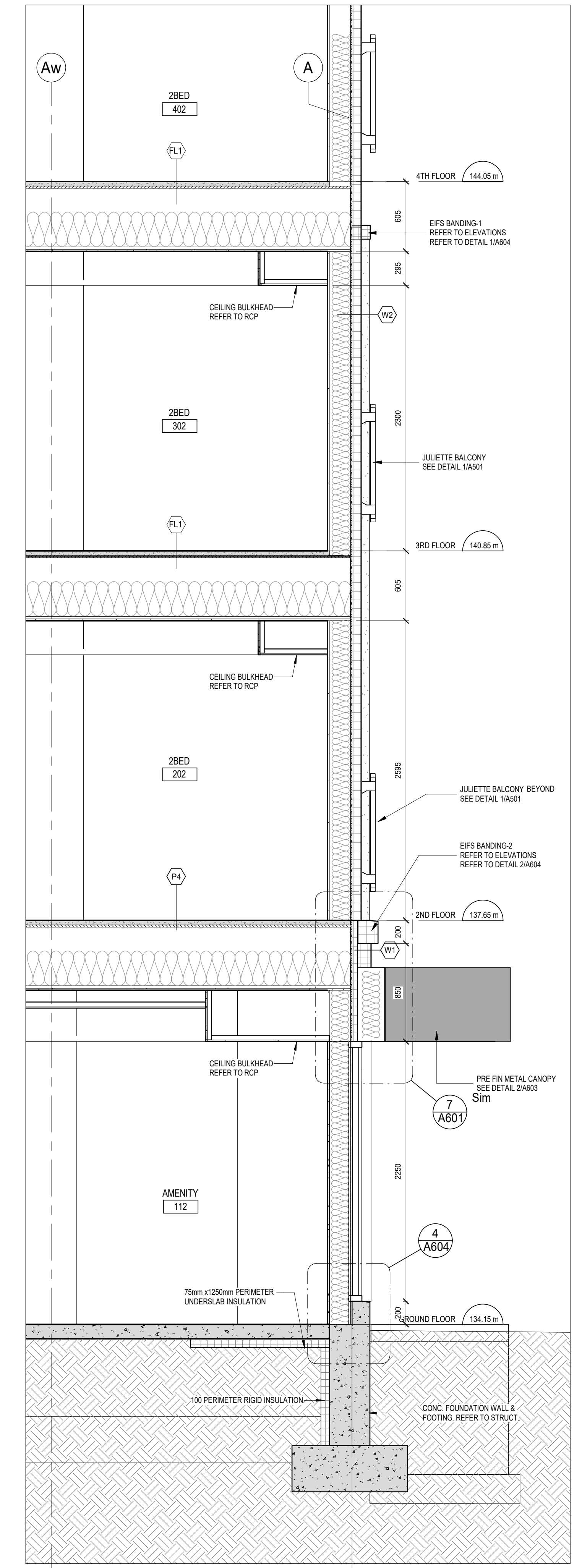




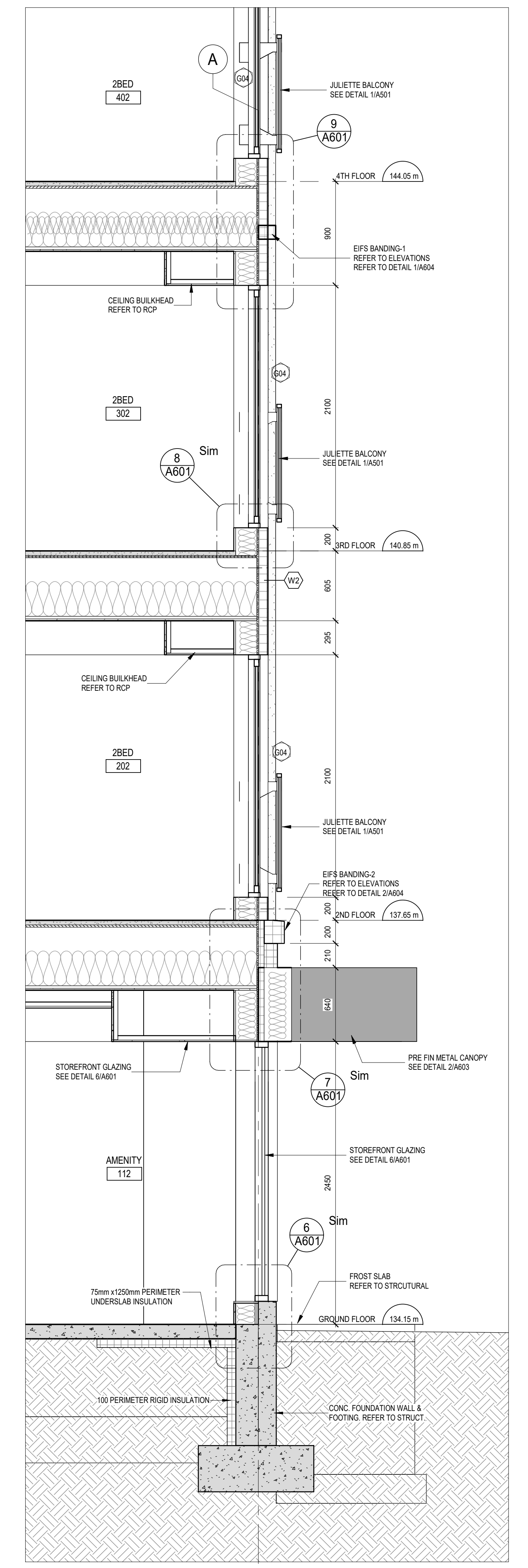
1 WALL SECTION-01  
A402 1:25



2 WALL SECTION-02  
A402 1:25



3 WALL SECTION-03  
A402 1:25



4 WALL SECTION-04  
A402 1:25

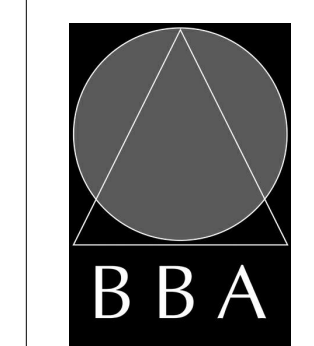
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PROJECT:  
**Mixed-Use Building  
Development (BLDG.#3)  
PHASE1**  
  
1697 Durham Regional Hwy 2, Courtice,  
ON L1E 2R5  
RH Gay Holdings Co.

DRAWING:  
**WALL SECTIONS**



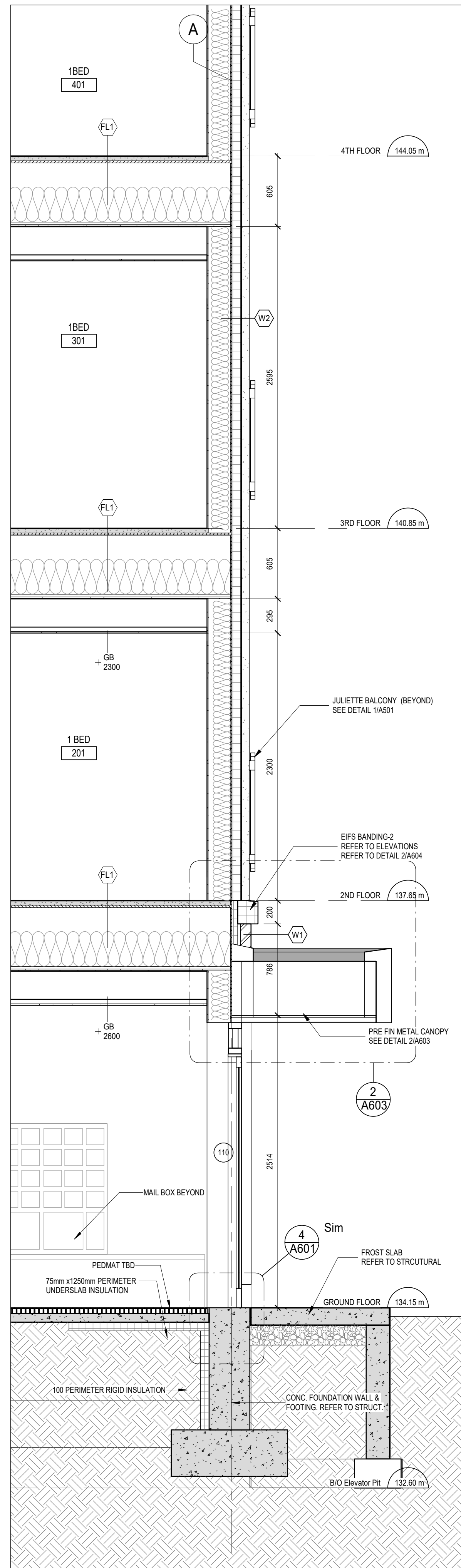
**BARRY BRYAN  
ASSOCIATES**  
  
Architects  
Engineers  
Project Managers

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Whitby Ontario L1N 0G8  
Tel: (905) 686-5262  
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e-mail: bba@bba-arch.com

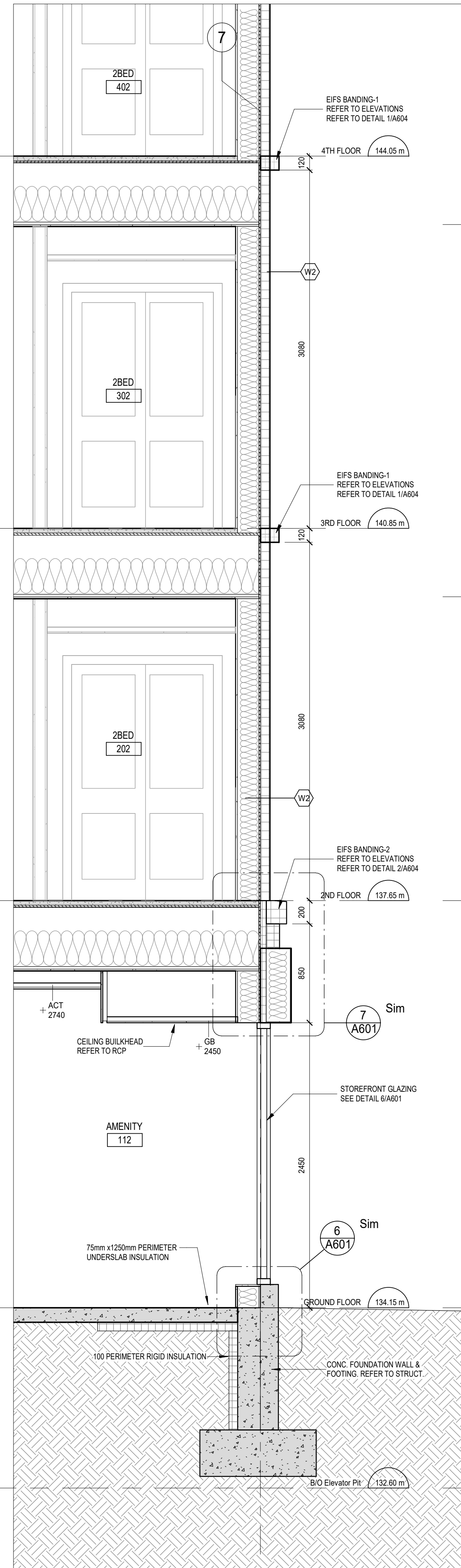


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DRAWN BY: AA/JP  
CHECKED BY: AA/NS  
DATE: 2023-11-03  
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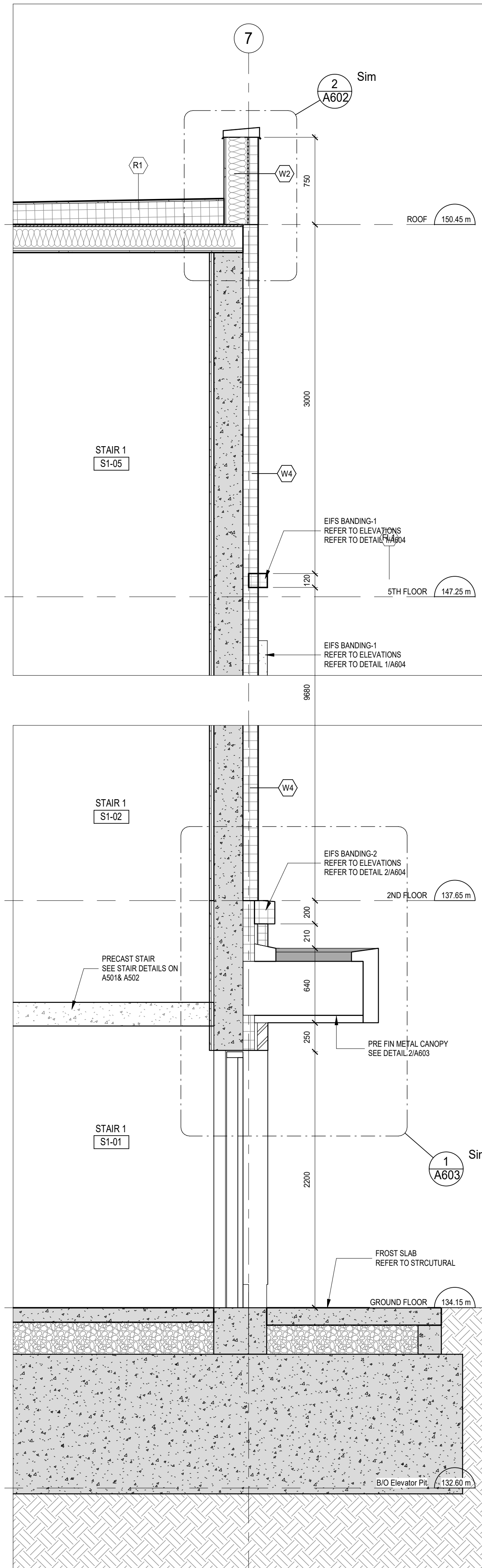
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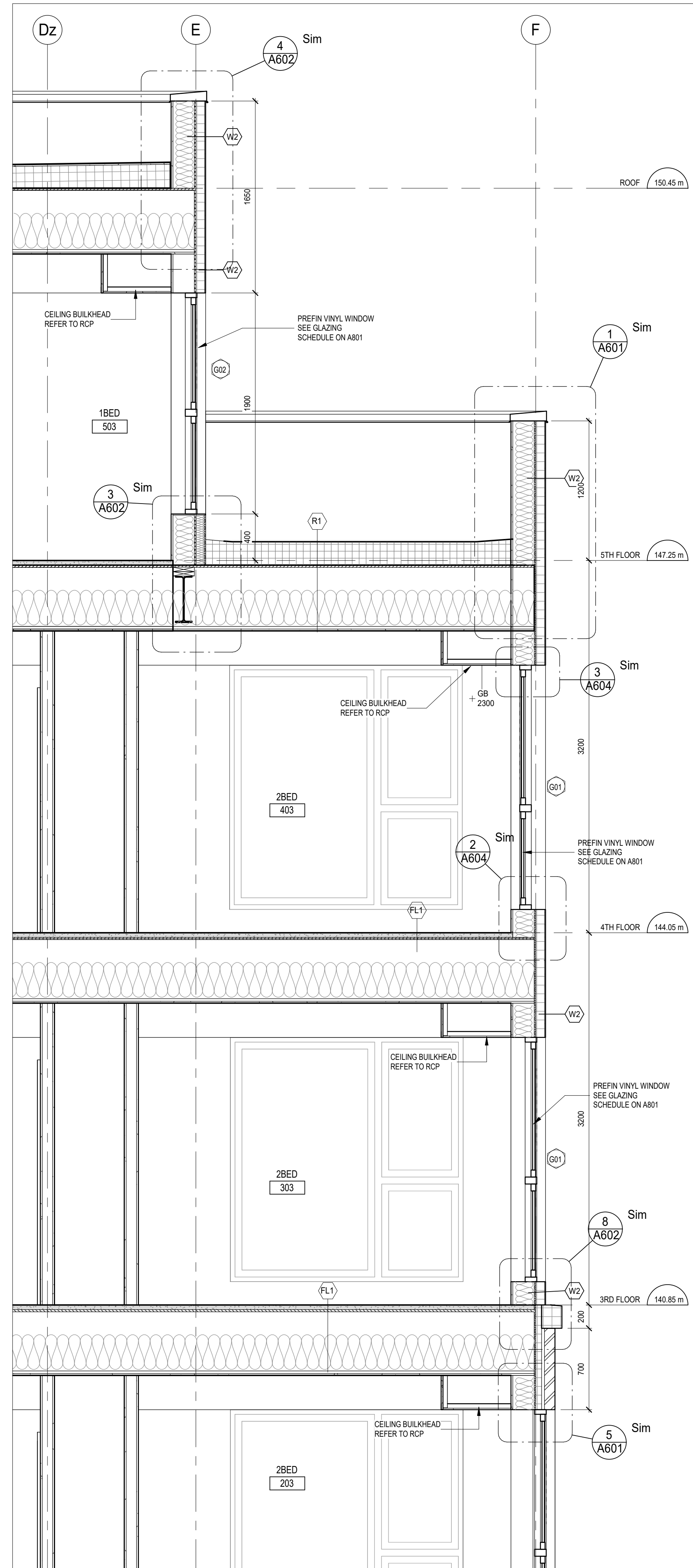
1 WALL SECTION-05  
A403 1:25



2 WALL SECTION-06  
A403 1:25



3 WALL SECTION-07  
A403 1:25



4 WALL SECTION-08  
A403 1:25

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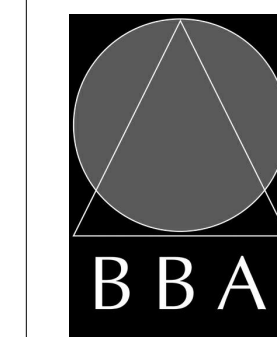
NO.	ISSUES	DATE	BY
1	ISSUED FOR PERMIT	Apr 30 2024	RG

NO.	REVISIONS	DATE	BY
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PROJECT:  
**Mixed-Use Building  
Development (BLDG.#3)  
PHASE 1**

1697 Durham Regional Hwy 2, Courtice,  
ON L1E 2R5  
RH Gay Holdings Co.

DRAWING:  
**WALL SECTIONS**



**BARRY BRYAN  
ASSOCIATES**

Architects  
Engineers  
Project Managers

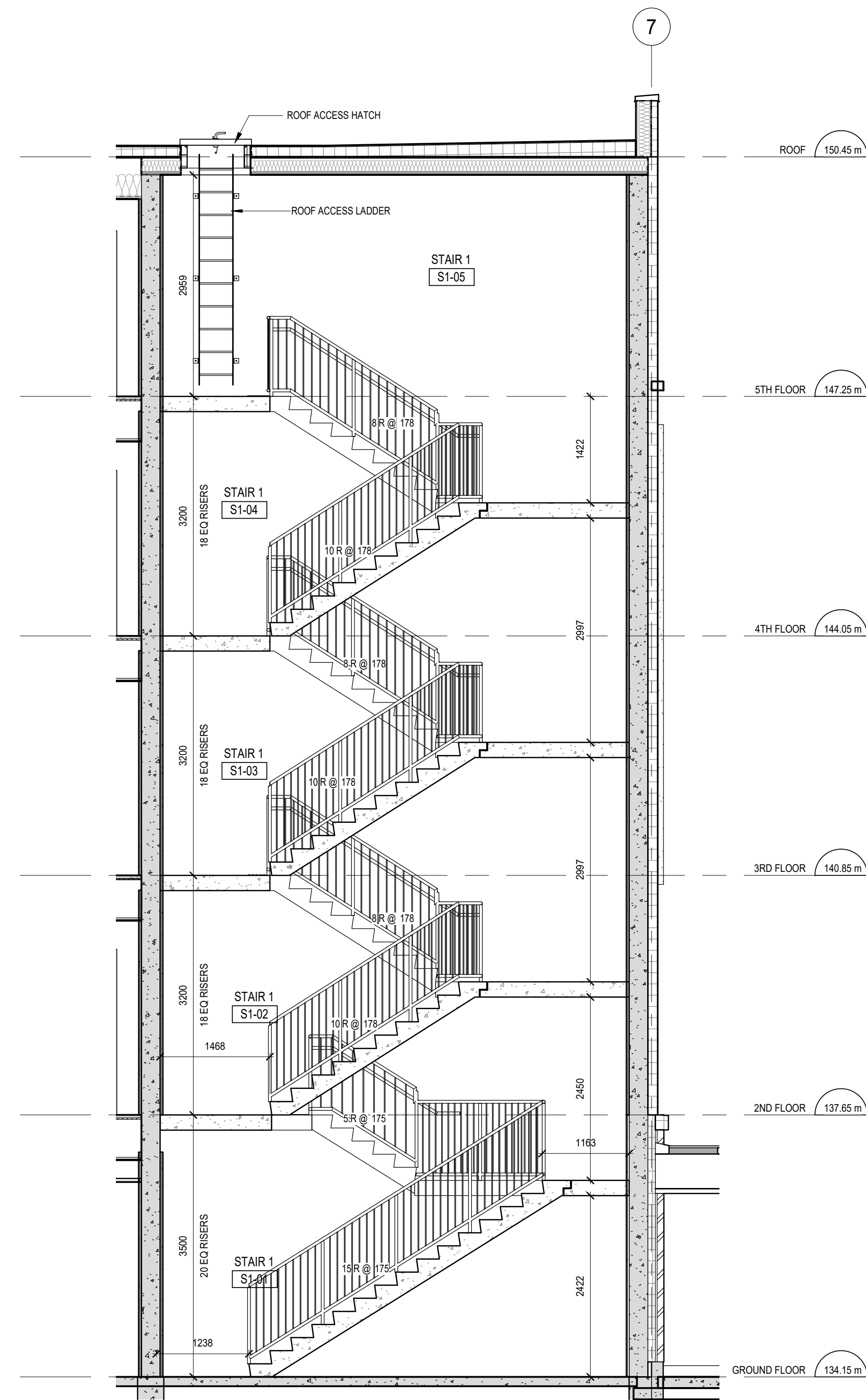
201-250 Water Street  
Whitby Ontario L1N 0G8  
Tel: (905) 686-5252  
Fax: (905) 666-5256  
e-mail: bba@bba-arch.com



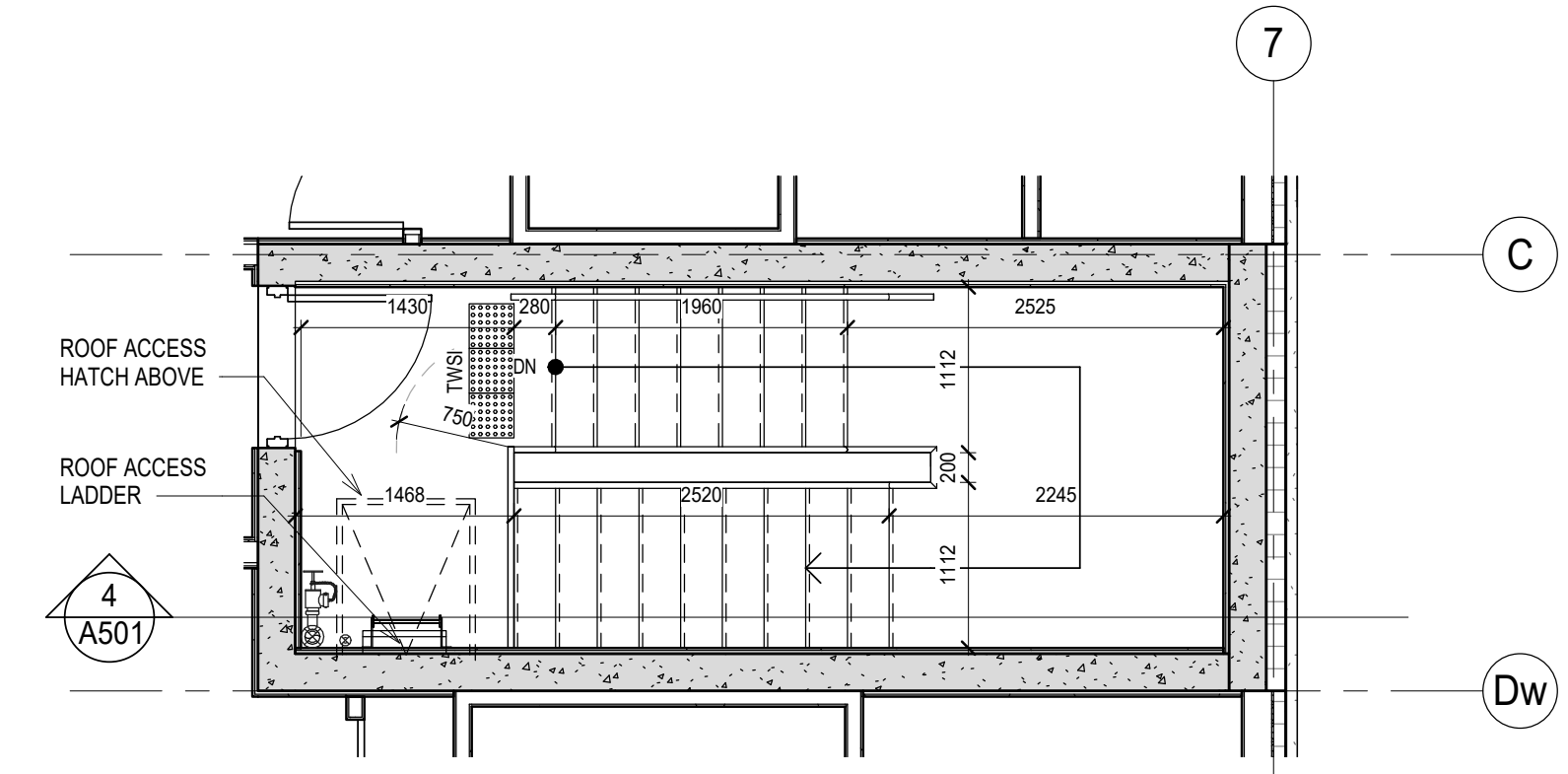
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DATE: 2023-11-03  
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FILE: Drawings - Current - CECC.RVT

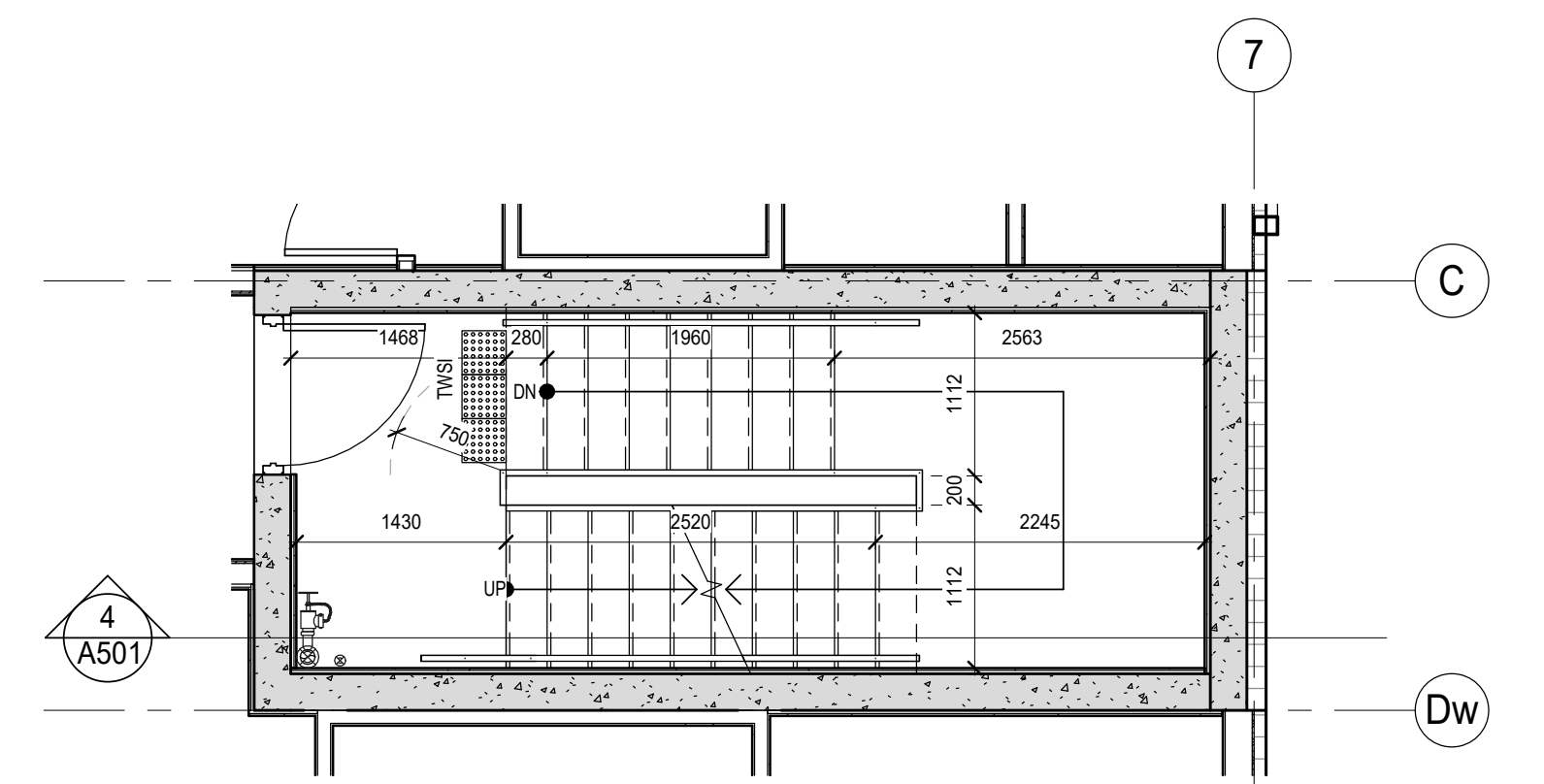
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DRAWING NO: **A403**



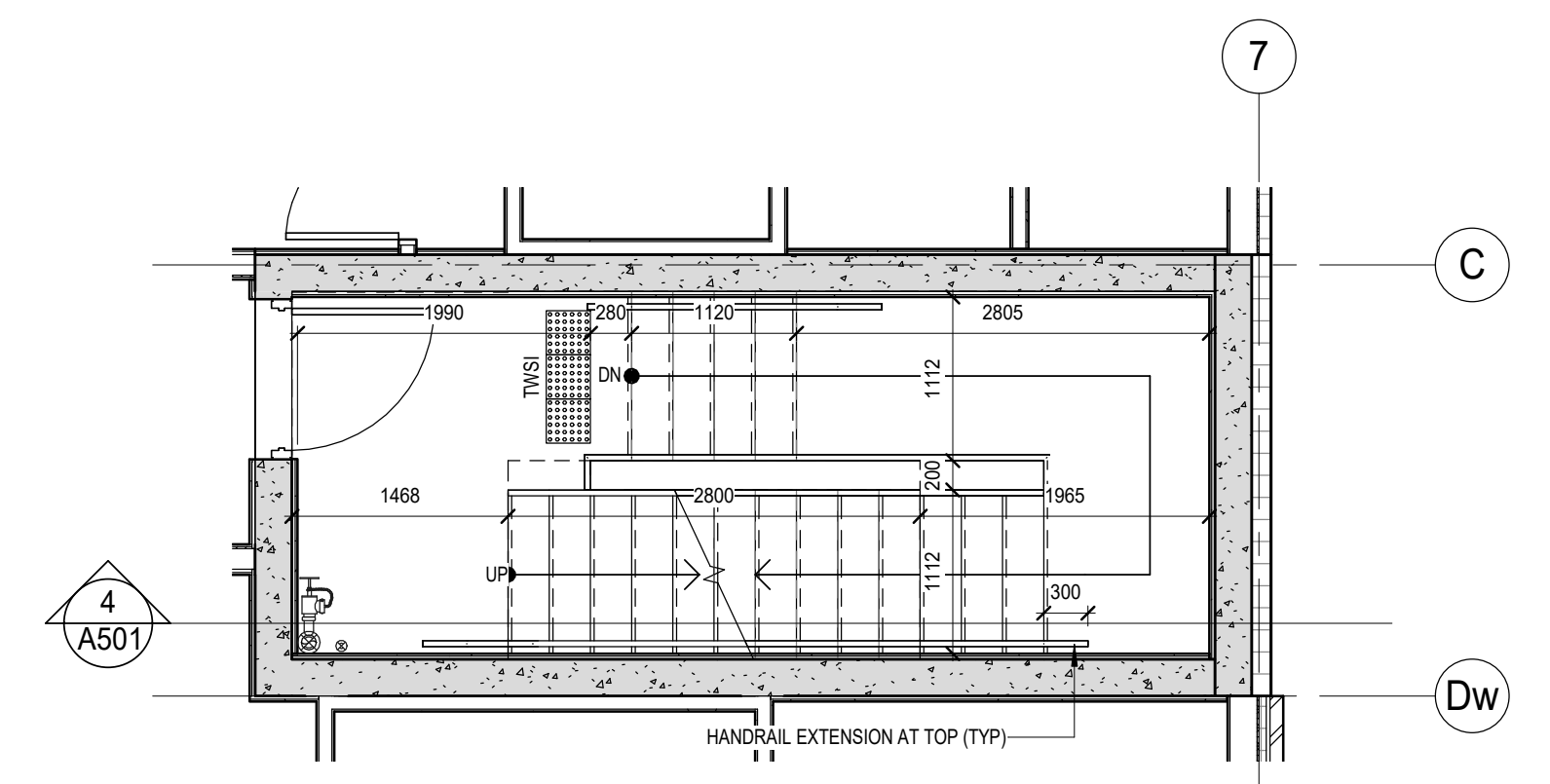
4 STAIR1 SECTION1  
A501 1:50



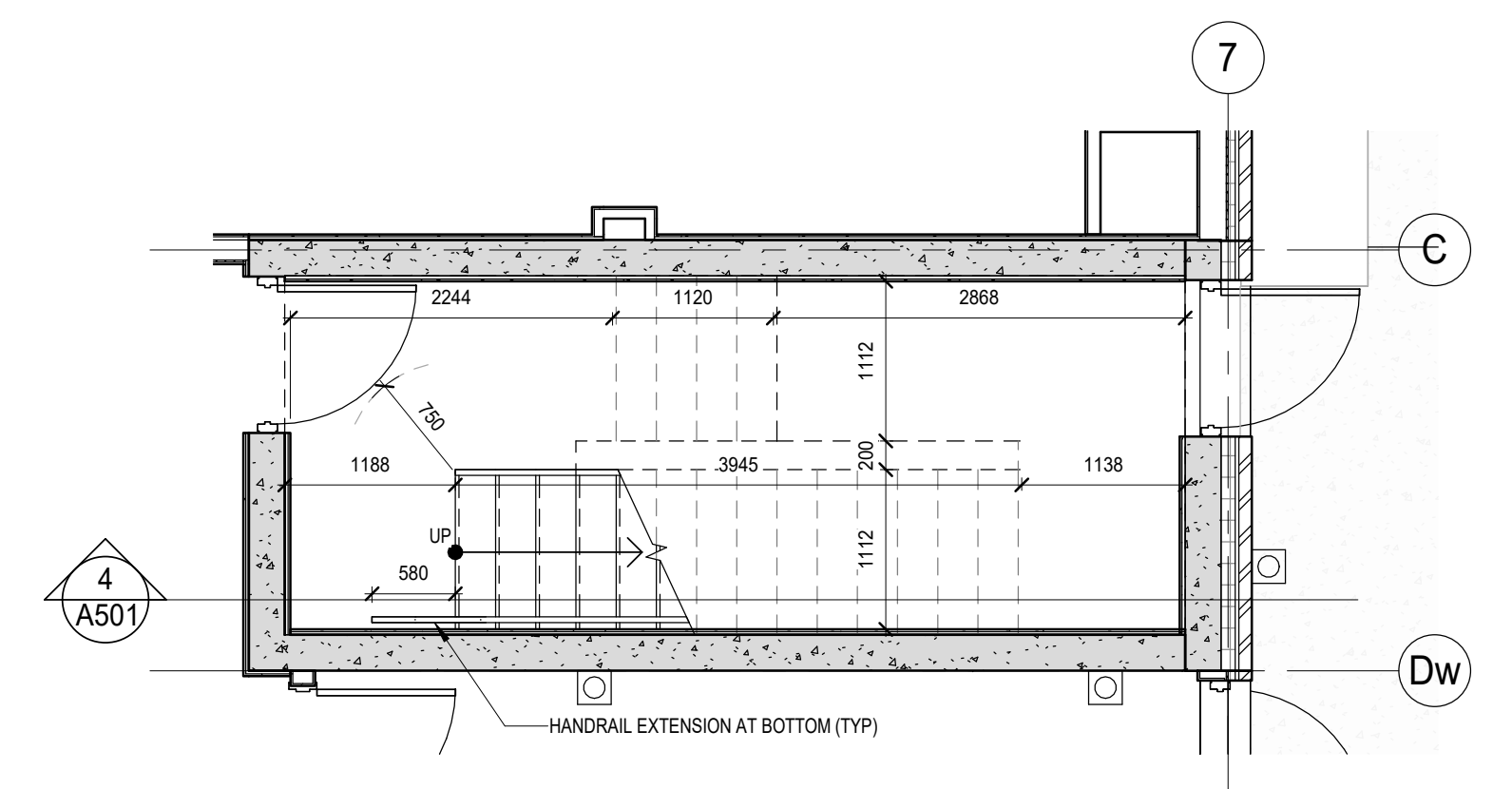
3 STAIR#1- FLOOR 5  
A501 1:50



5 STAIR#1-FLOORS 3-4  
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2 STAIR#1 - FLOOR 2  
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1 STAIR#1-GROUND FLOOR  
A501 1:50

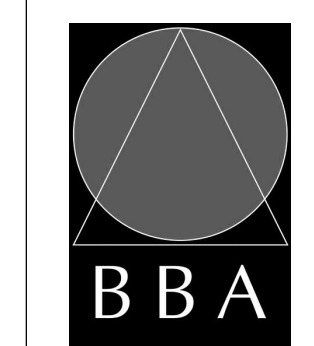
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PROJECT:  
**Mixed-Use Building  
Development (BLDG.#3)  
PHASE1**  
  
1697 Durham Regional Hwy 2, Courtice,  
ON L1E 2R5  
RH Gay Holdings Co.

DRAWING:  
**STAIR#1**



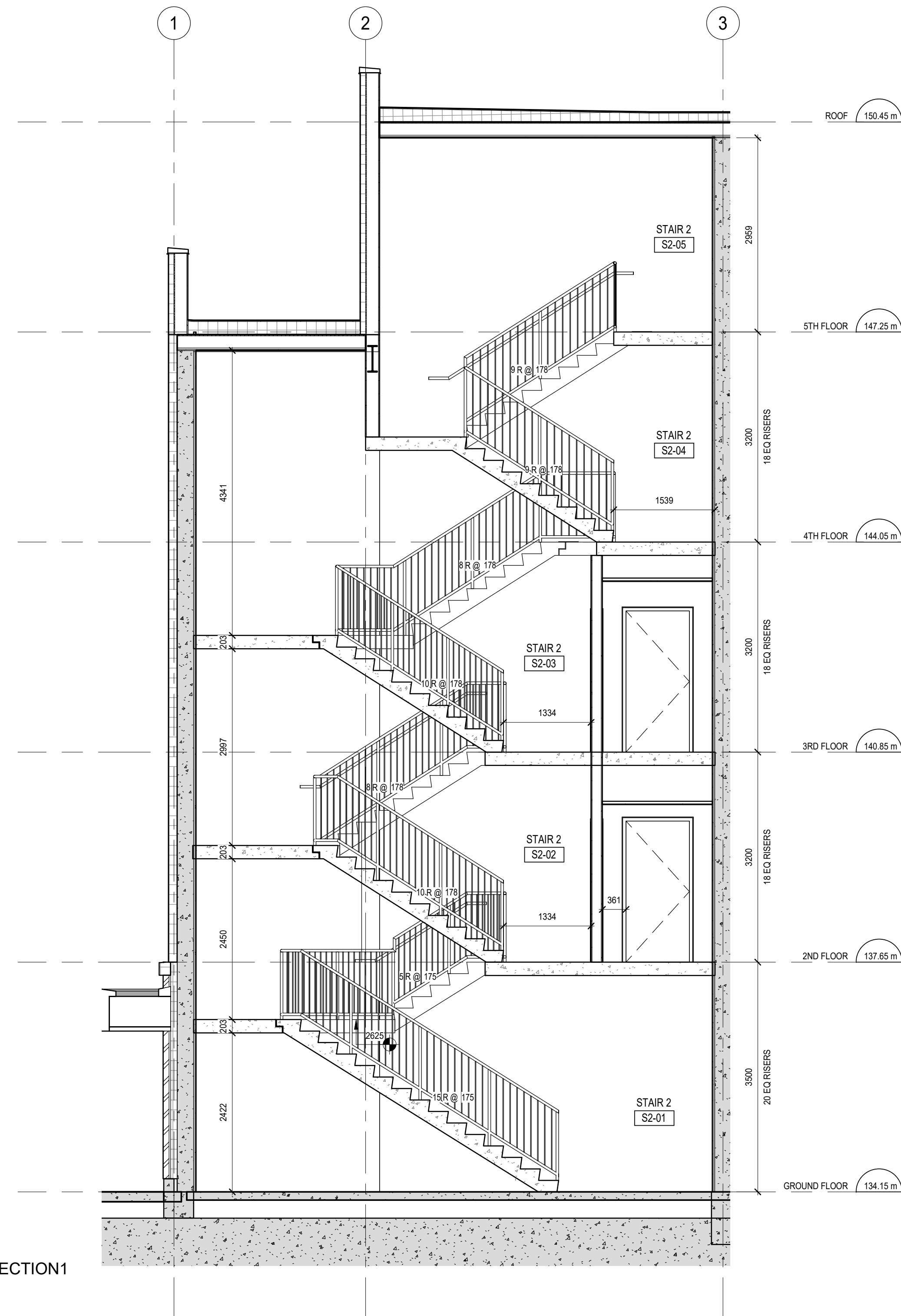
**BARRY BRYAN  
ASSOCIATES**  
  
Architects  
Engineers  
Project Managers

201-250 Water Street  
Whitby Ontario L1N 0G6  
Tel: (905) 686-5252  
Fax: (905) 686-5256  
e-mail: bba@bbaarch.com

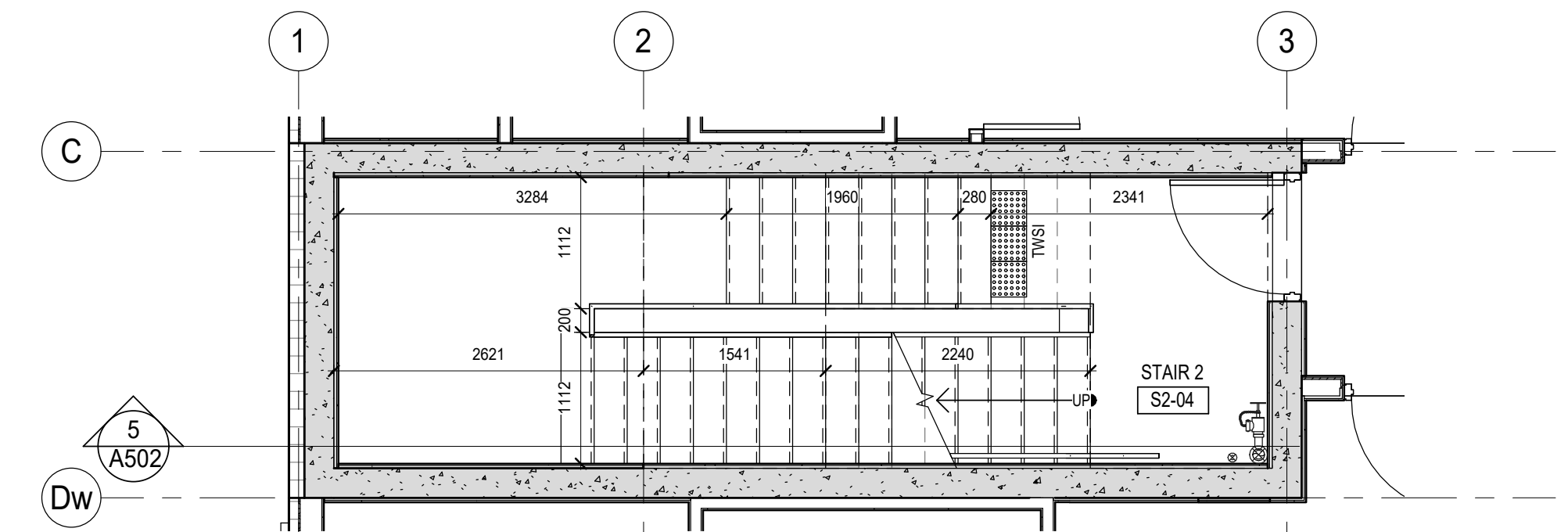


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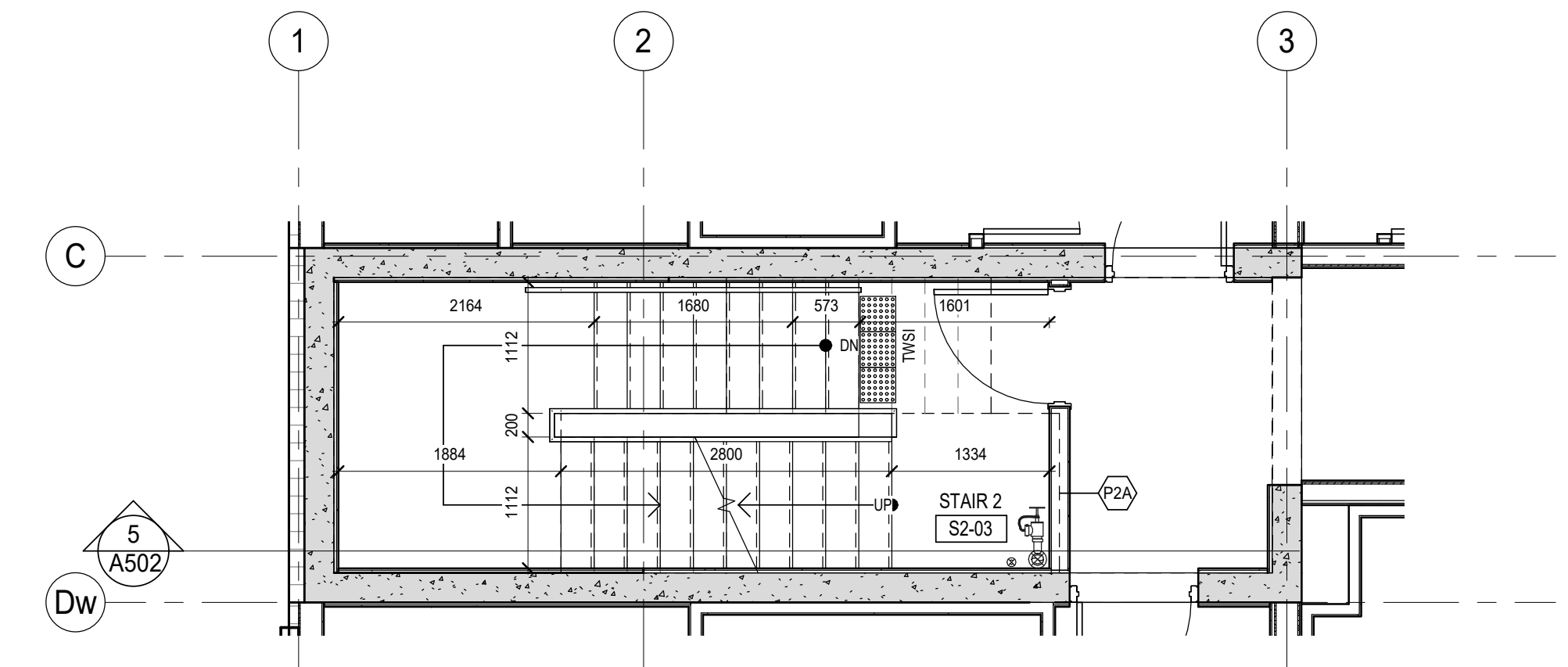
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DRAWING NO: **A501**



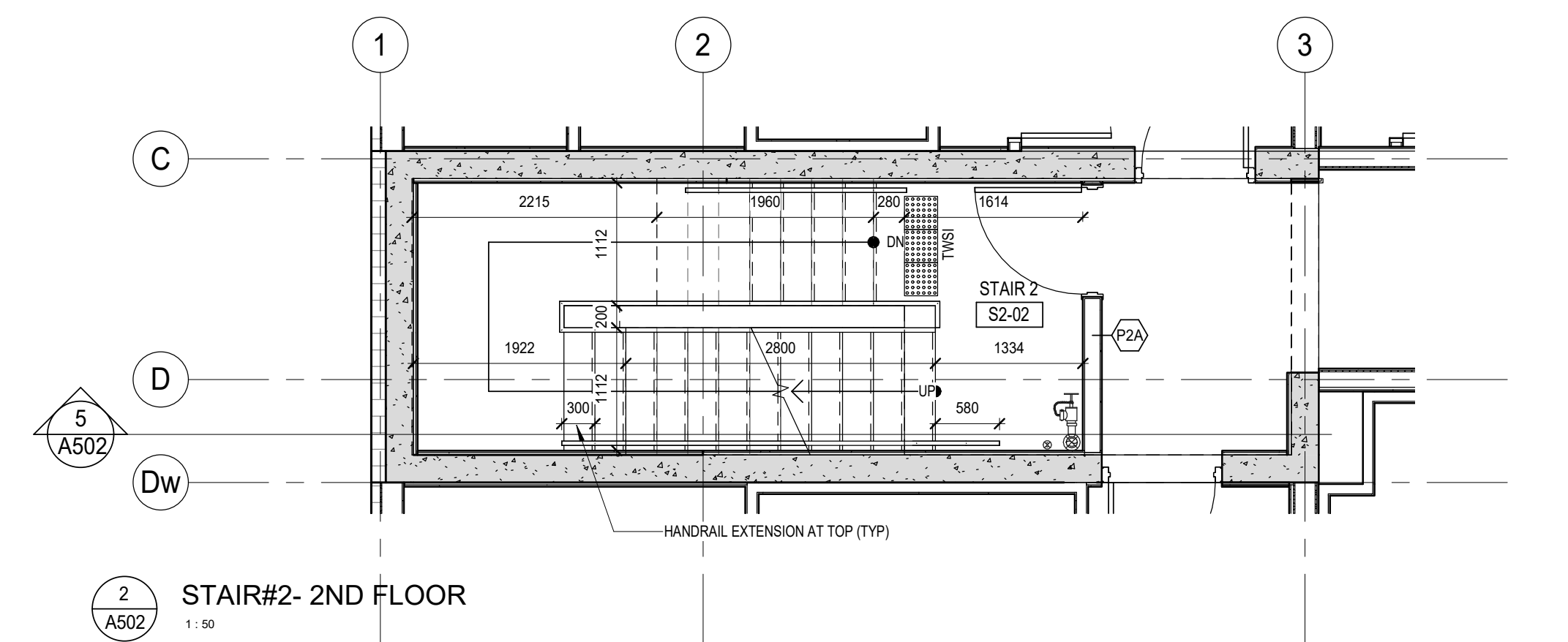
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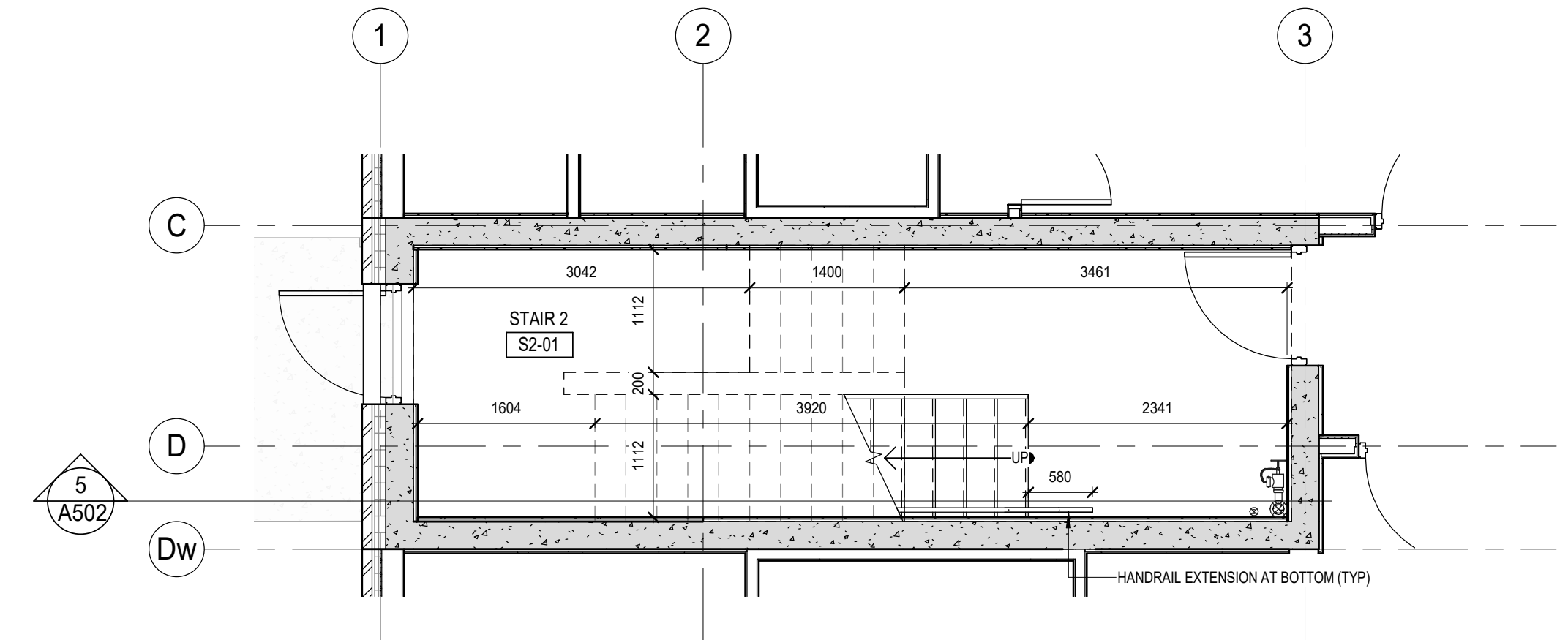
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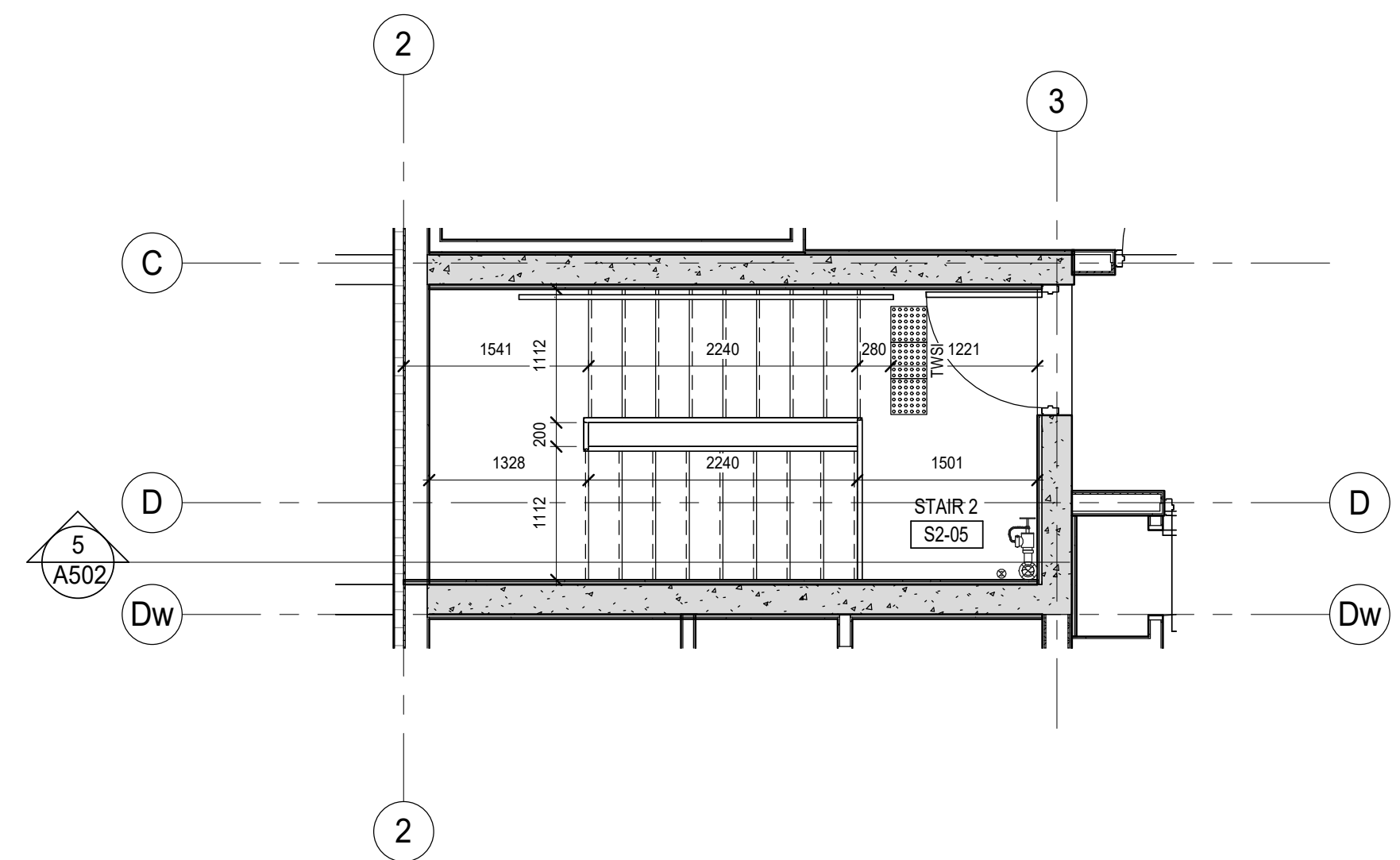
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1:50



2 STAIR#2- 2ND FLOOR  
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1 STAIR#2- GROUND FLOOR  
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4 STAIR2-5  
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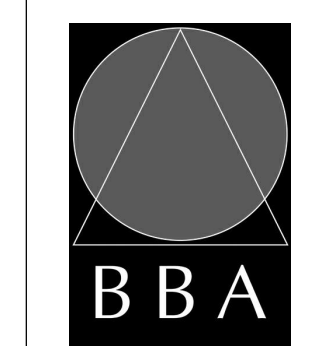
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PROJECT:  
**Mixed-Use Building  
Development (BLDG.#3)  
PHASE 1**  
  
1697 Durham Regional Hwy 2, Courtice,  
ON L1E 2R5  
RH Gay Holdings Co.

DRAWING:  
**STAIR#2**



**BARRY BRYAN  
ASSOCIATES**

Architects  
Engineers  
Project Managers

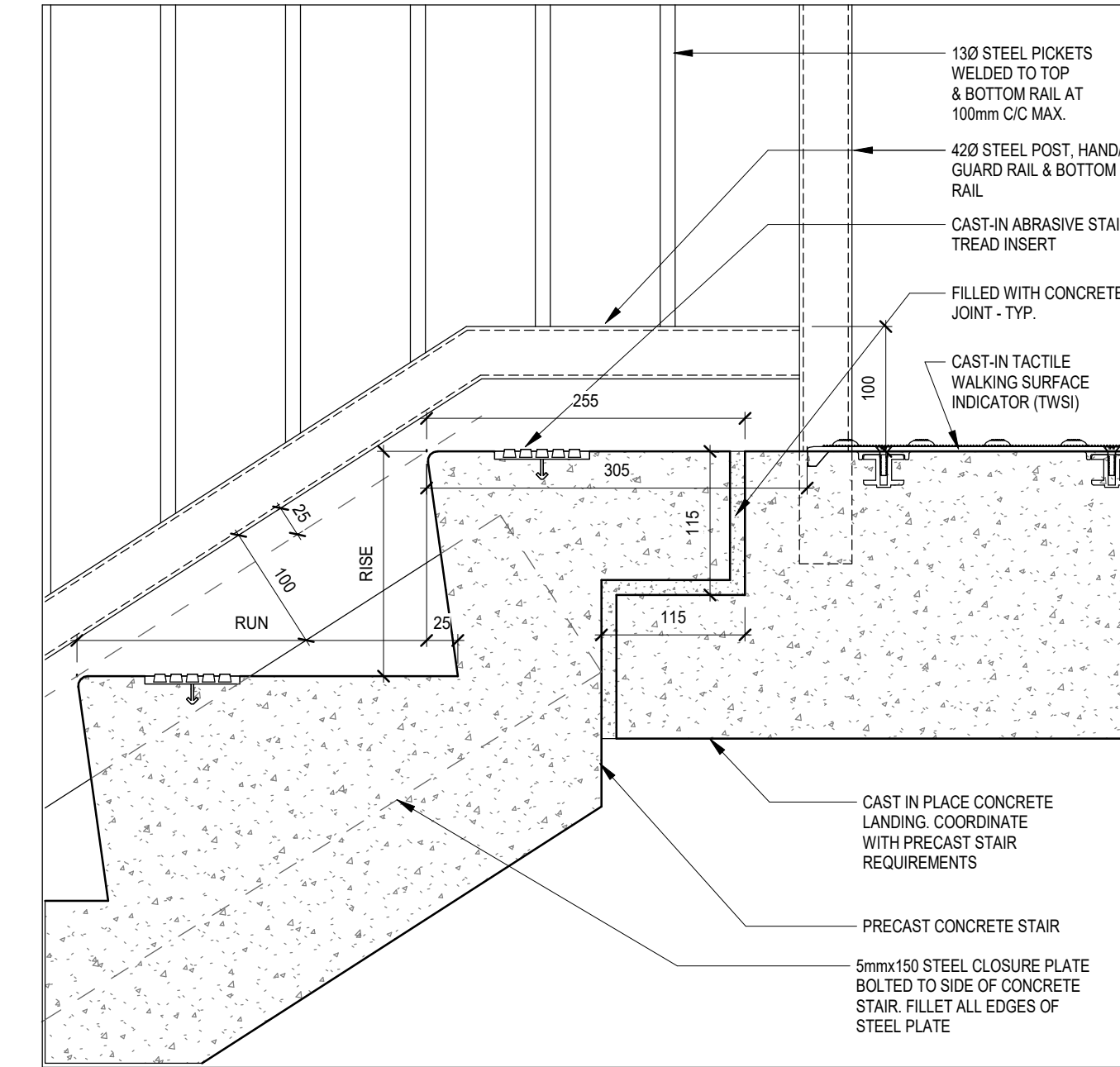
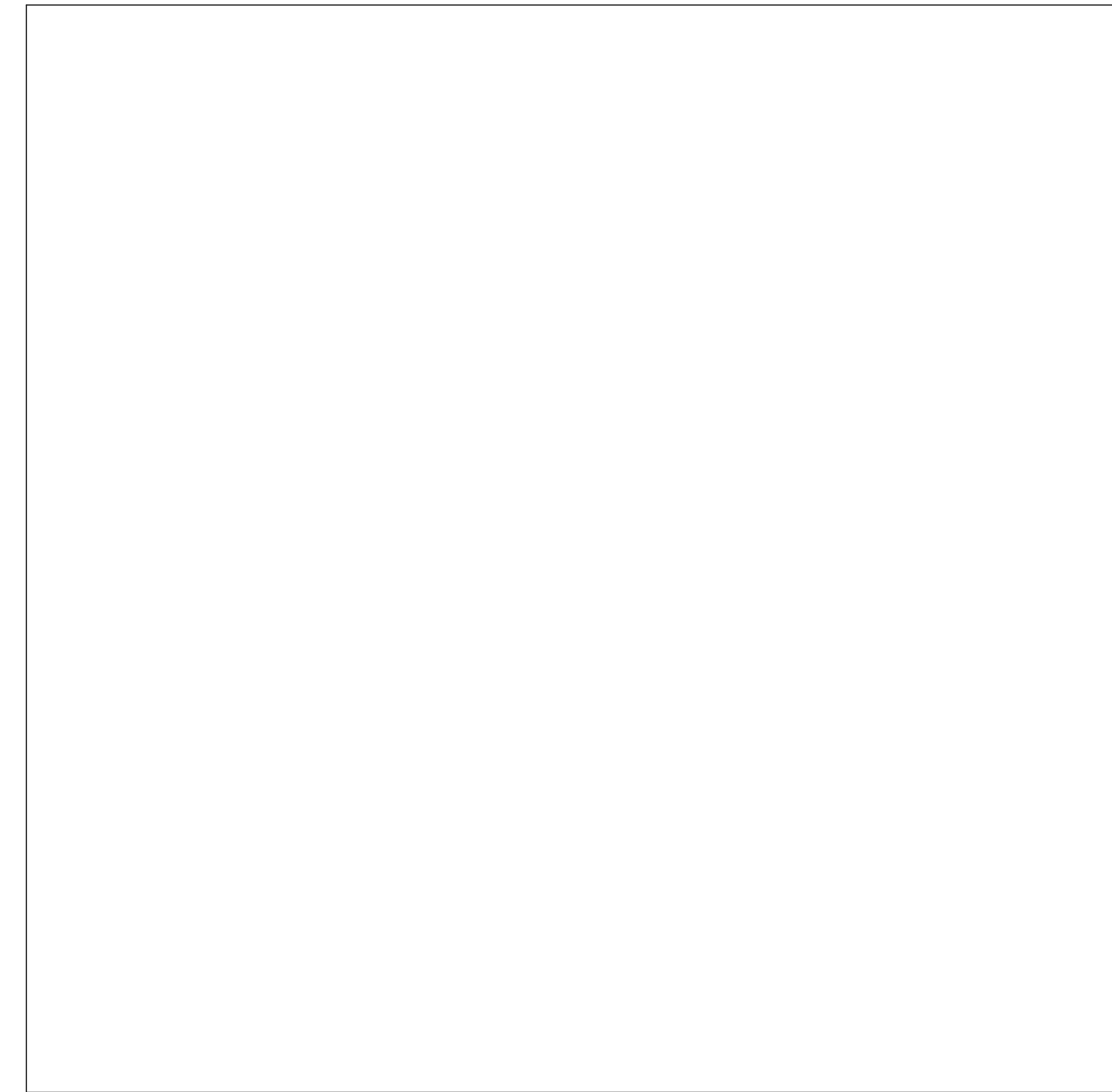
201-250 Water Street  
Whitby Ontario L1N 0G8  
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Fax: (905) 686-5256  
e-mail: bba@bba-arch.com



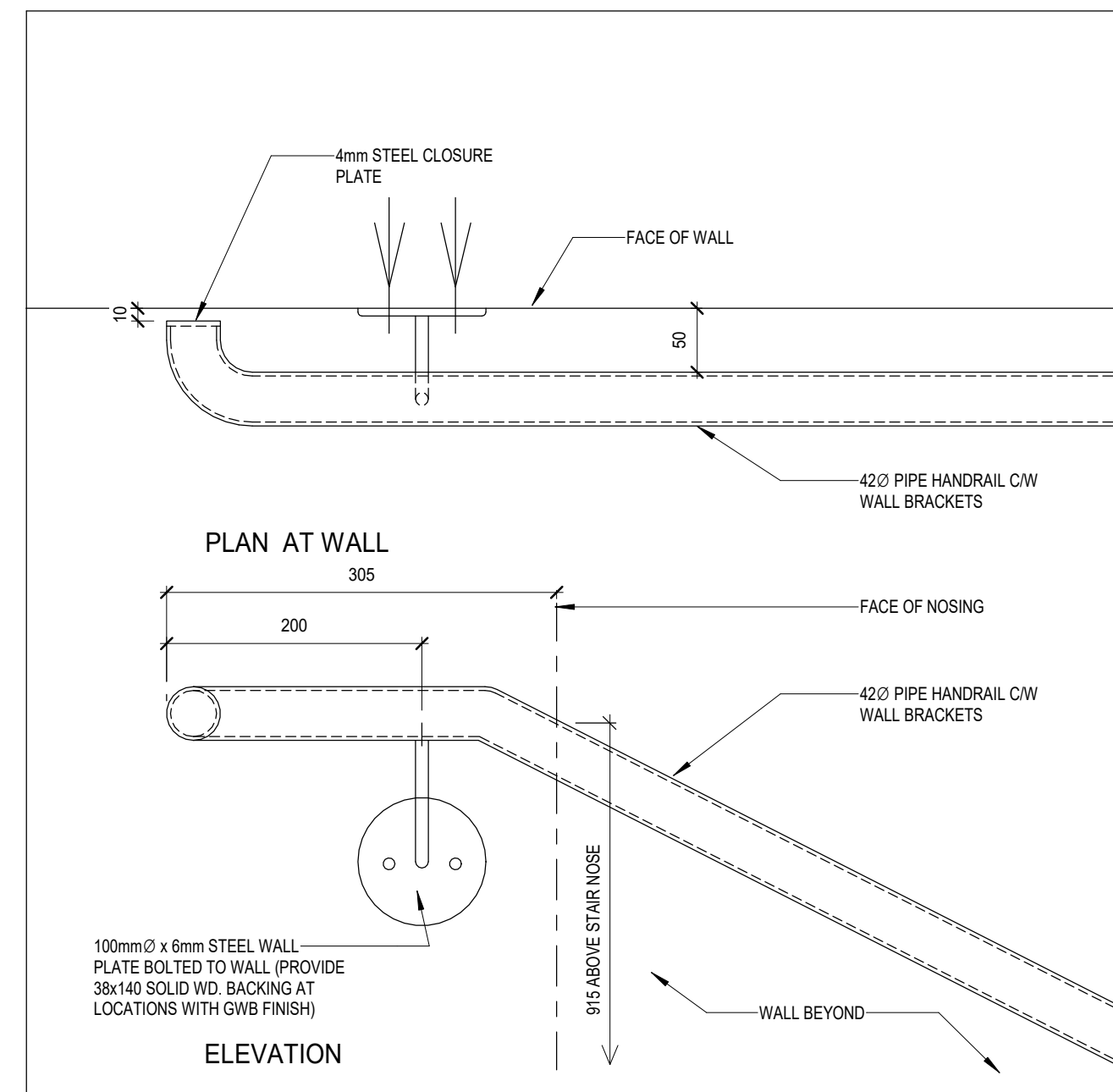
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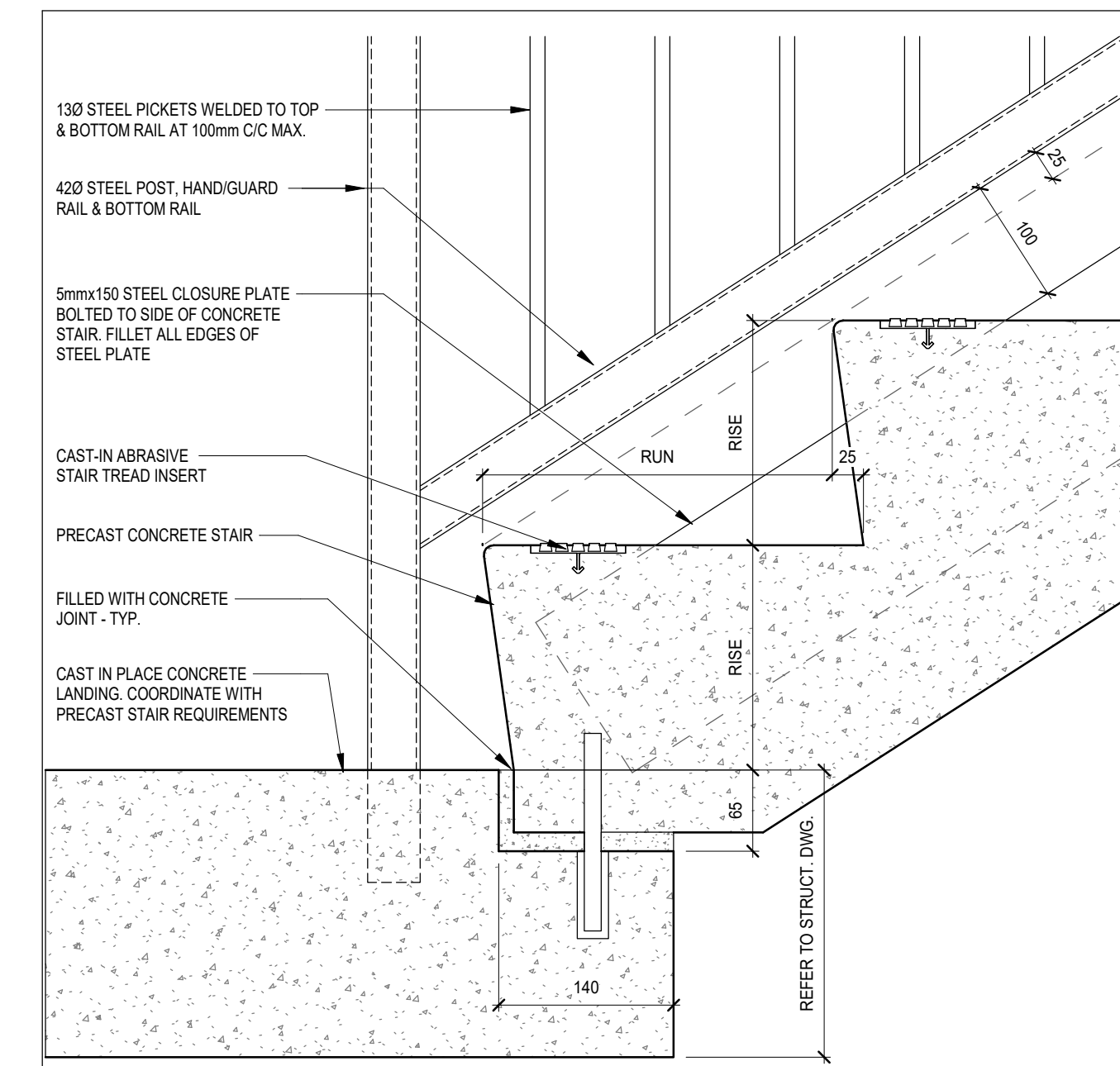
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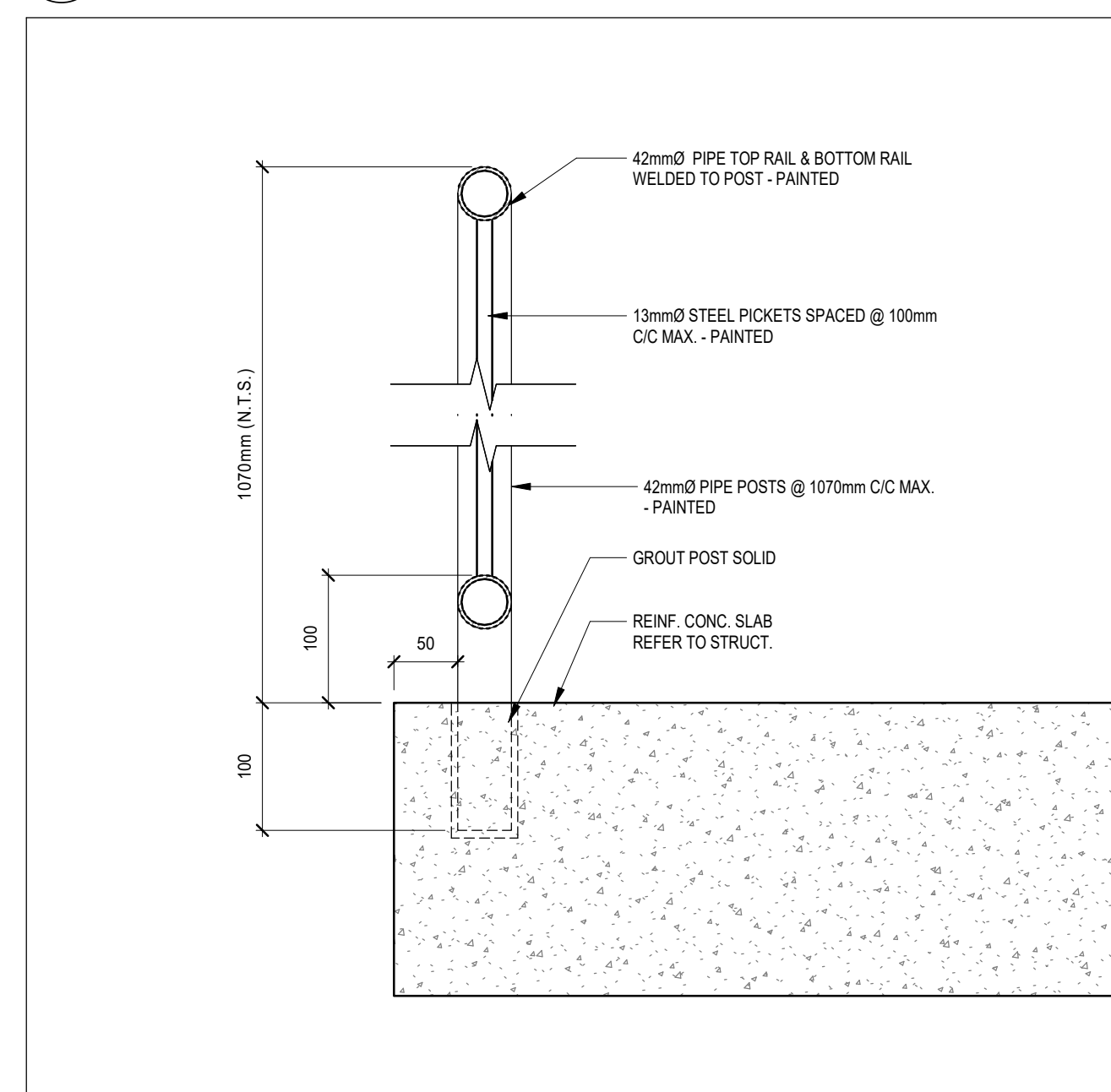
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A503  
1:5  
PRECAST STAIR DETAIL



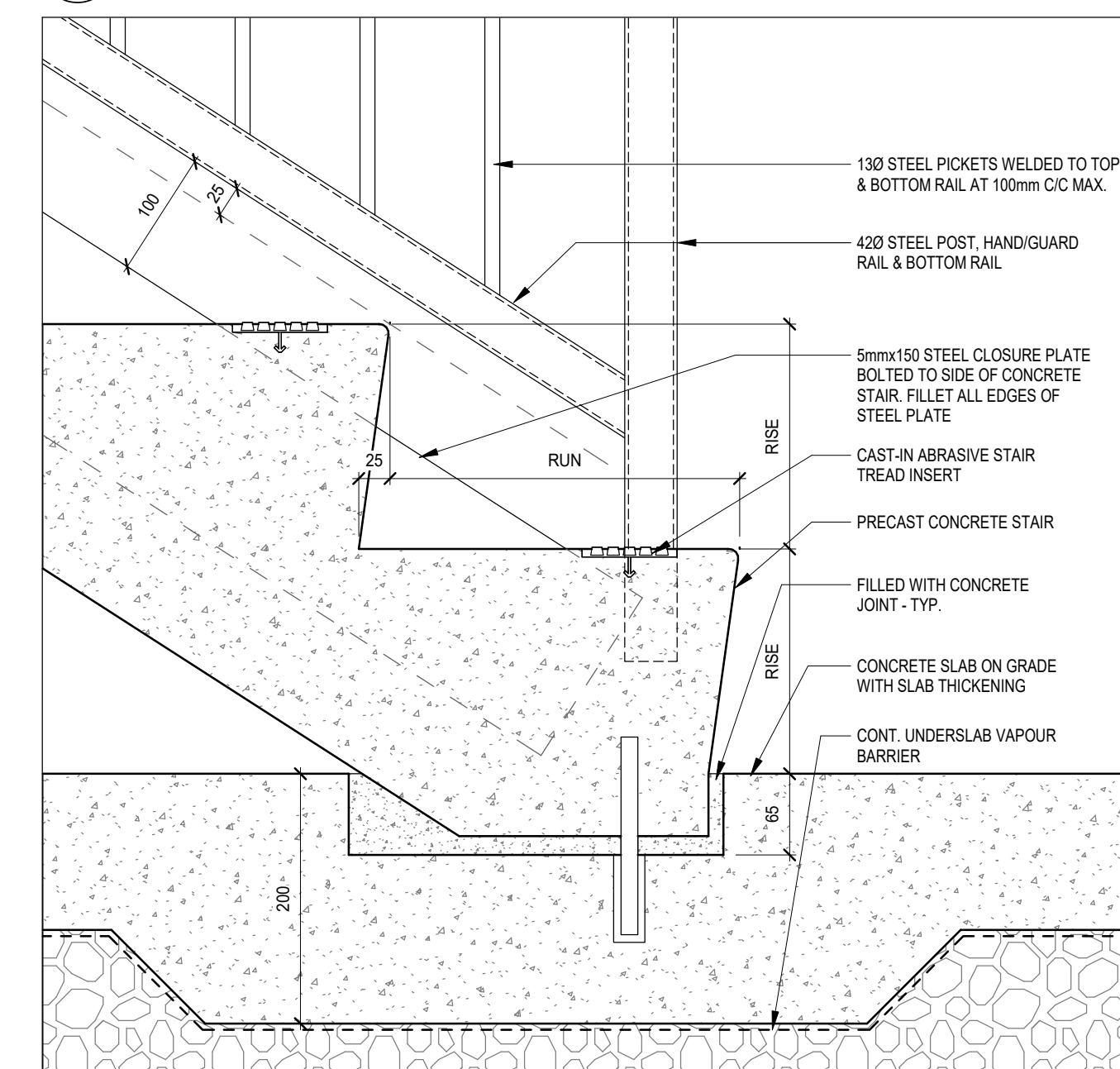
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A503  
1:5  
WALL MOUNTED HANDRAIL DETAIL



2  
A503  
1:5  
PRECAST STAIR DETAIL



4  
A503  
1:5  
GUARD RAIL DETAIL



1  
A503  
1:5  
PRECAST STAIR DETAIL

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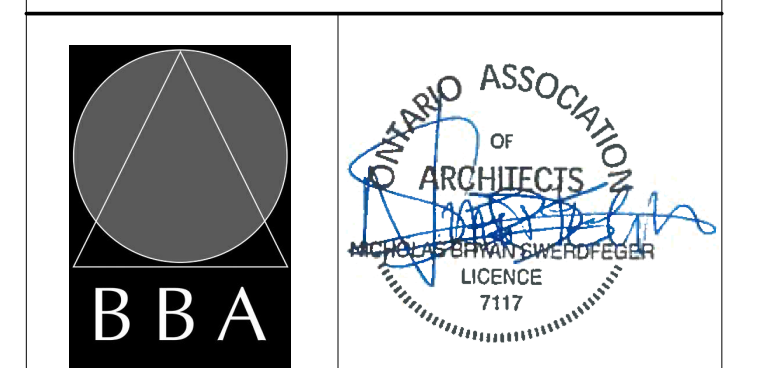


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PROJECT:  
**Mixed-Use Building Development (BLDG.#3) PHASE 1**  
1697 Durham Regional Hwy 2, Courtice, ON L1E 2R5  
RH Gay Holdings Co.

DRAWING:  
**STAIR DETAILS**

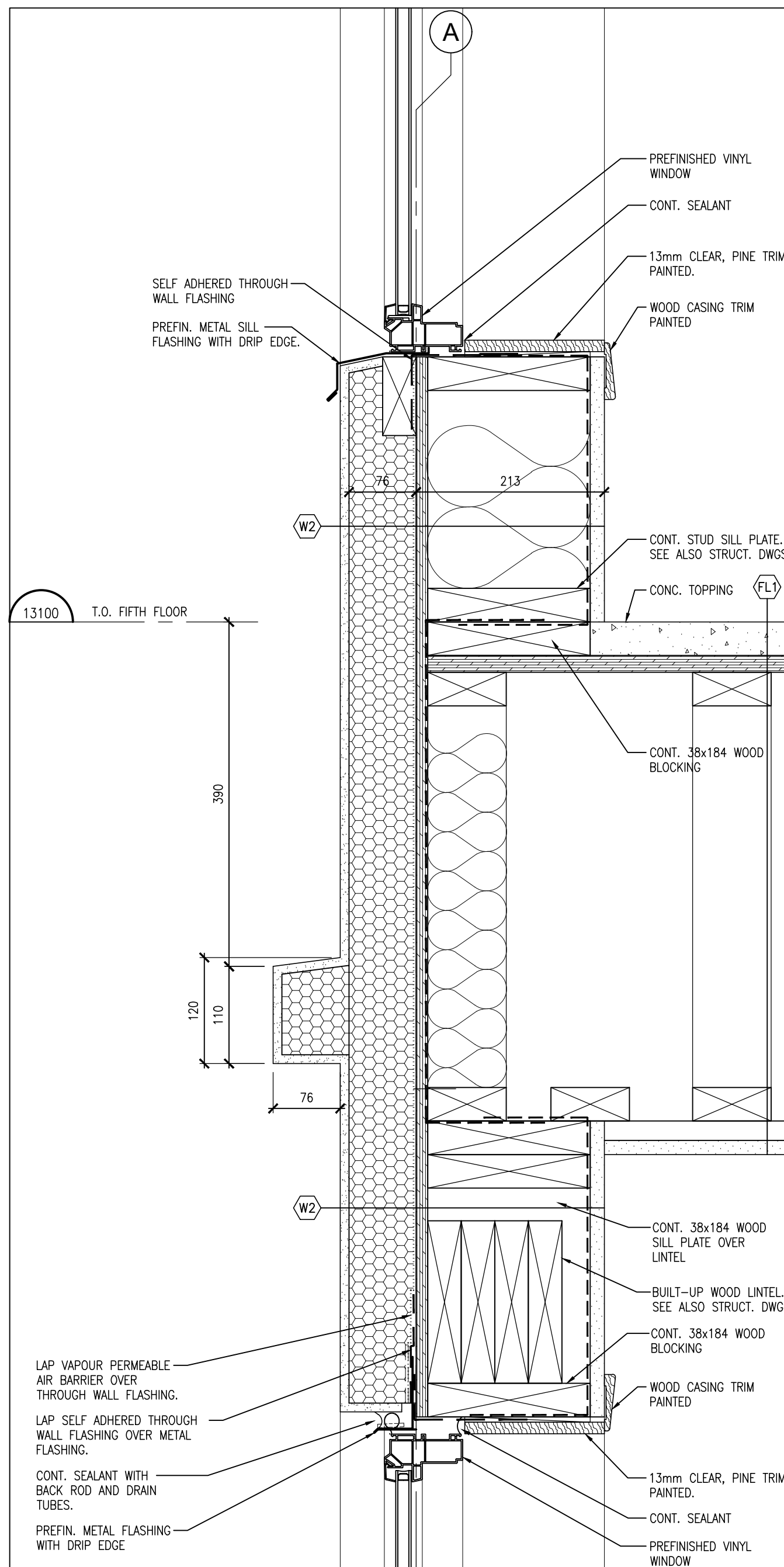


**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers

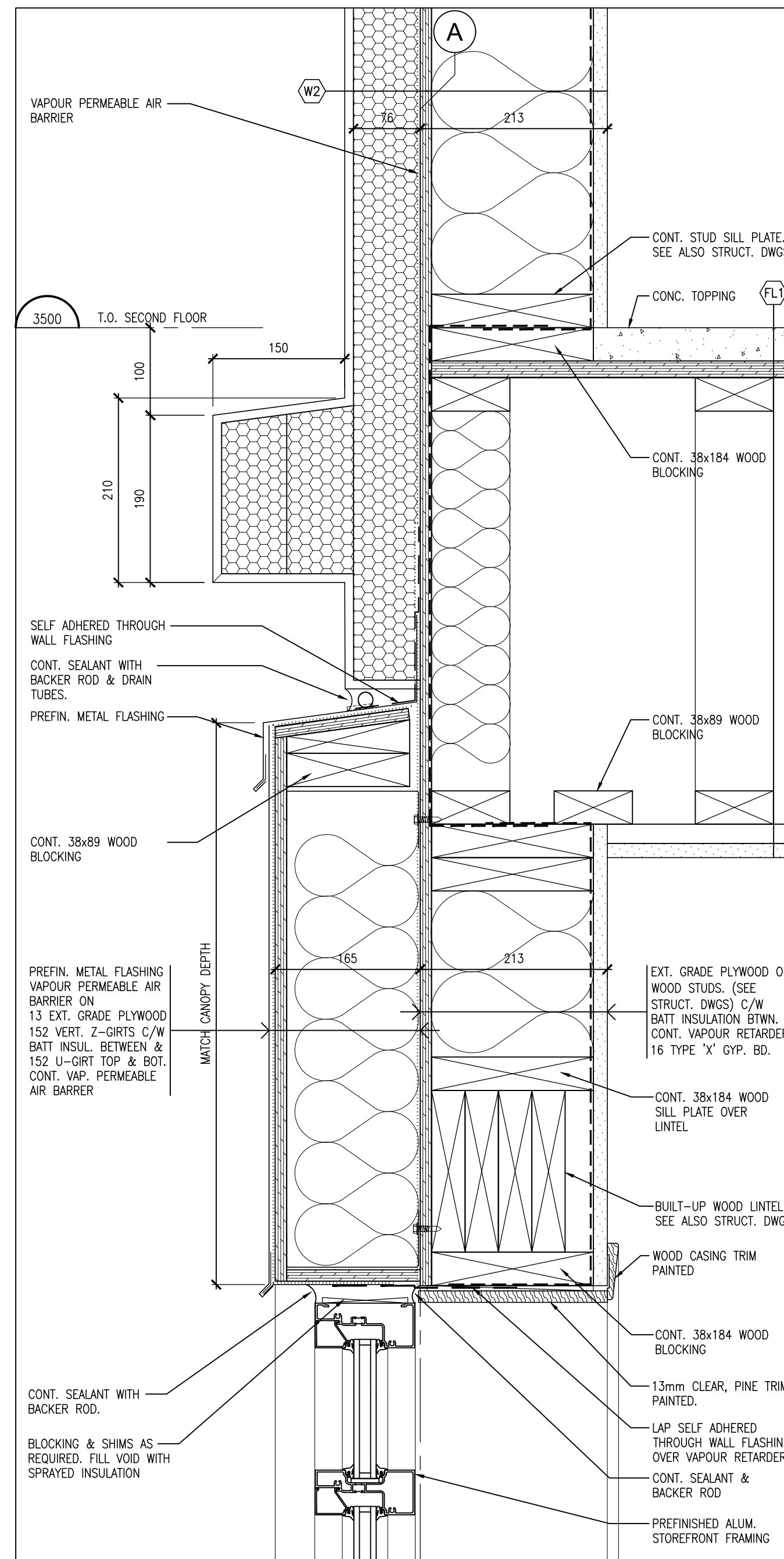
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DATE: 06/21/23	
SCALE: 1 : 5	
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Whitby Ontario L1N 0G8  
Tel: (905) 666-5252  
Fax: (905) 666-5256  
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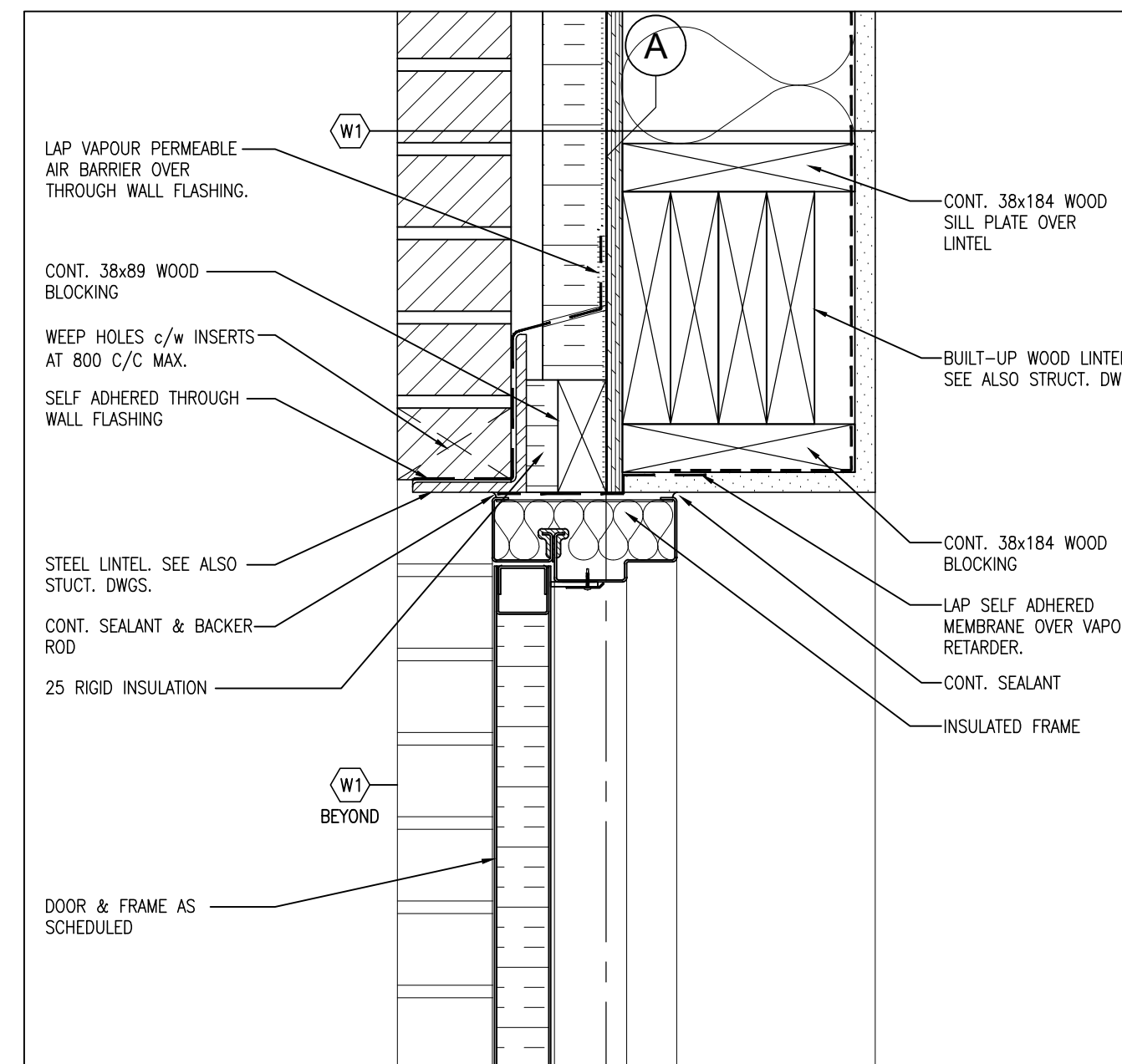
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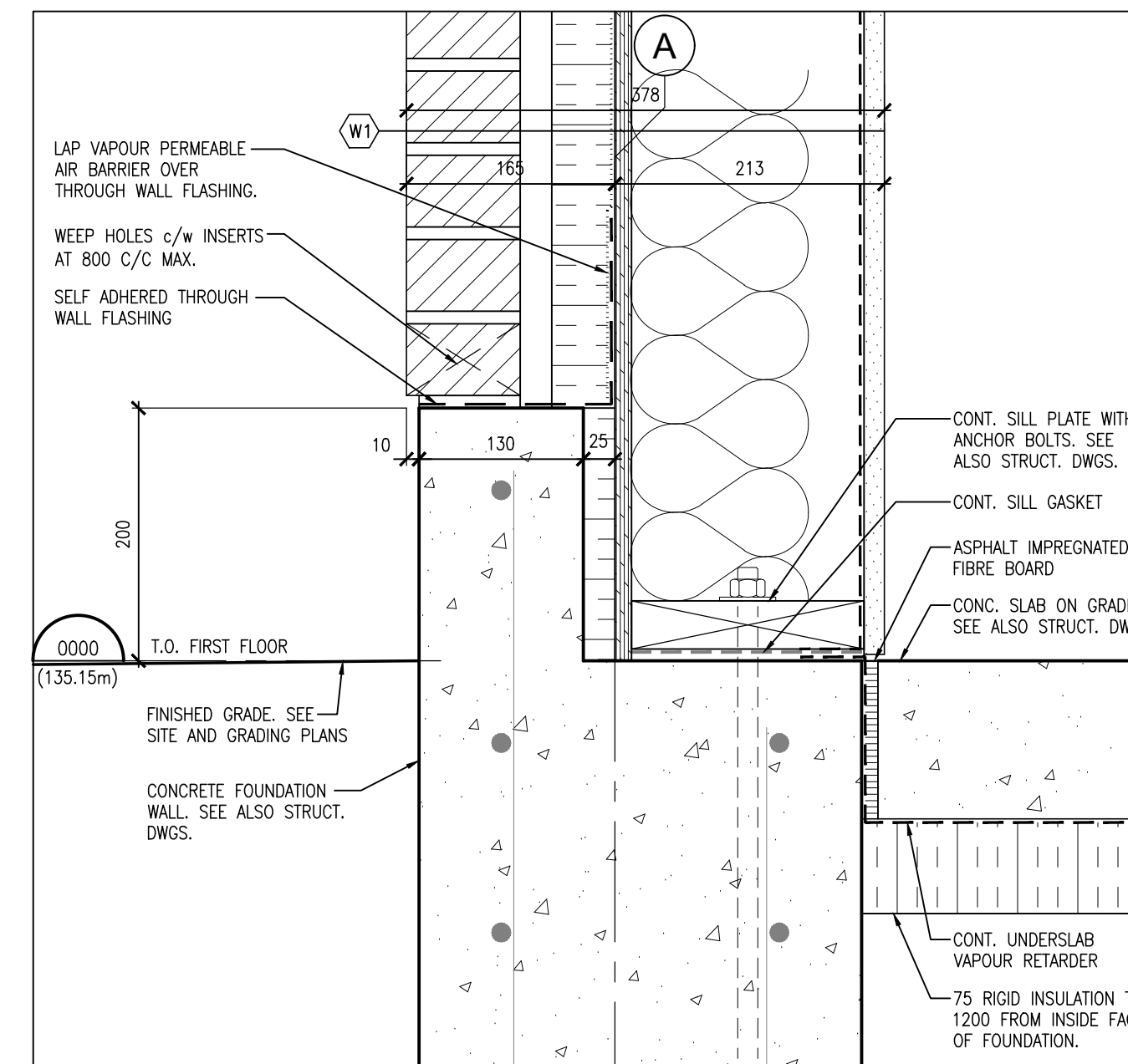
**9** SECTION DETAIL  
A601 1:5



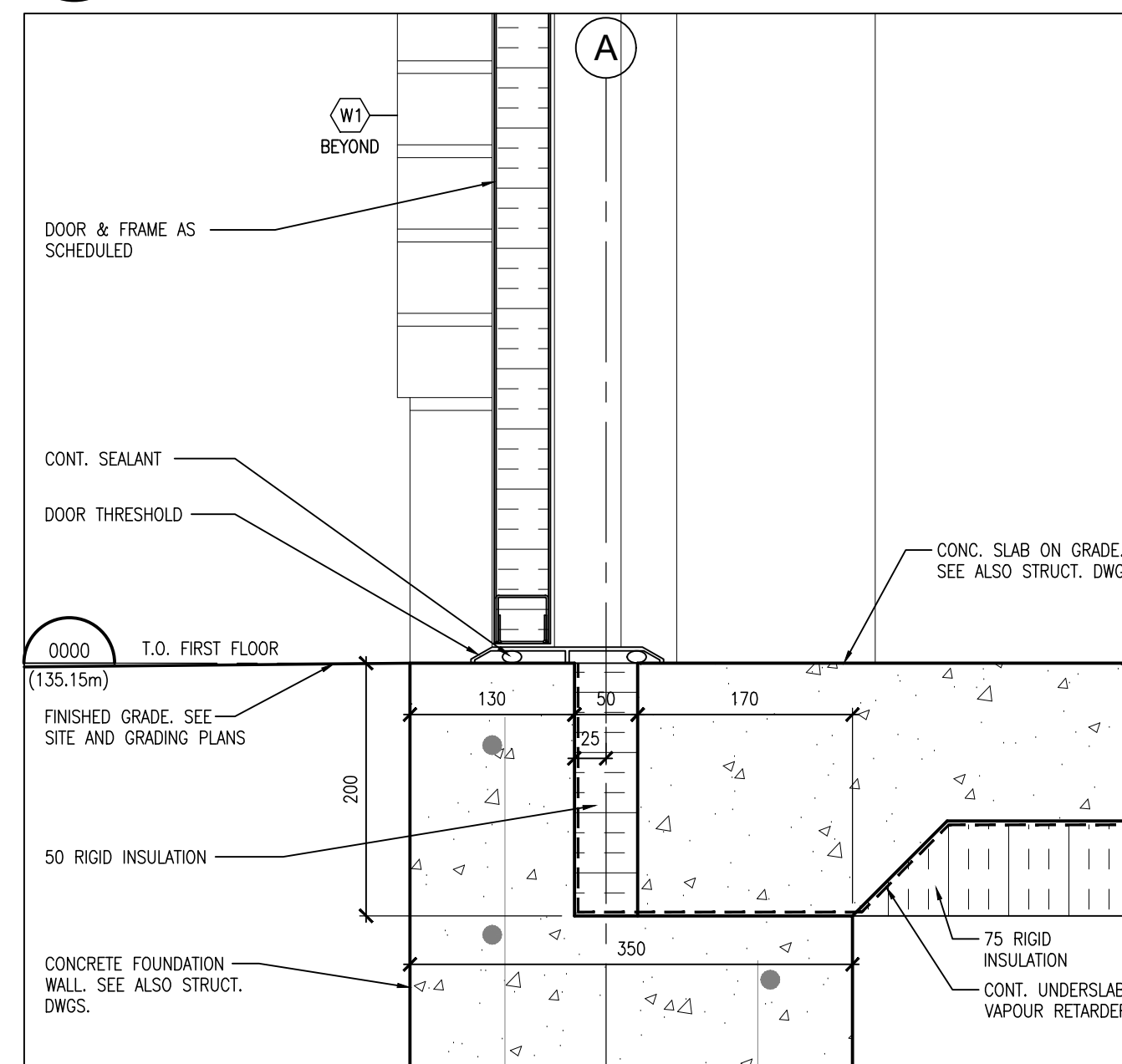
**7** SECTION DETAIL  
A601 1:5



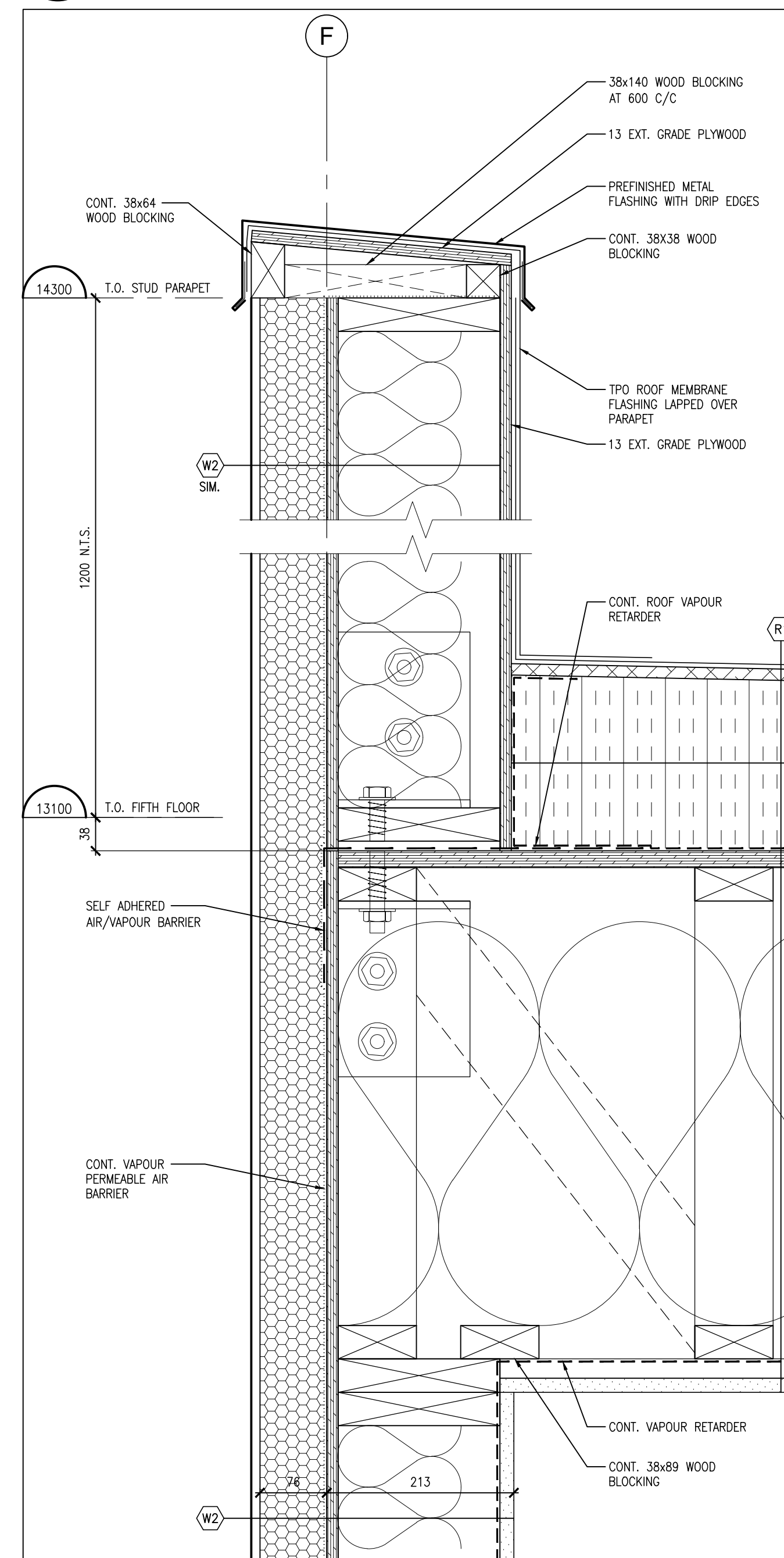
**5** DOOR HEAD DETAIL  
A601 1:5



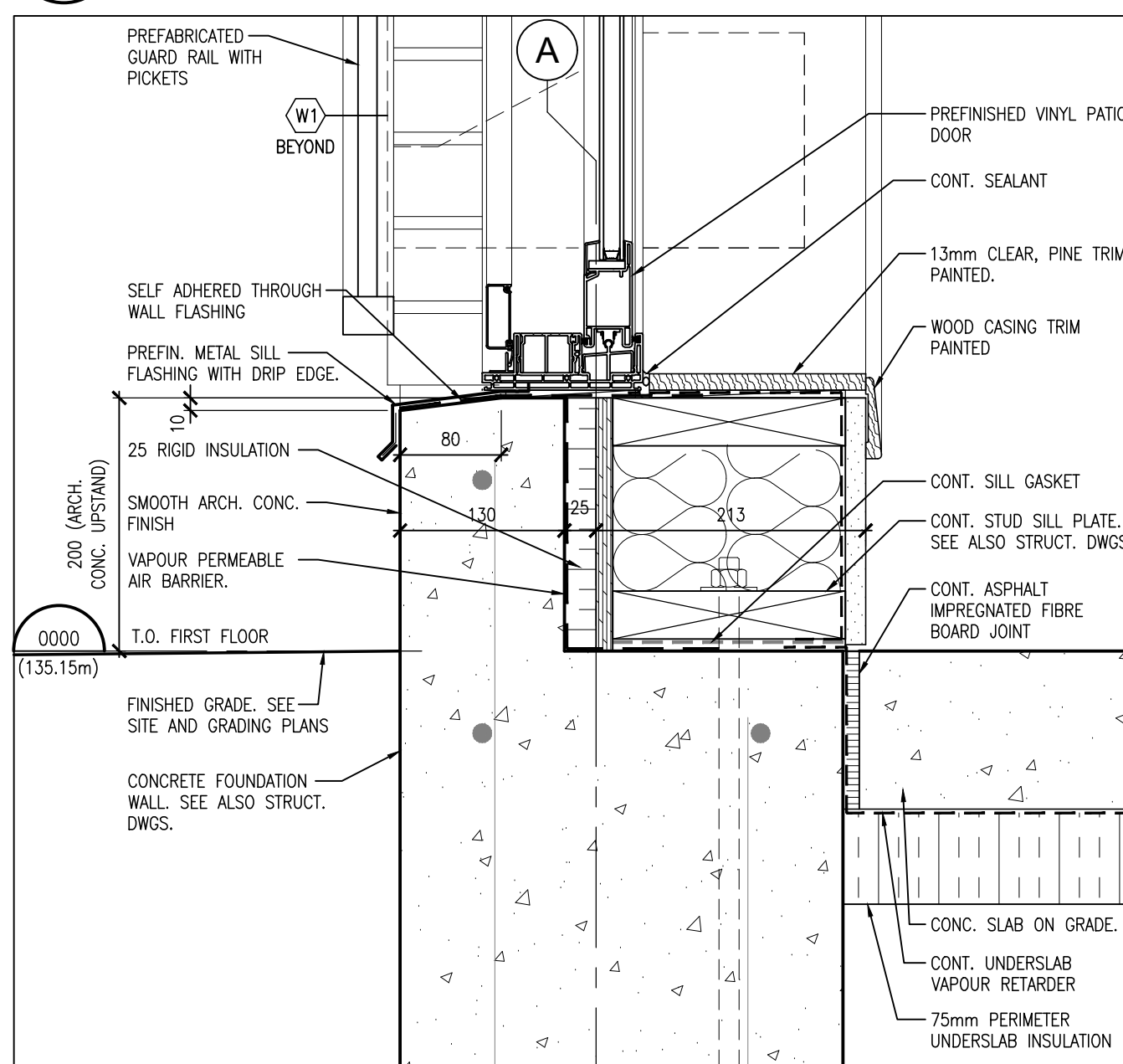
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A601 1:5



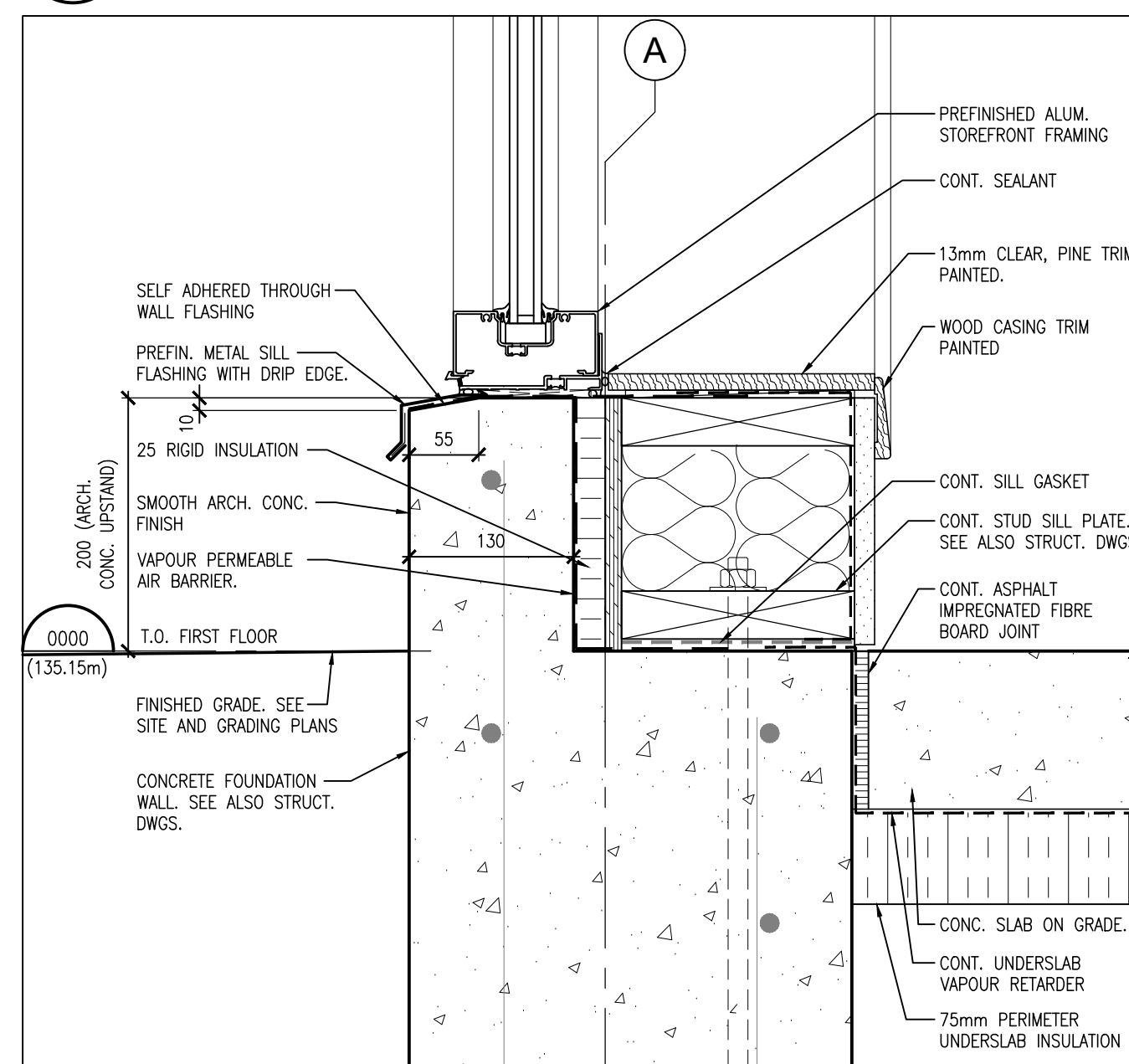
**4** THRESHOLD DETAIL  
A601 1:5



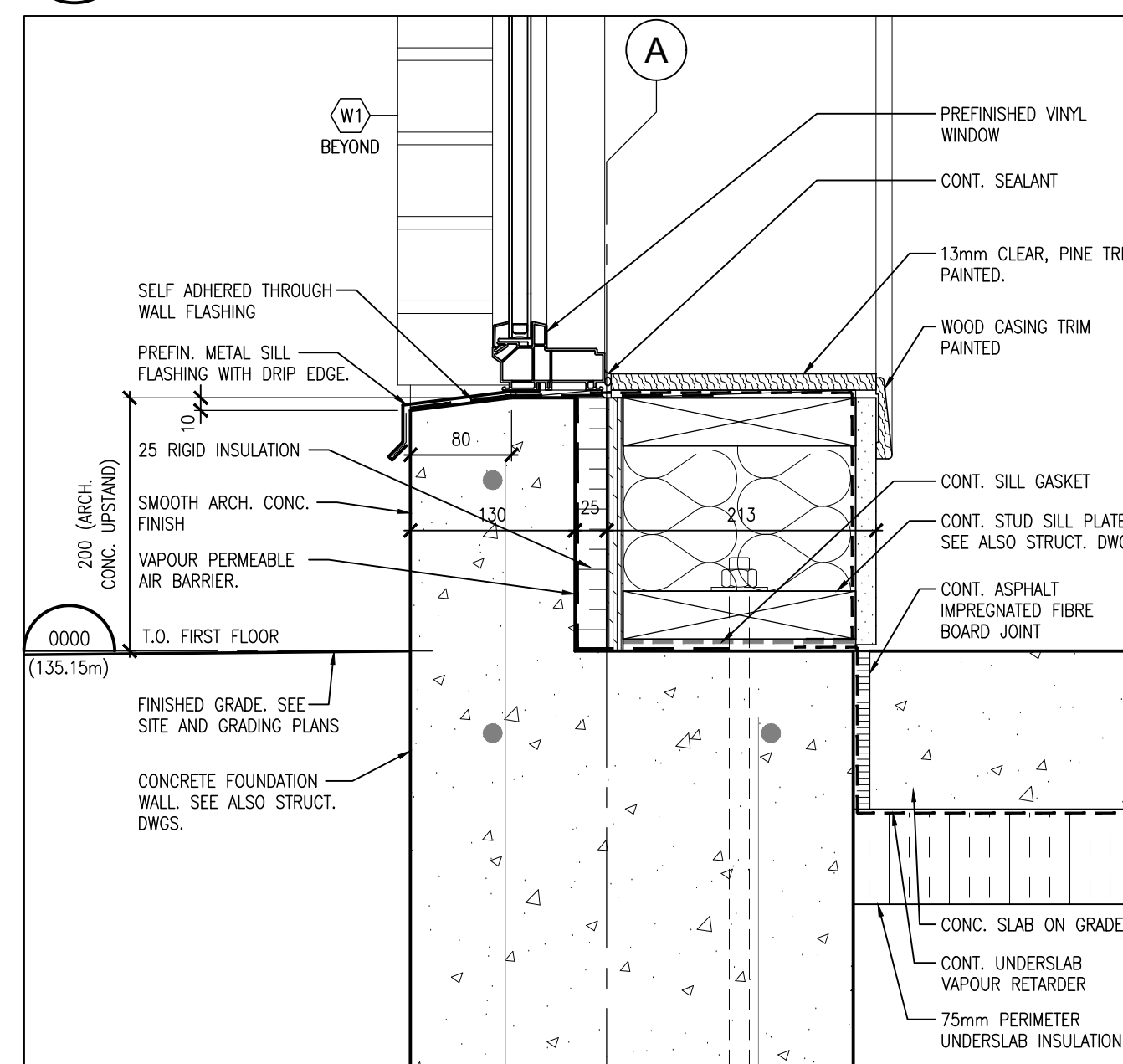
**1** PARAPET DETAIL  
A601 1:5



**8** SILL DETAIL AT PATIO DOOR  
A601 1:5



**6** SILL DETAIL AT STOREFRONT  
A601 1:5



**3** SILL DETAIL AT WINDOW  
A601 1:5

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NO.	REVISIONS	DATE	BY

PROJECT:  
**MIXED-USE BUILDING DEVELOPMENT (BLDG.#3) PHASE 1**  
1697 HIGHWAY#2 COURTICE, ON

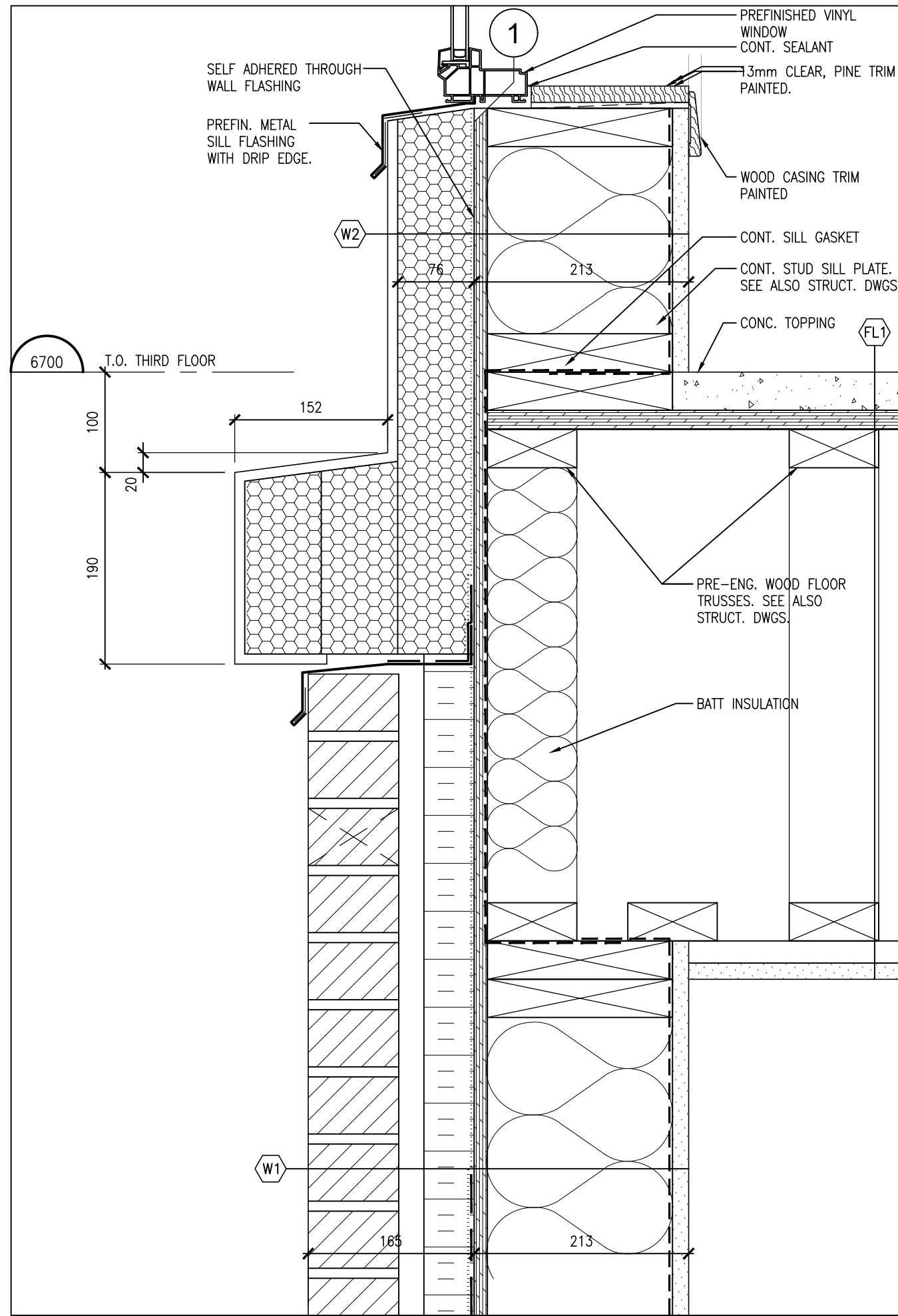
R.H. Gay Holdings Co.

DRAWING:  
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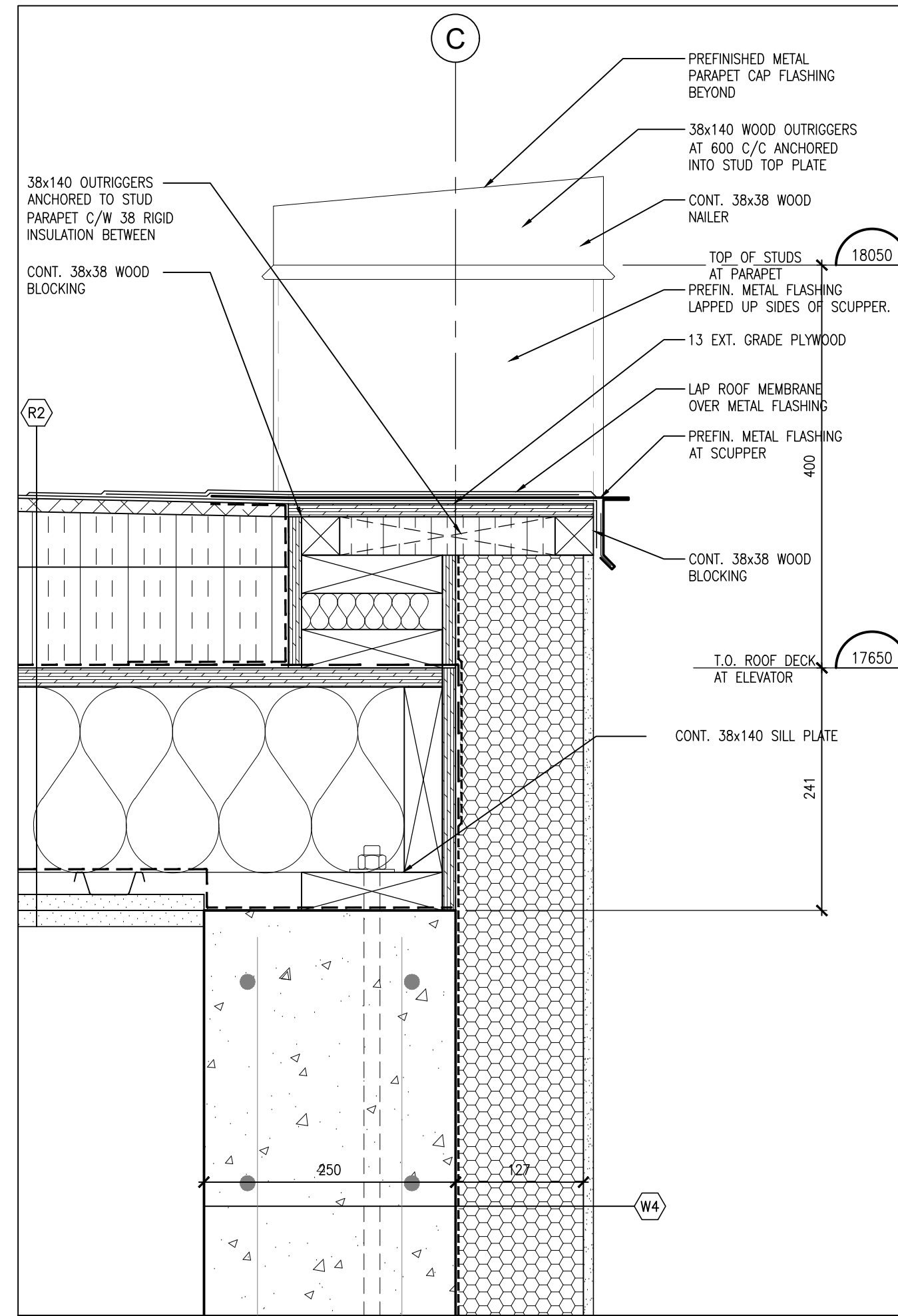


BARRY BRYAN ASSOCIATES  
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Whitby, Ontario  
L1N 0G5  
Tel: (905) 666-6252  
Fax: (905) 666-6256  
e-mail: bba@bba-archeng.com

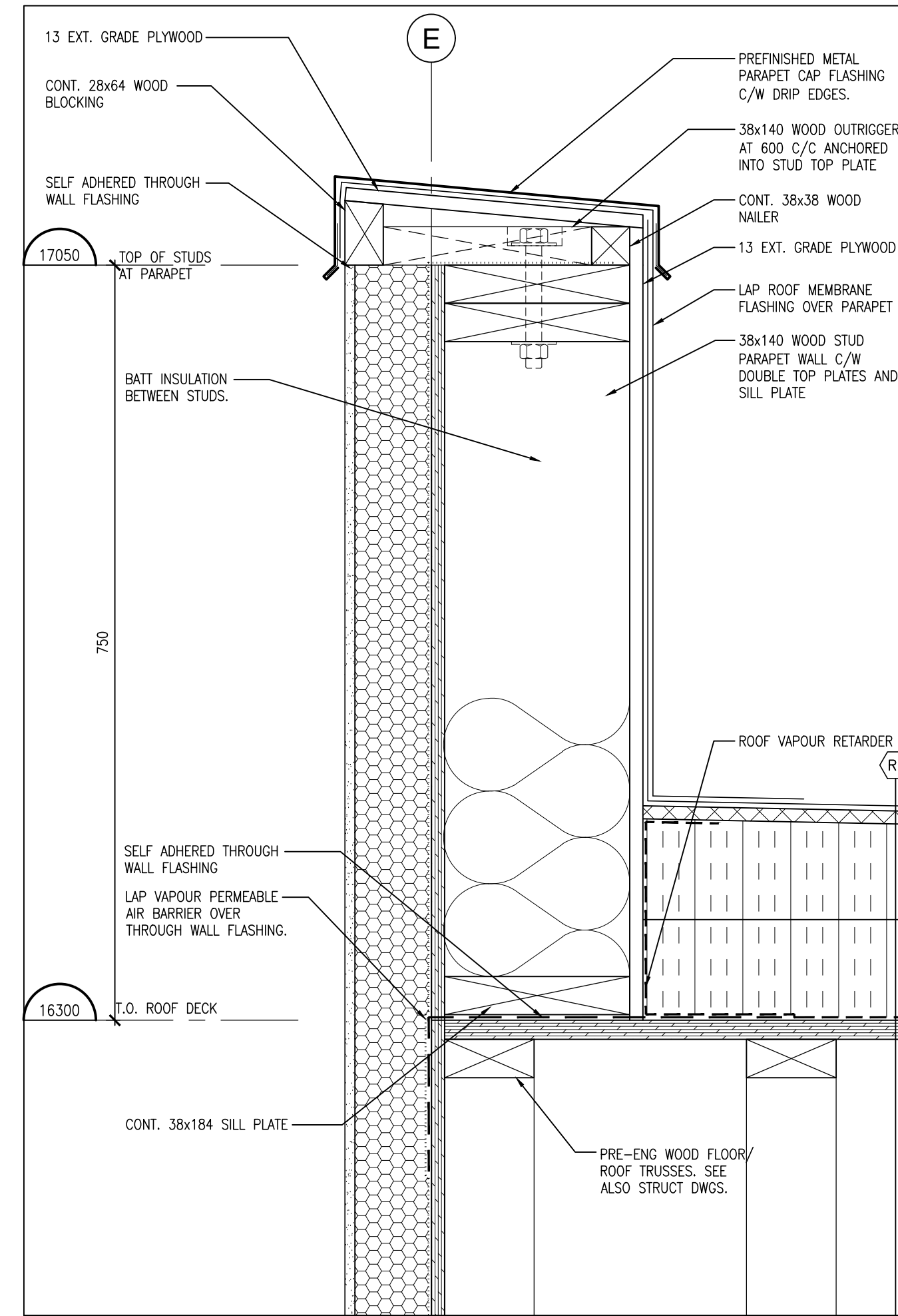
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DATE: FEB. 2024  
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PROJECT NO: **21046**  
DRAWING NO: **A601**



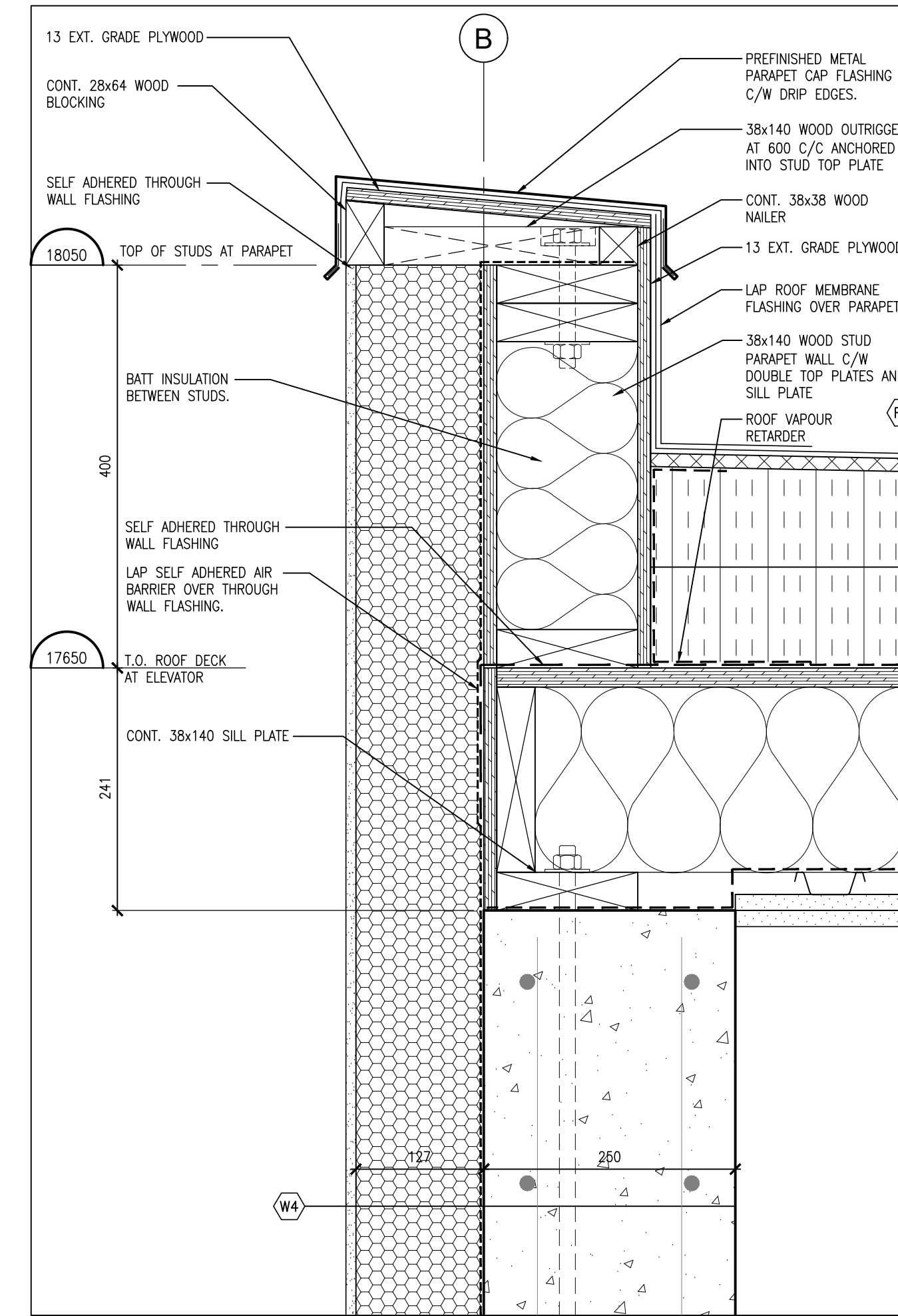
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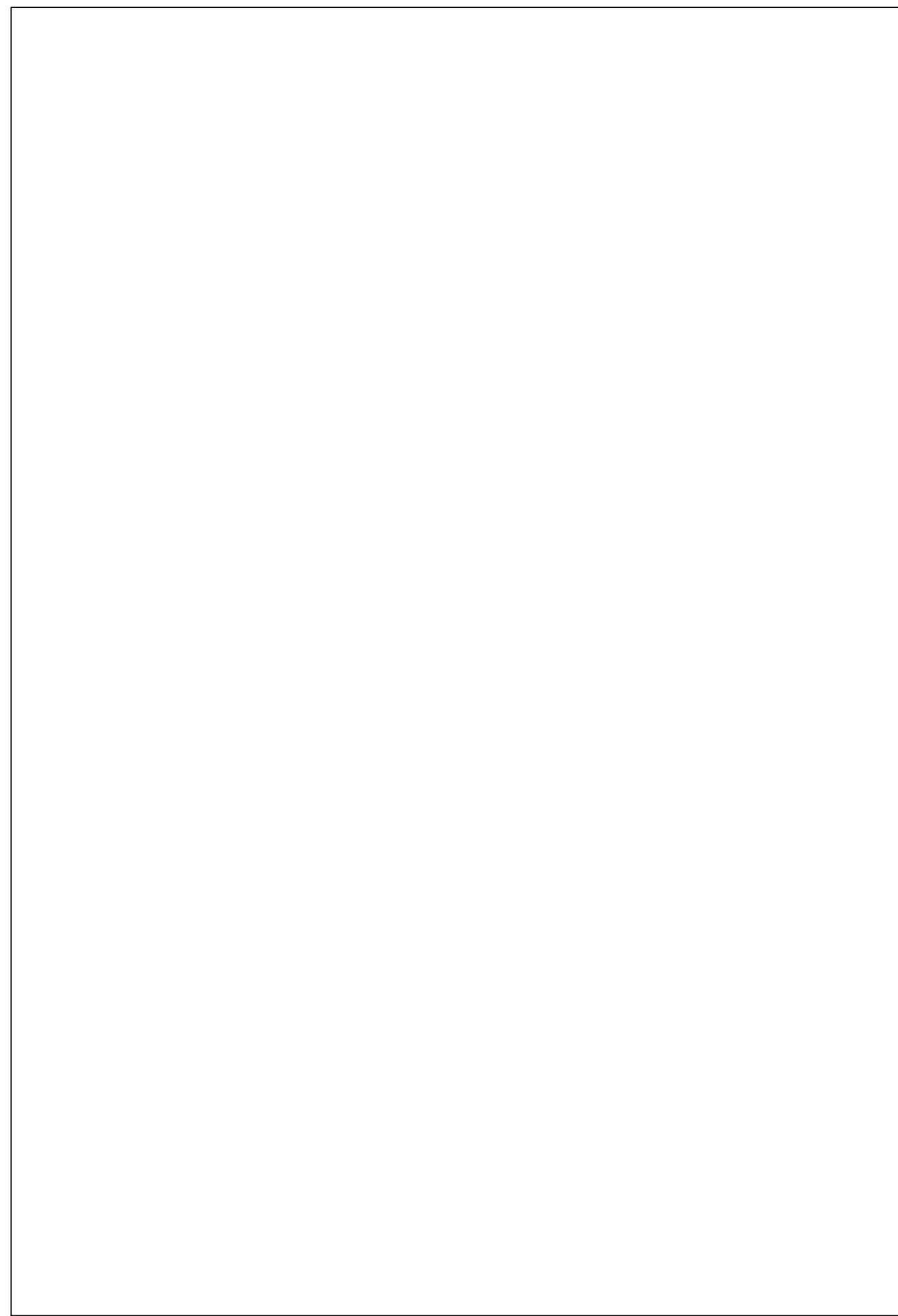
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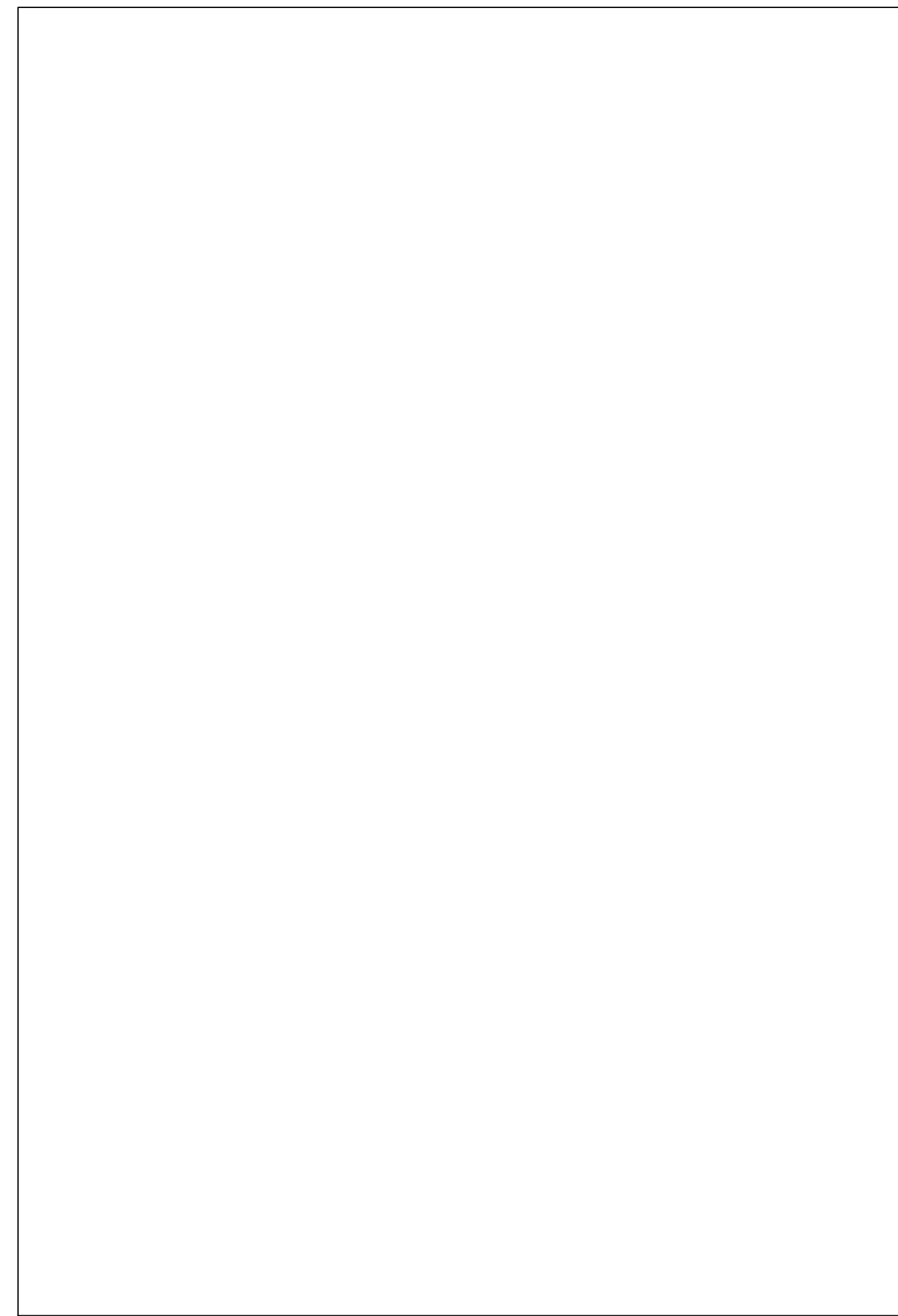
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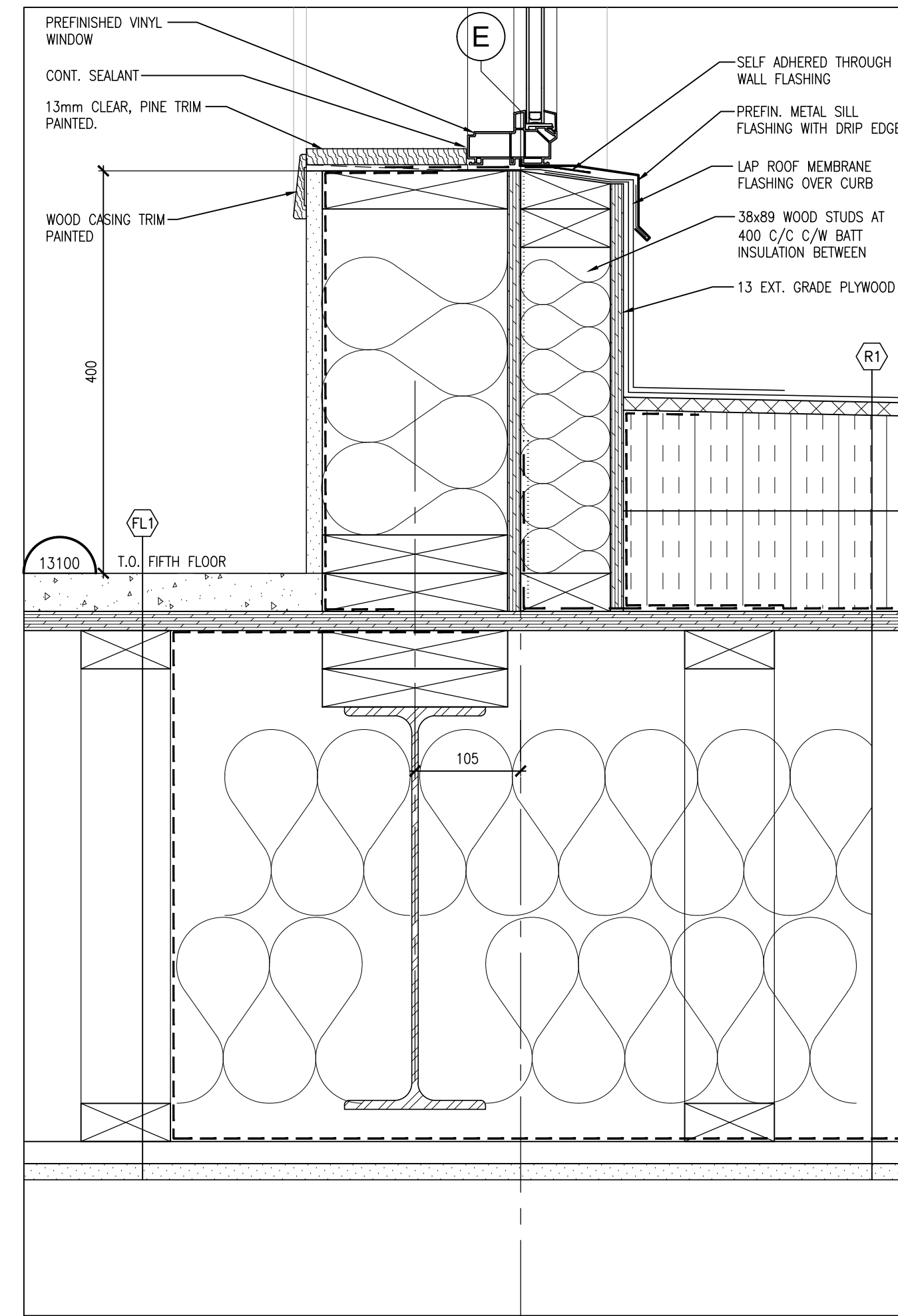
2 ELEVATOR PARAPET  
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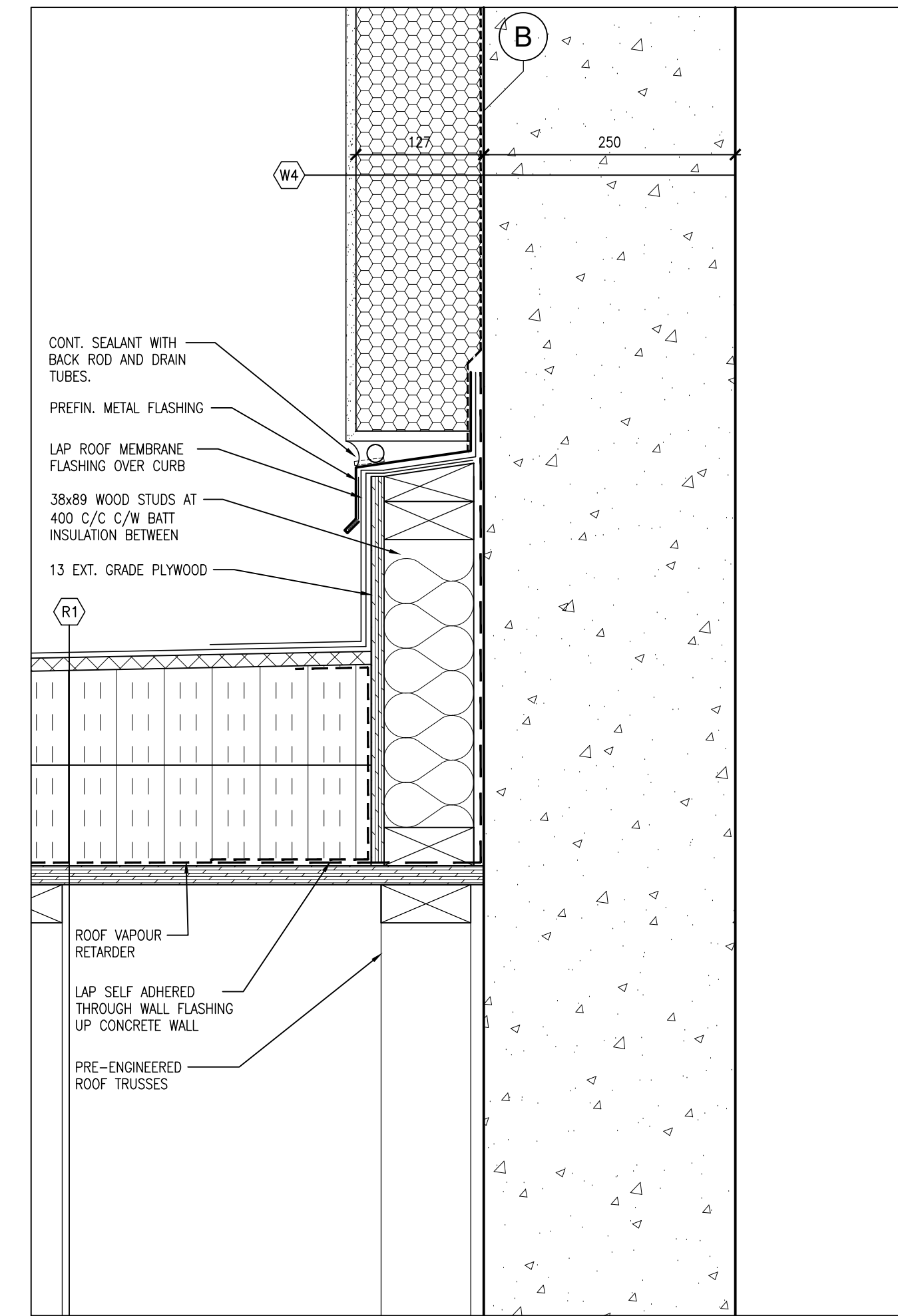
7 NOT USED  
A602



5 NOT USED  
A602



3 SECTION DETAIL  
A602 1:5



1 SECTION DETAIL  
A602 1:5

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PROJECT:  
**MIXED-USE BUILDING DEVELOPMENT (BLDG.#3) PHASE 1**  
1697 HIGHWAY#2 COURTICE, ON

R.H. Gay Holdings Co.

DRAWING:  
**SECTIONS**



**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers  
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 0G5  
Tel: (905) 666-5252  
Fax: (905) 666-5256  
e-mail: bba@bba-archeng.com

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CHECKED BY: NS  
DATE: FEB. 2024  
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FILE:

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DRAWING NO: **A602**

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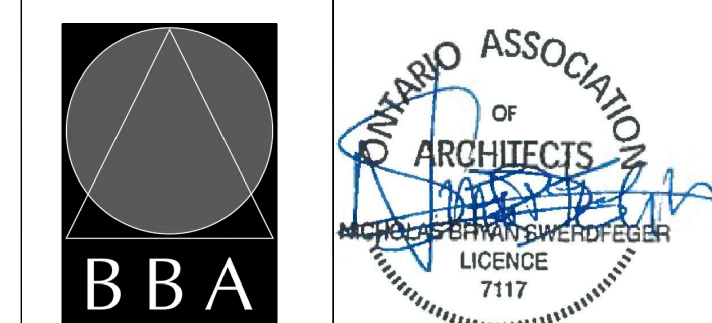
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PROJECT:  
**MIXED-USE BUILDING  
 DEVELOPMENT (BLDG.#3)  
 PHASE 1**  
 1697 HIGHWAY#2  
 COURTCICE, ON

R.H. Gay Holdings Co.

DRAWING:  
**SECTIONS**



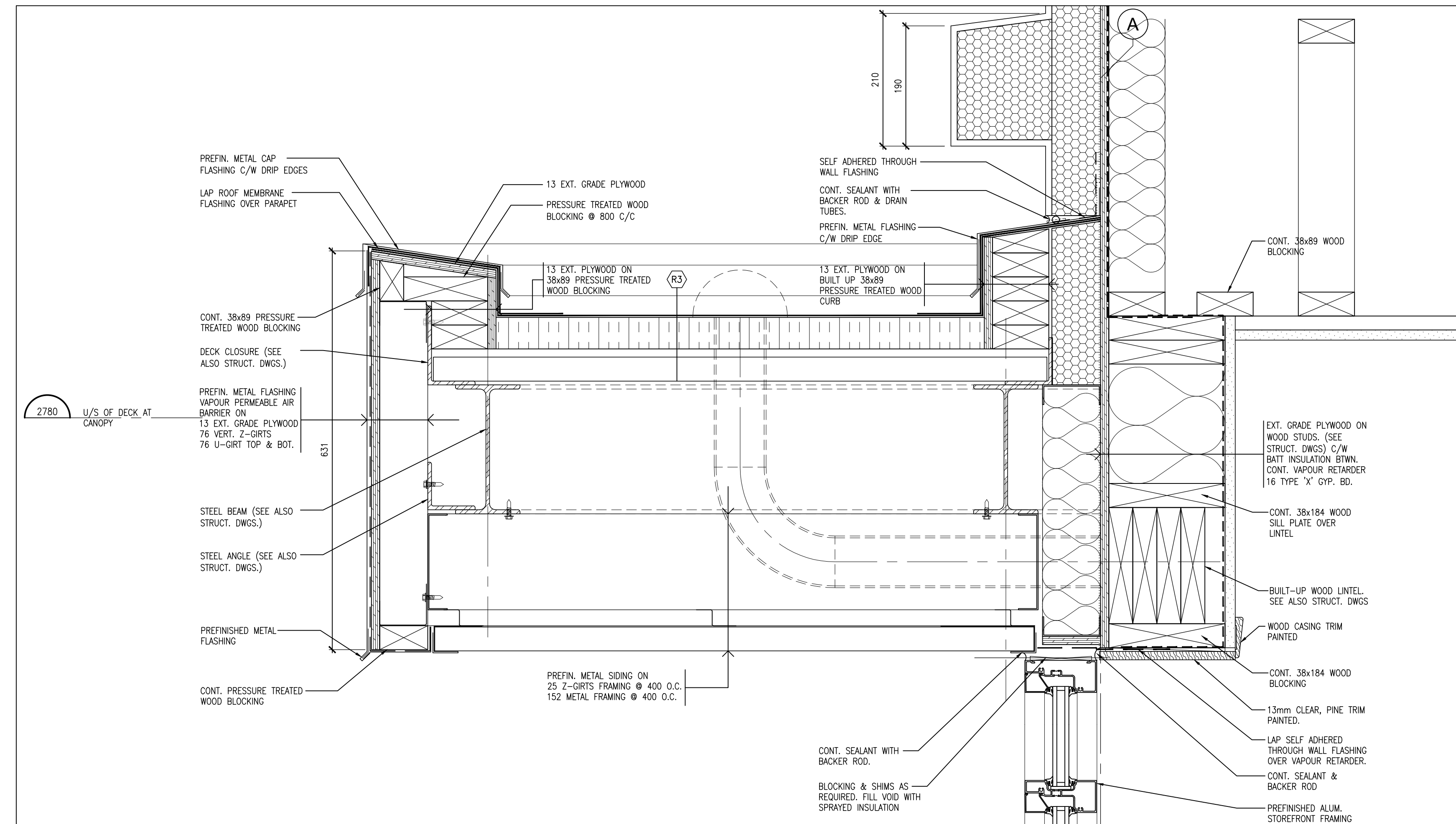
**BARRY BRYAN  
 ASSOCIATES**

Architects  
 Engineers  
 Project Managers  
 250 Water Street  
 Suite 201  
 Whitby, Ontario  
 L1N 0G5  
 Tel: (905) 666-6252  
 Fax: (905) 666-6256  
 e-mail: bba@bba-archeng.com

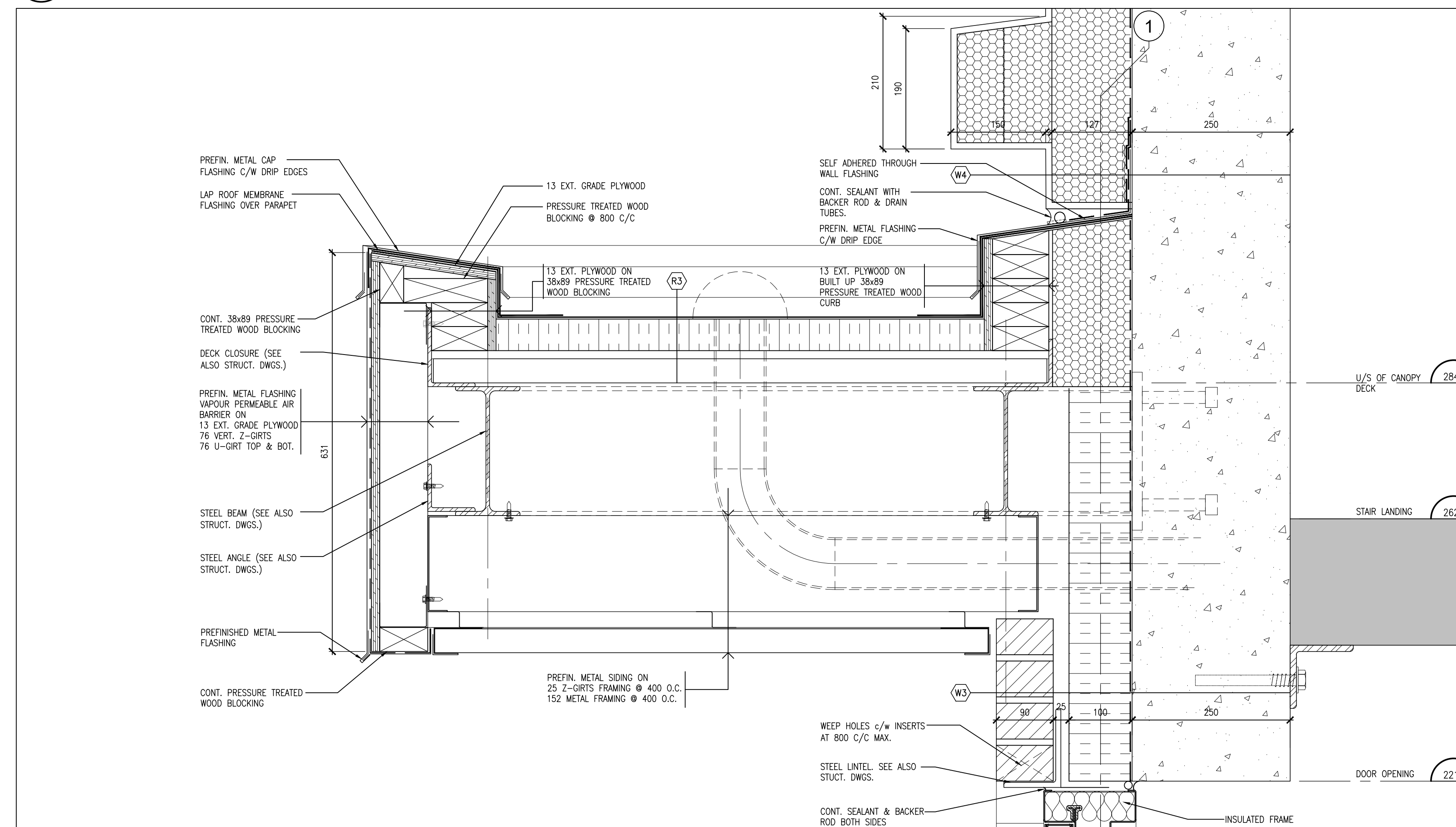
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FILE:	

PROJECT NO:  
**21046**

DRAWING NO:  
**A603**



**2 CANOPY SECTION**  
 1:5



**1 CANOPY SECTION**  
 1:5

**5 NOT USED**  
 A602

**4 NOT USED**  
 A602

**3 NOT USED**  
 A602



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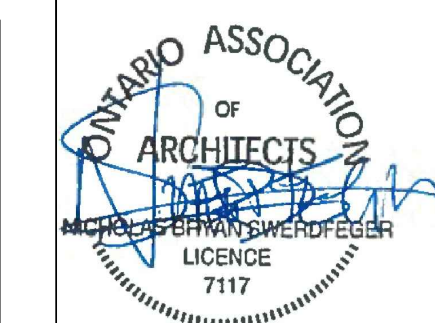
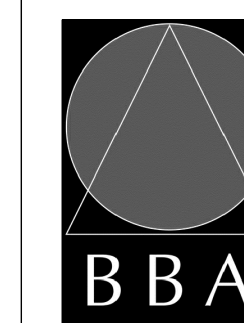
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PROJECT:  
**MIXED-USE BUILDING  
 DEVELOPMENT (BLDG.#3)  
 PHASE 1**  
 1697 HIGHWAY#2  
 COURTYCE, ON

R.H. Gay Holdings Co.

DRAWING:  
**SECTIONS**



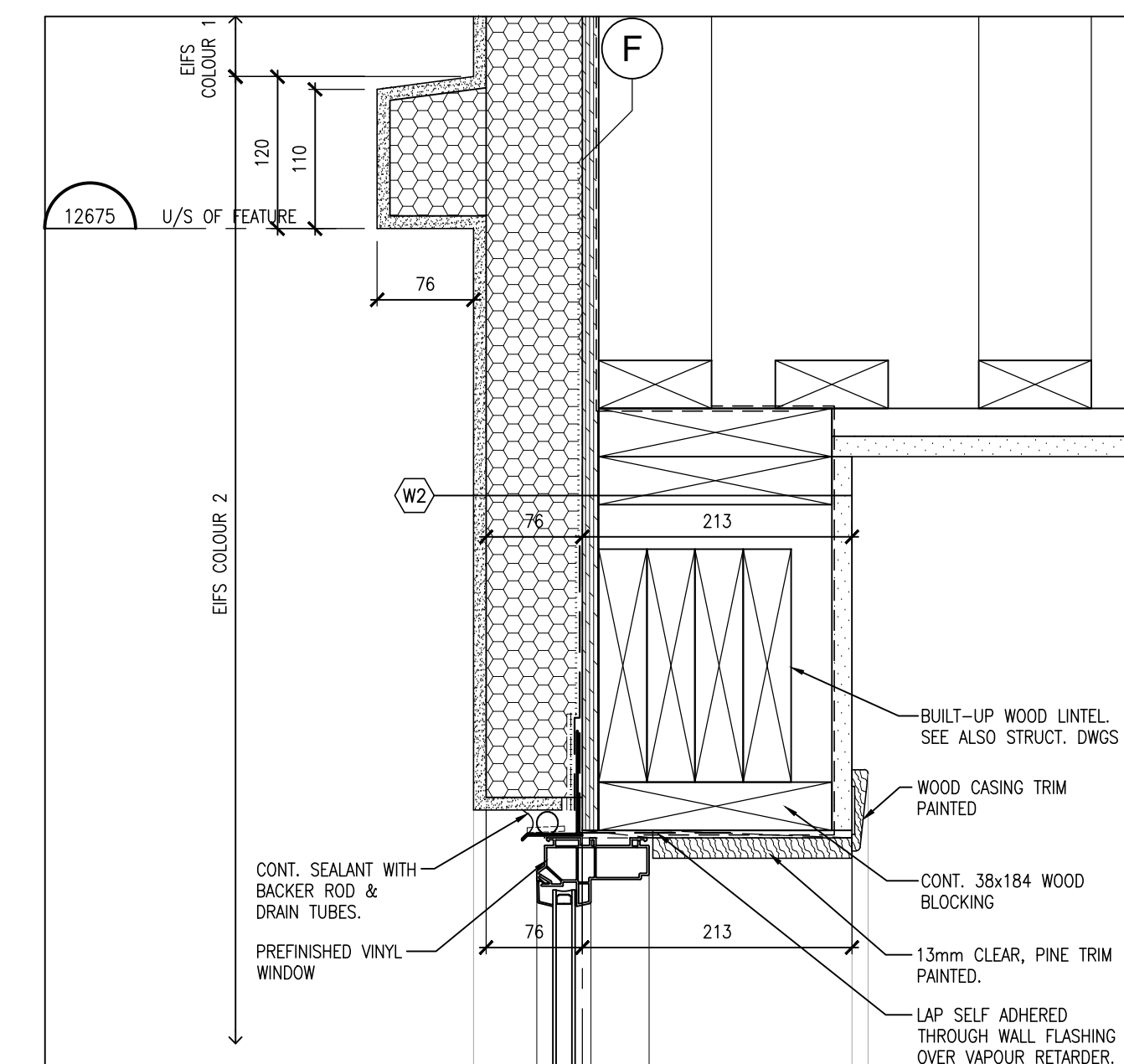
**BARRY BRYAN  
 ASSOCIATES**

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 Project Managers  
 250 Water Street  
 Suite 201  
 Whitby, Ontario  
 L1N 0G5  
 Tel: (905) 666-6252  
 Fax: (905) 666-6256  
 e-mail: bba@bba-archeng.com

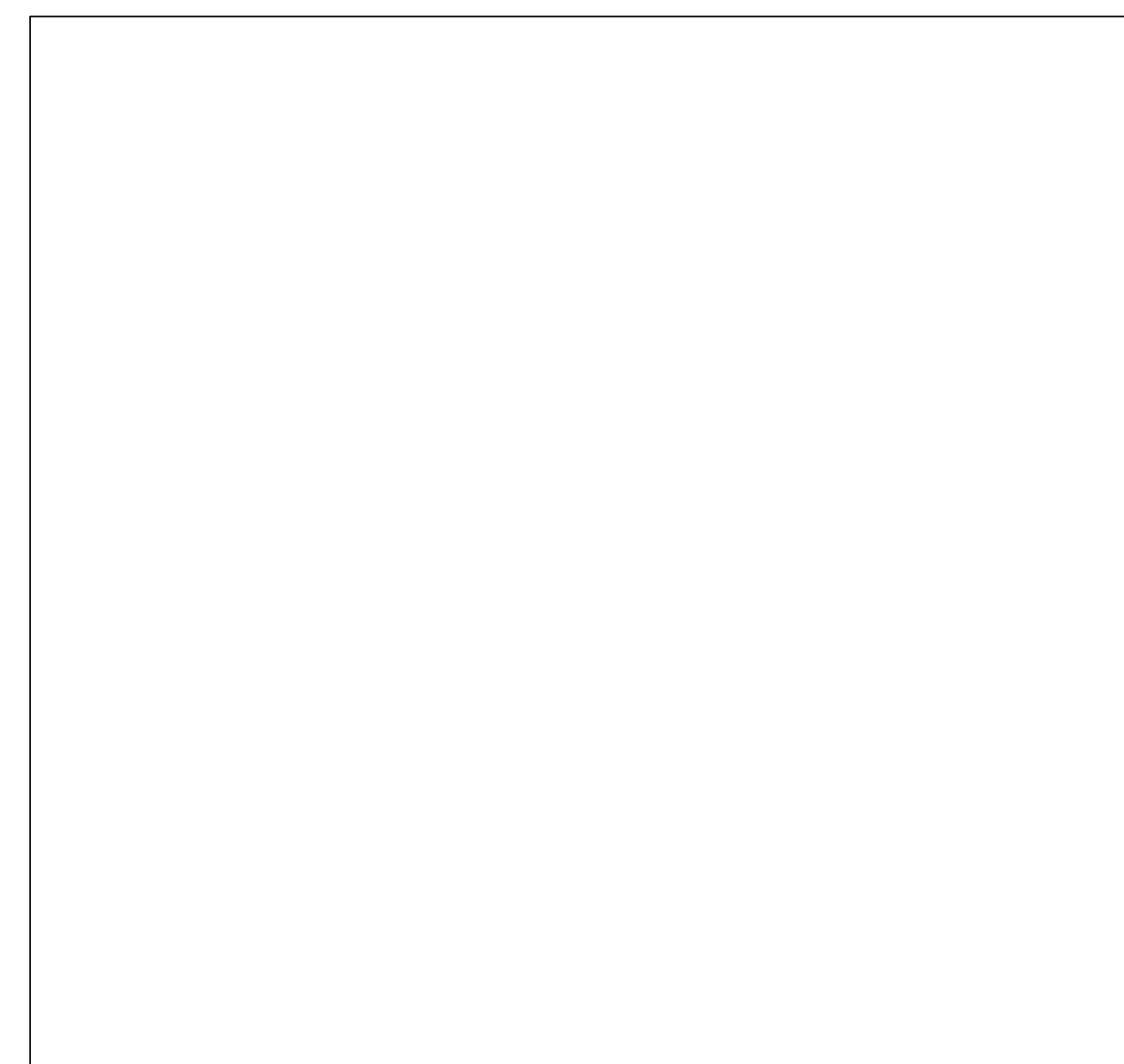
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 DOC. CONTROL: DATE:  
 DRAWN BY: CM  
 % COMPLETE:  
 CHECKED BY: NS  
 DATE: FEB. 2024  
 SCALE: 1:5 U.N.O.  
 FILE:

PROJECT NO:  
**21046**

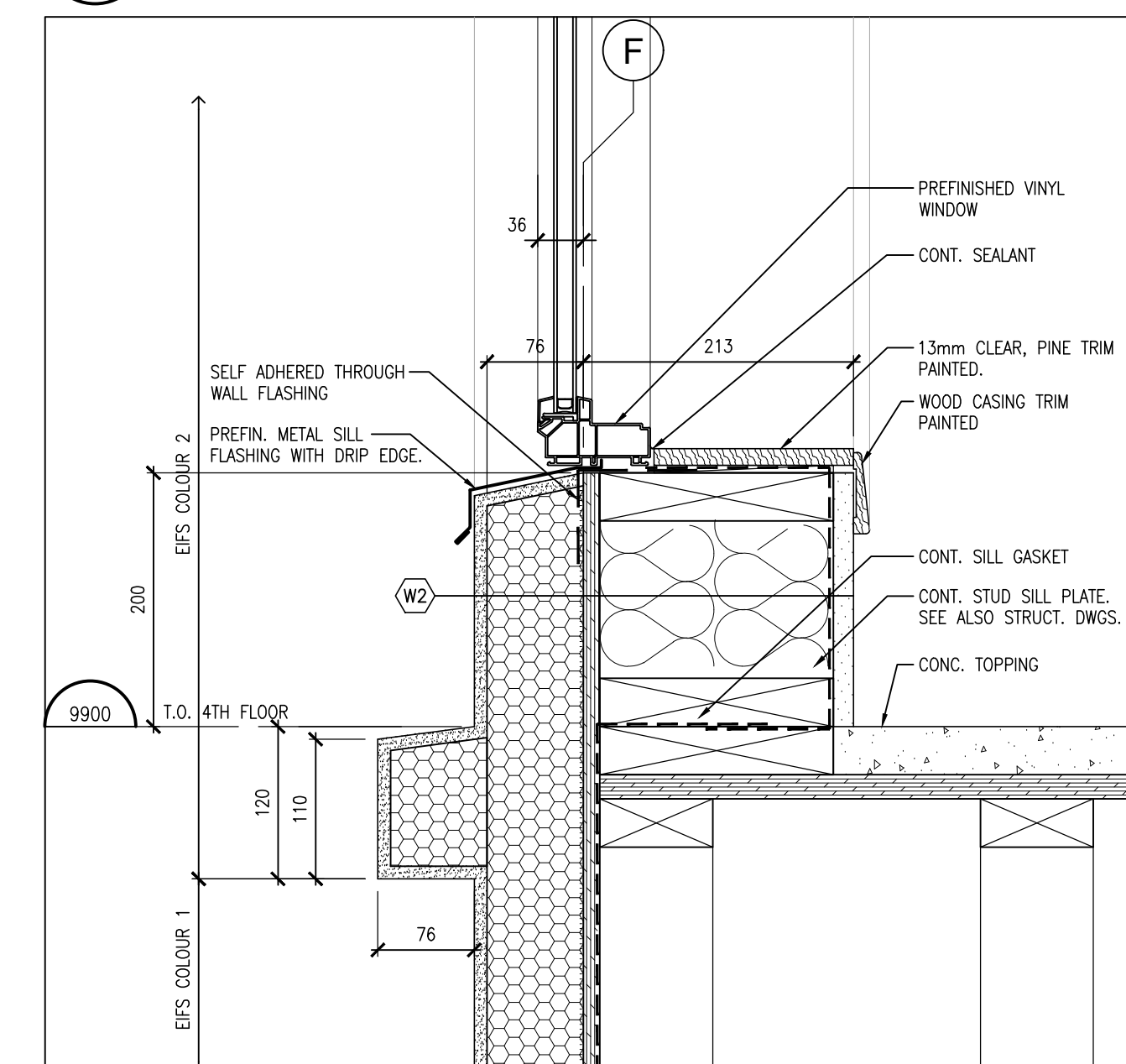
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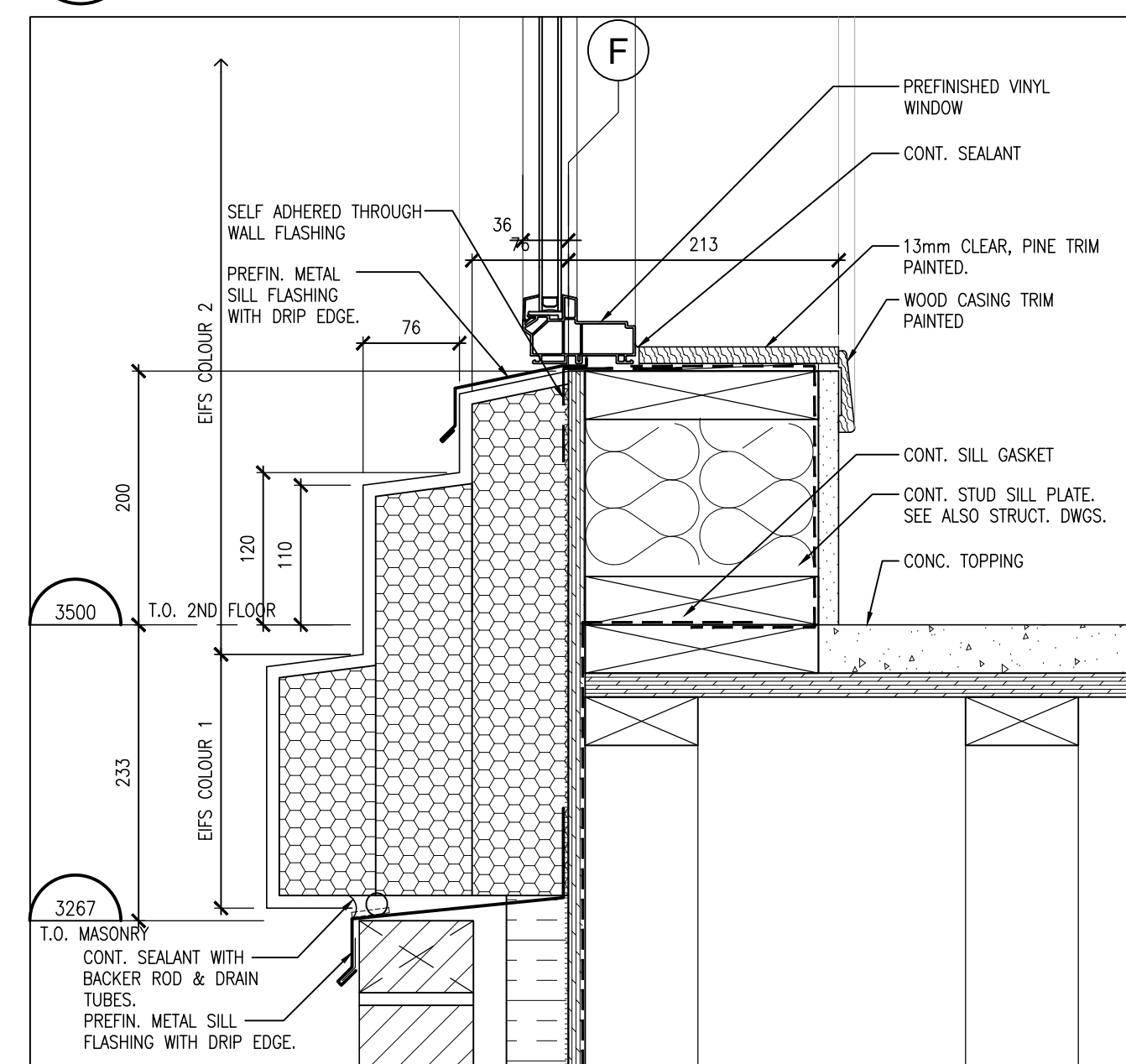
**3 WINDOW HEAD AT EIFS**  
 1:5



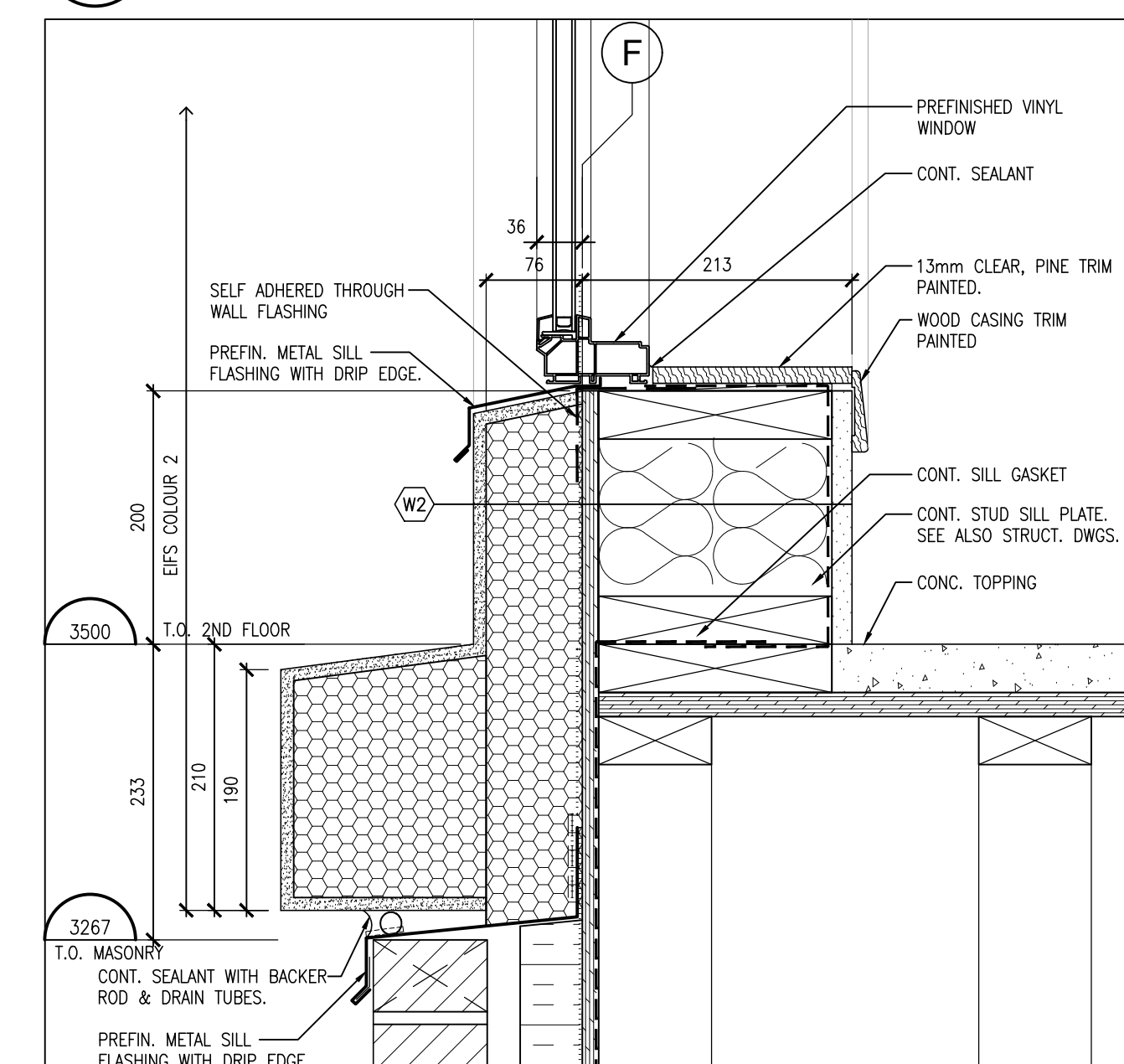
**6 NOT USED**  
 A604



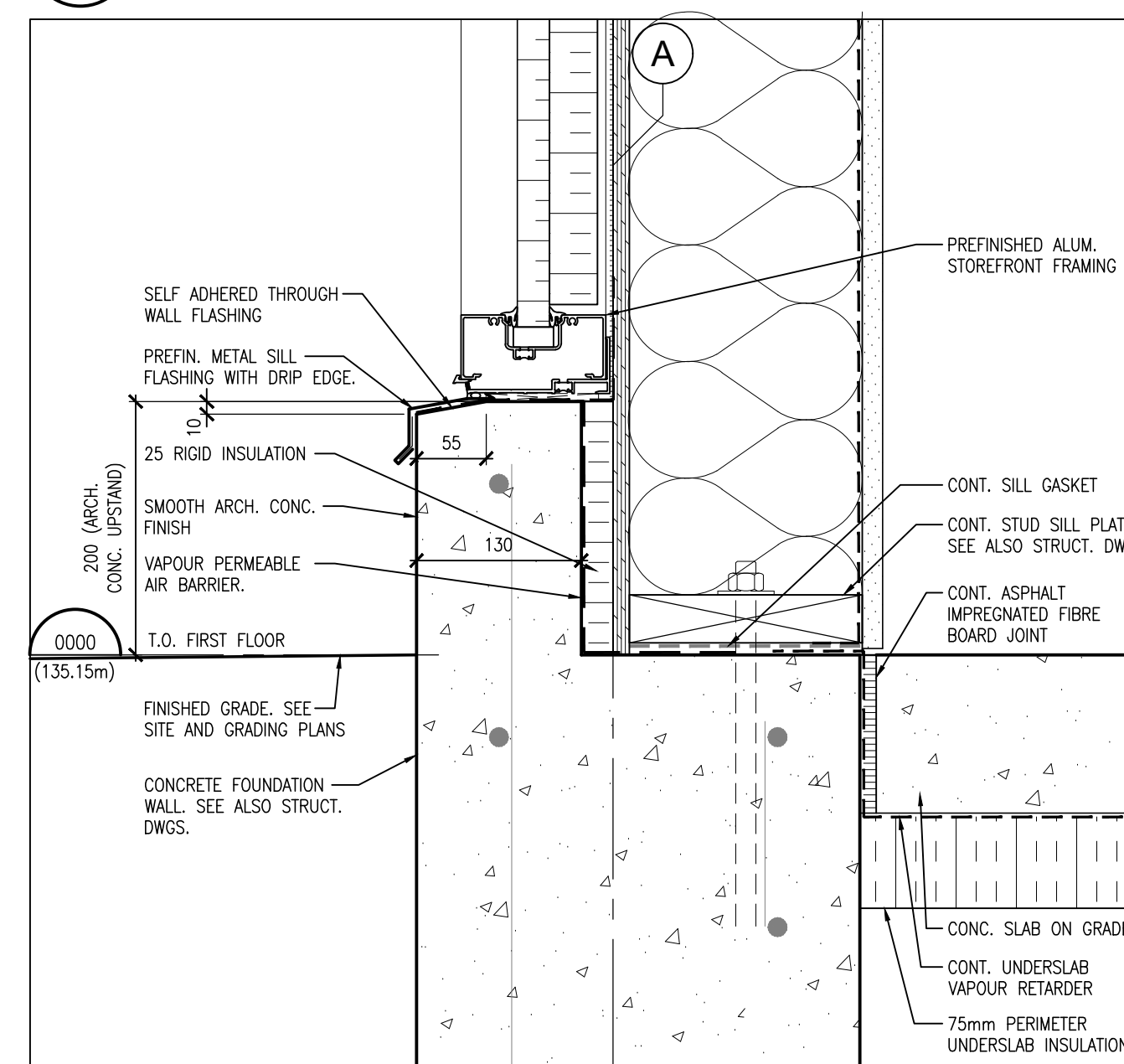
**2 WINDOW SILL AT EIFS**  
 1:5



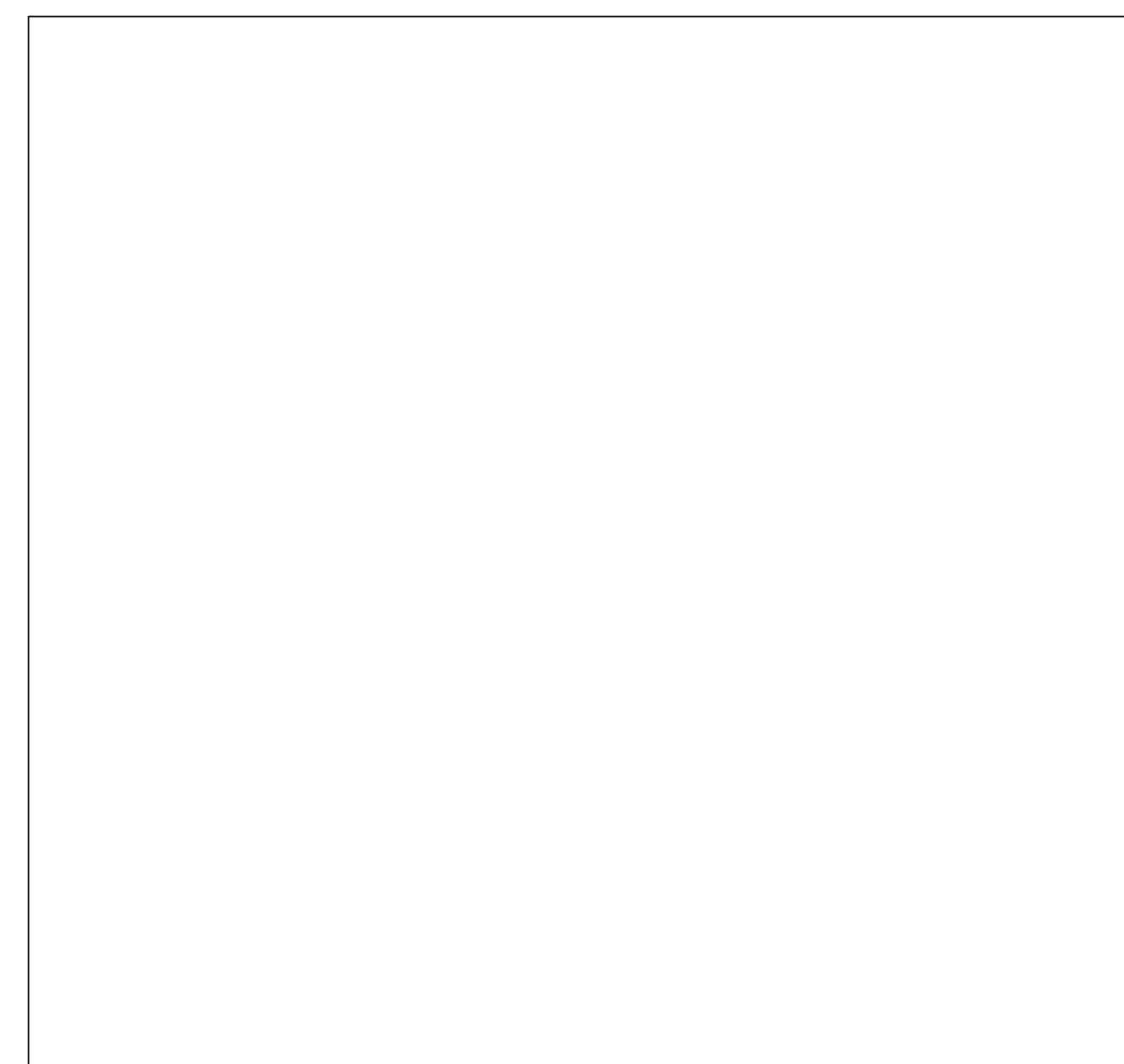
**5 WINDOW SILL AT EIFS FEATURE**  
 1:5



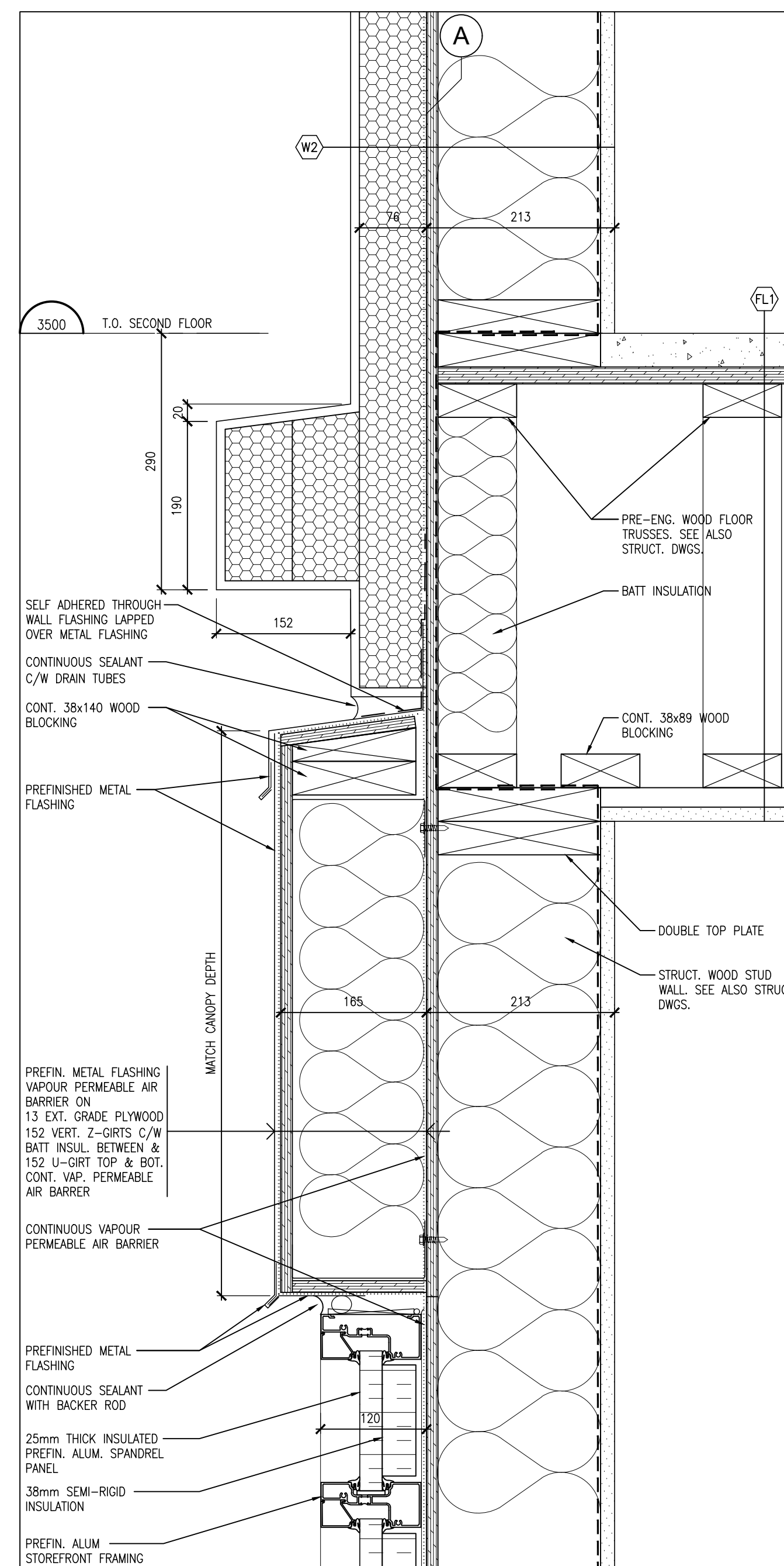
**1 DETAIL**  
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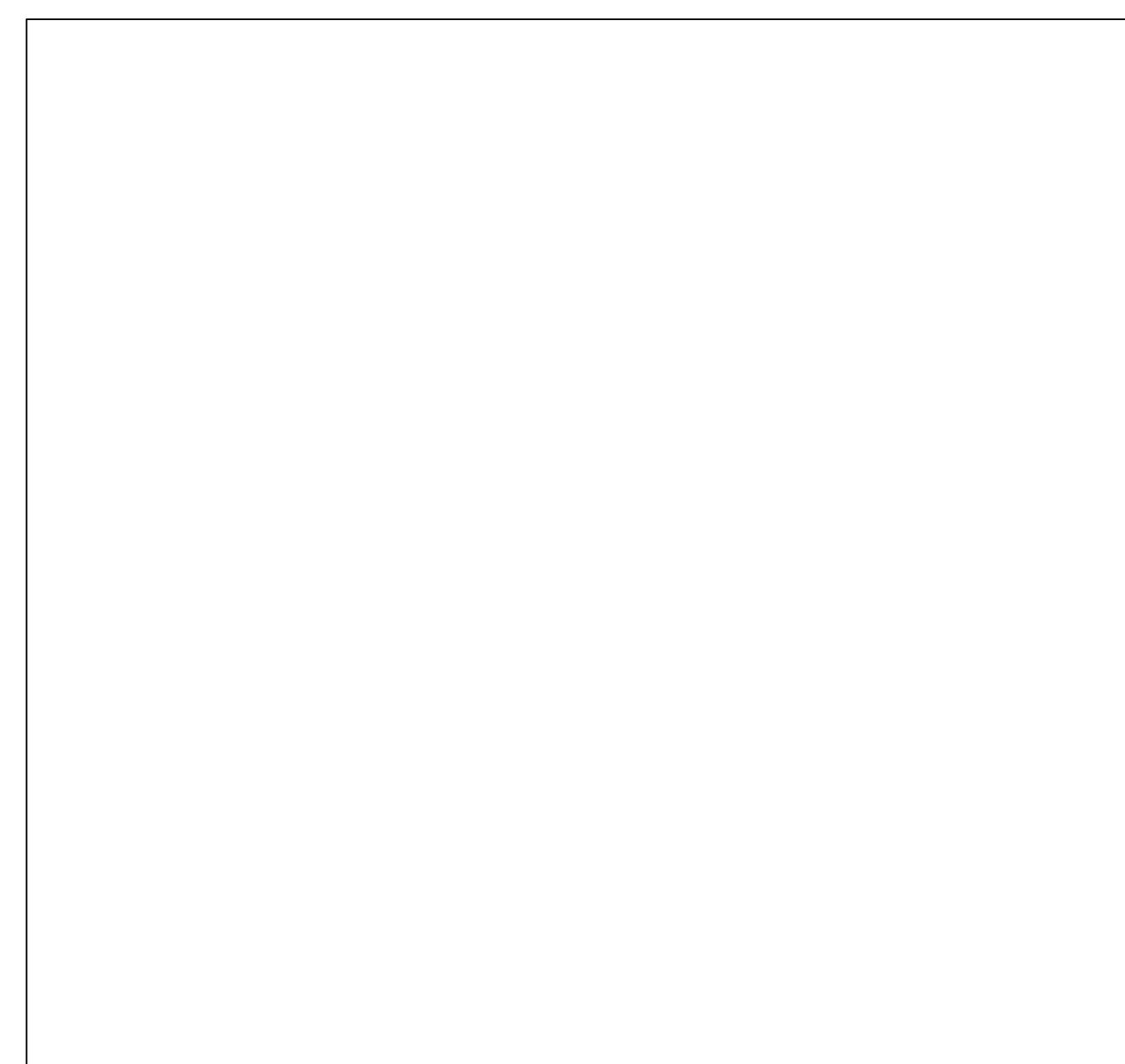
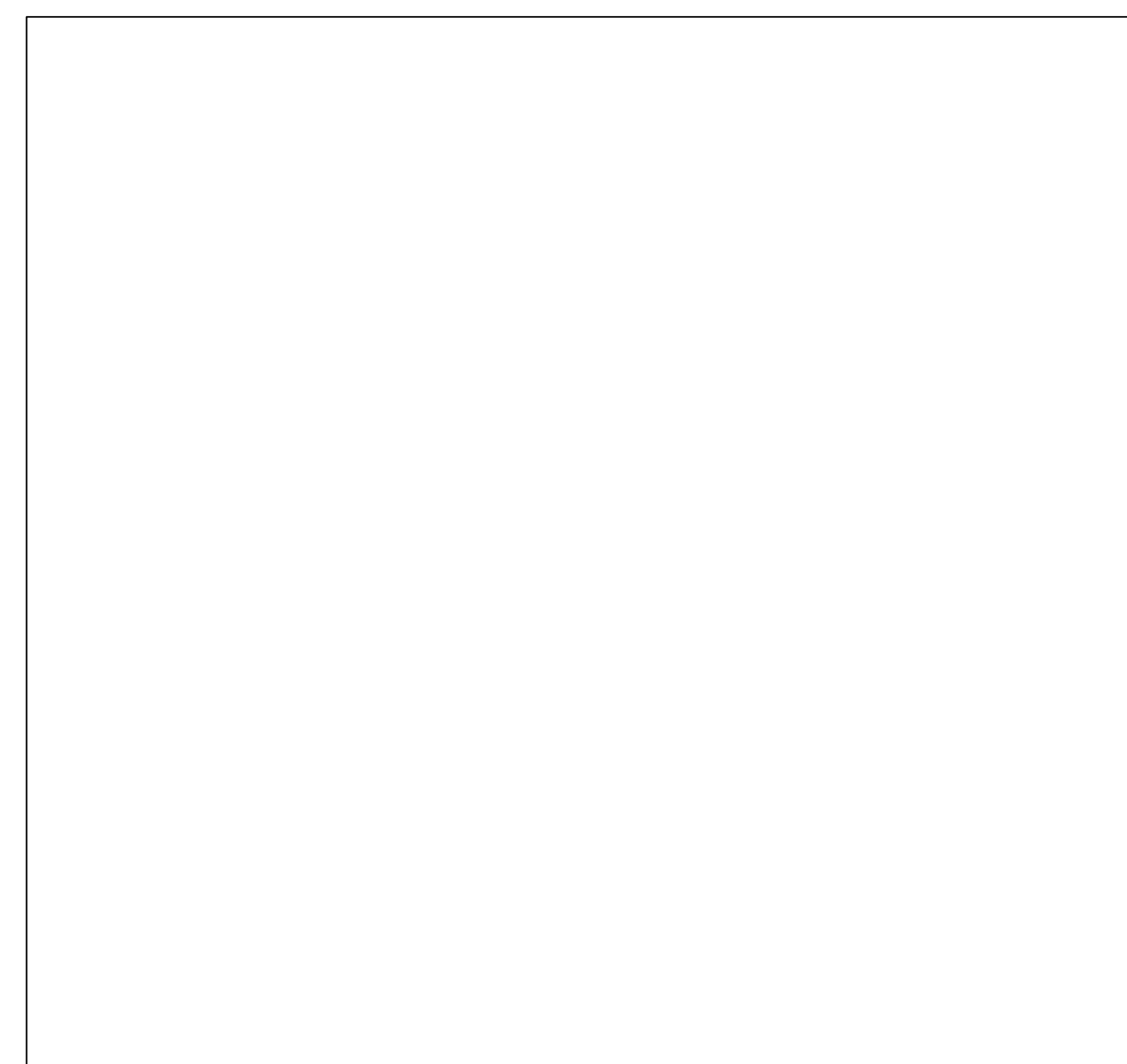
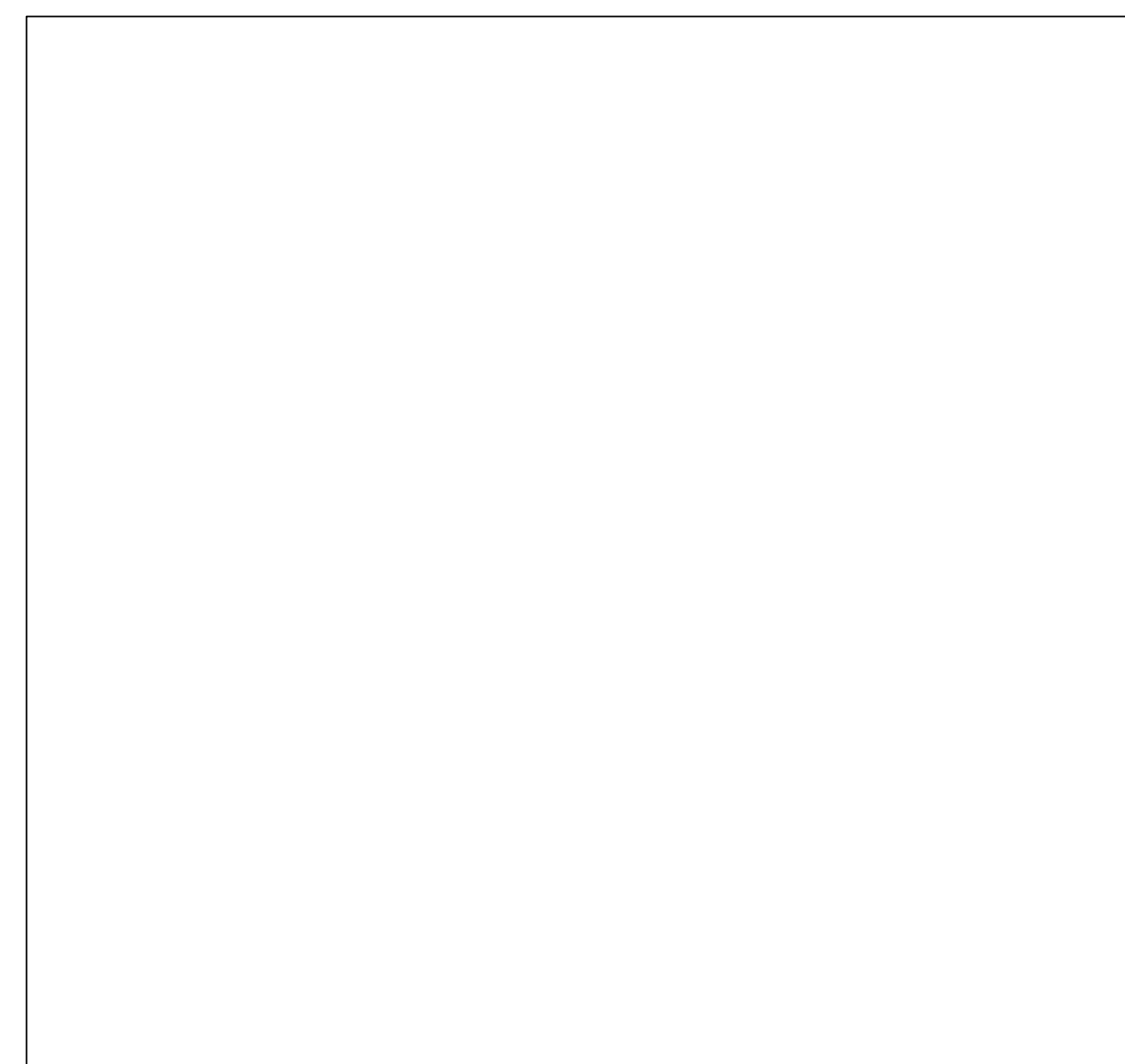
**4 WINDOW SILL AT STOREFRONT**  
 1:5

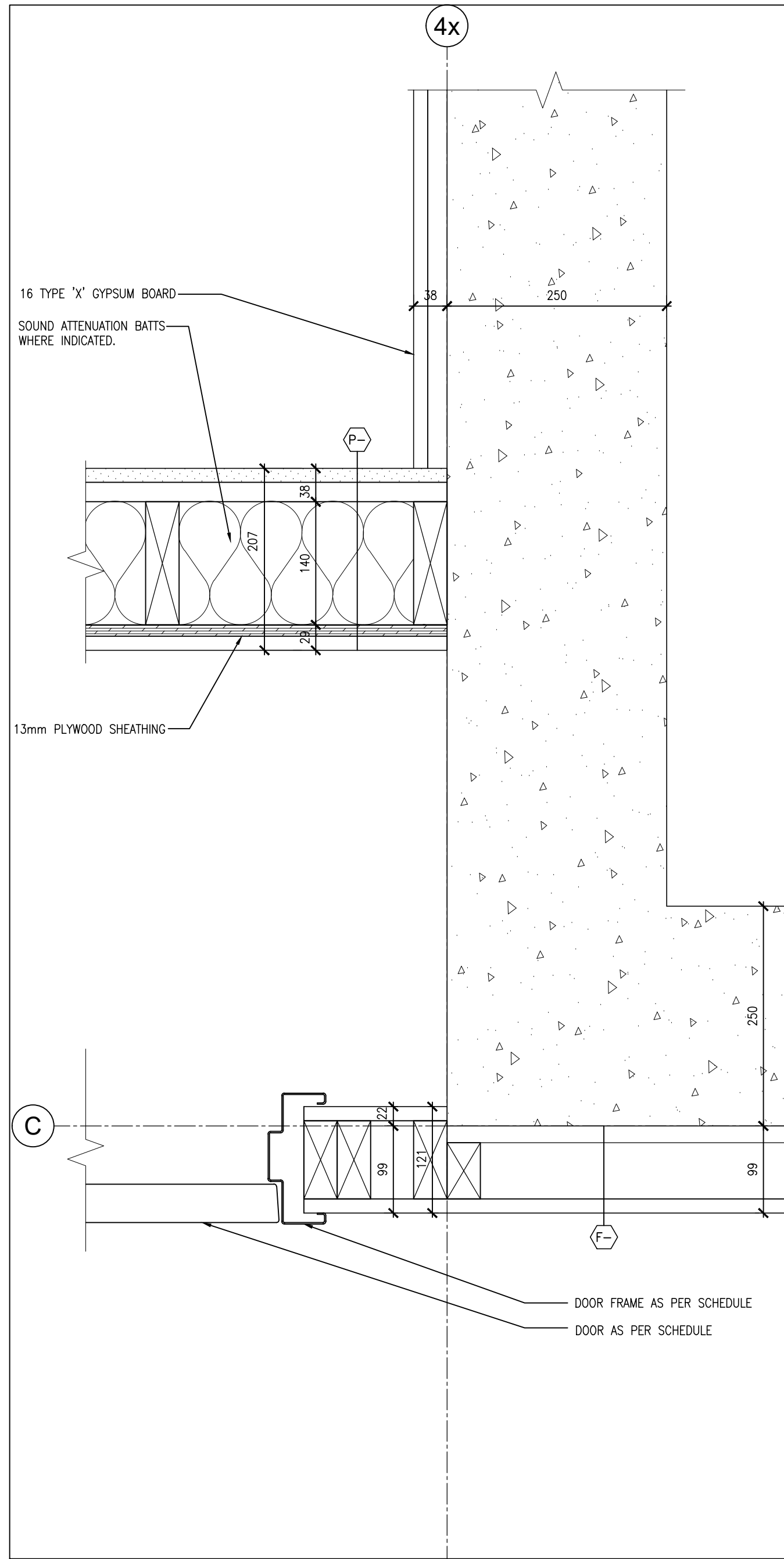


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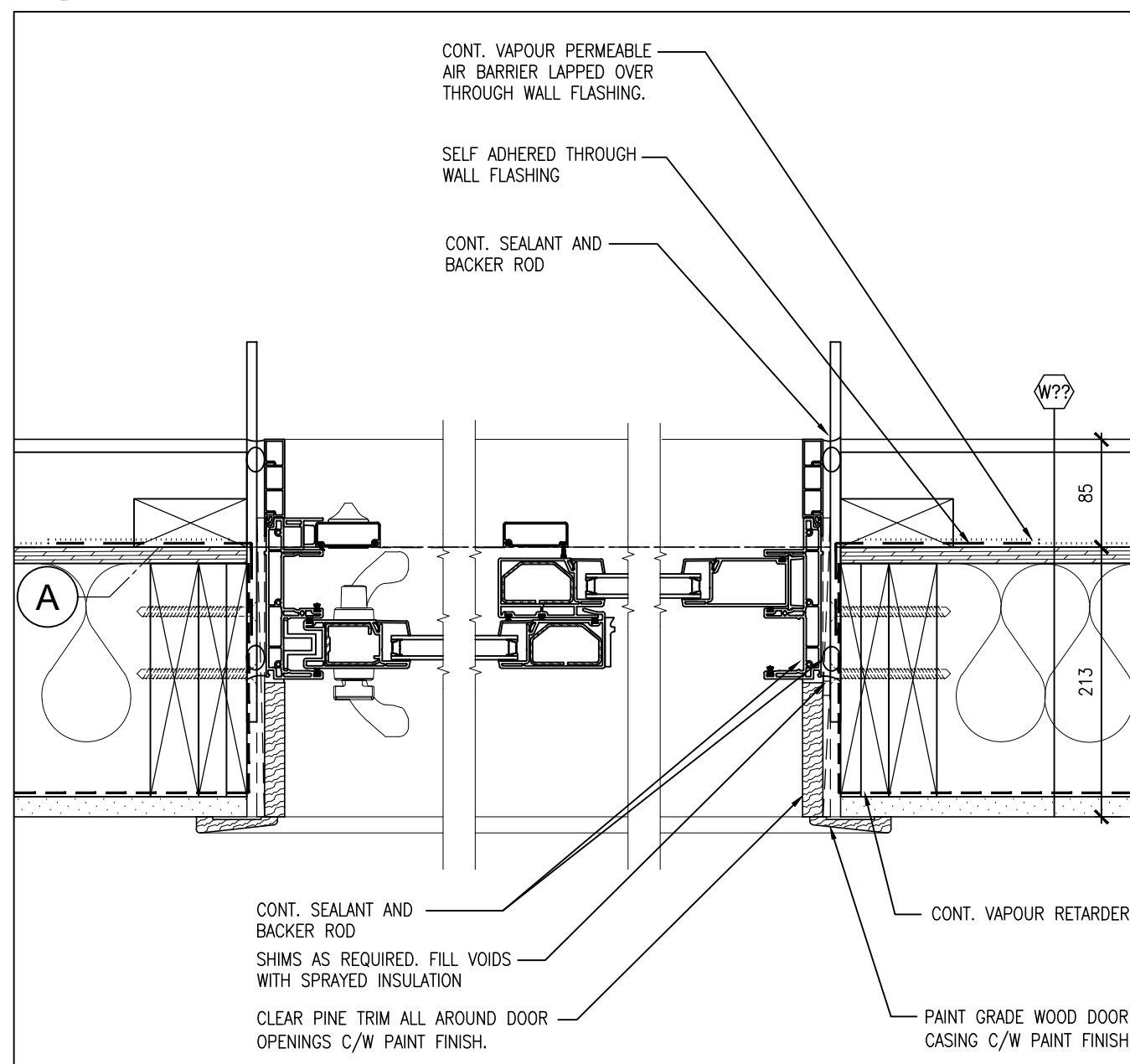


**7 SECTION DETAIL**  
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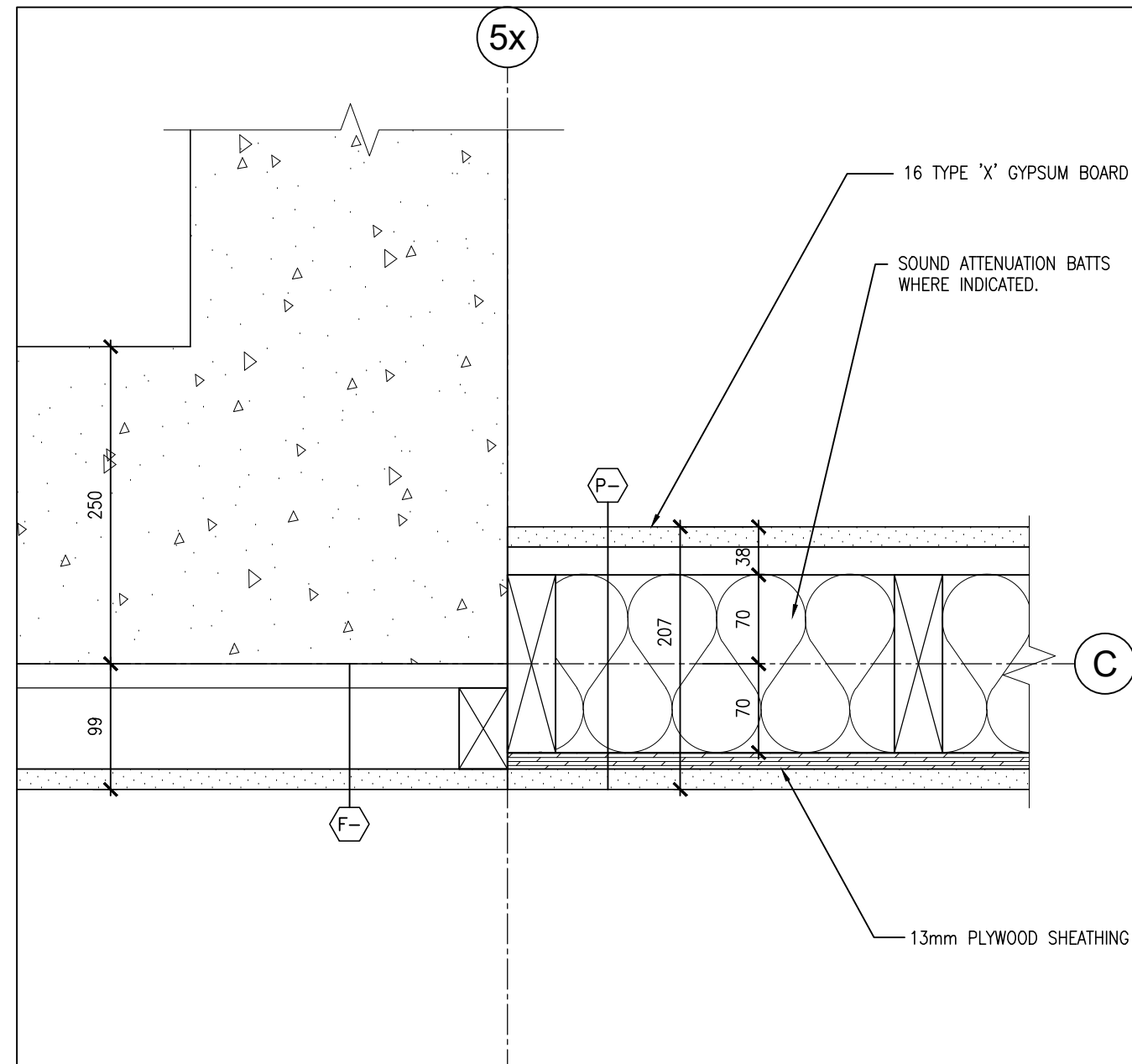




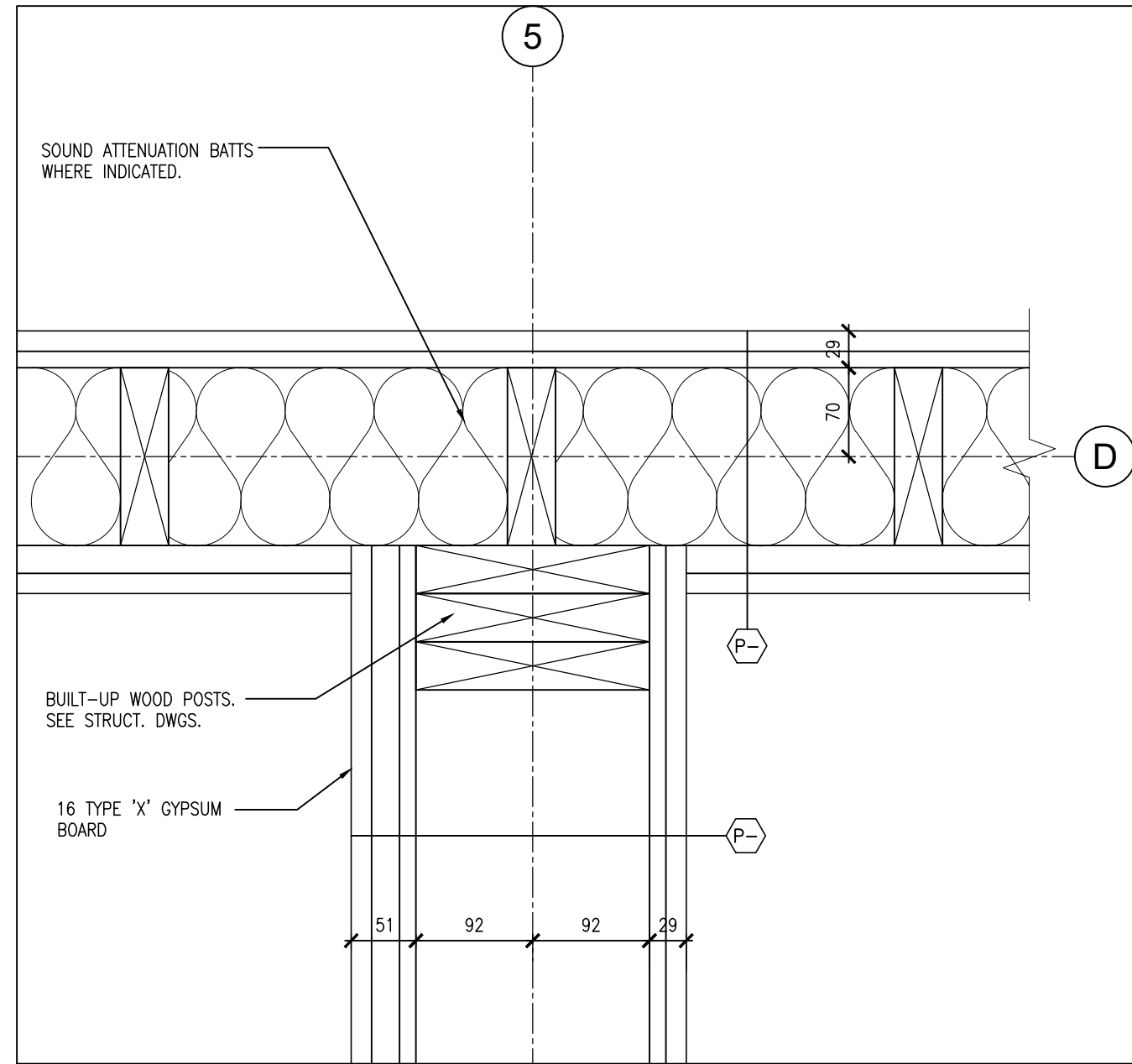
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**A606** SECTION DETAIL  
1:5



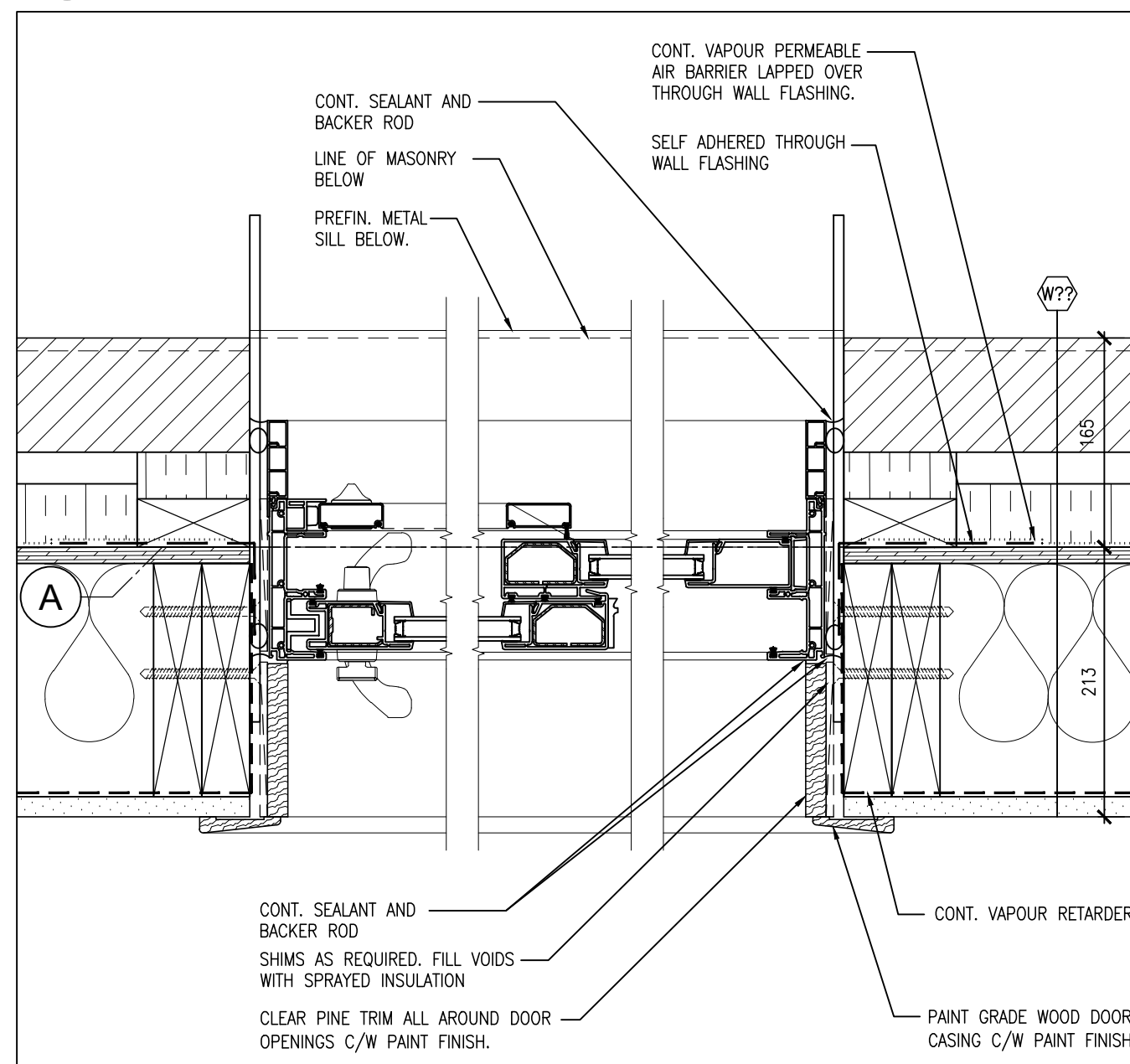
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**A606** JAMB AT JULIET BALCONY (AT EIFS)  
1:5



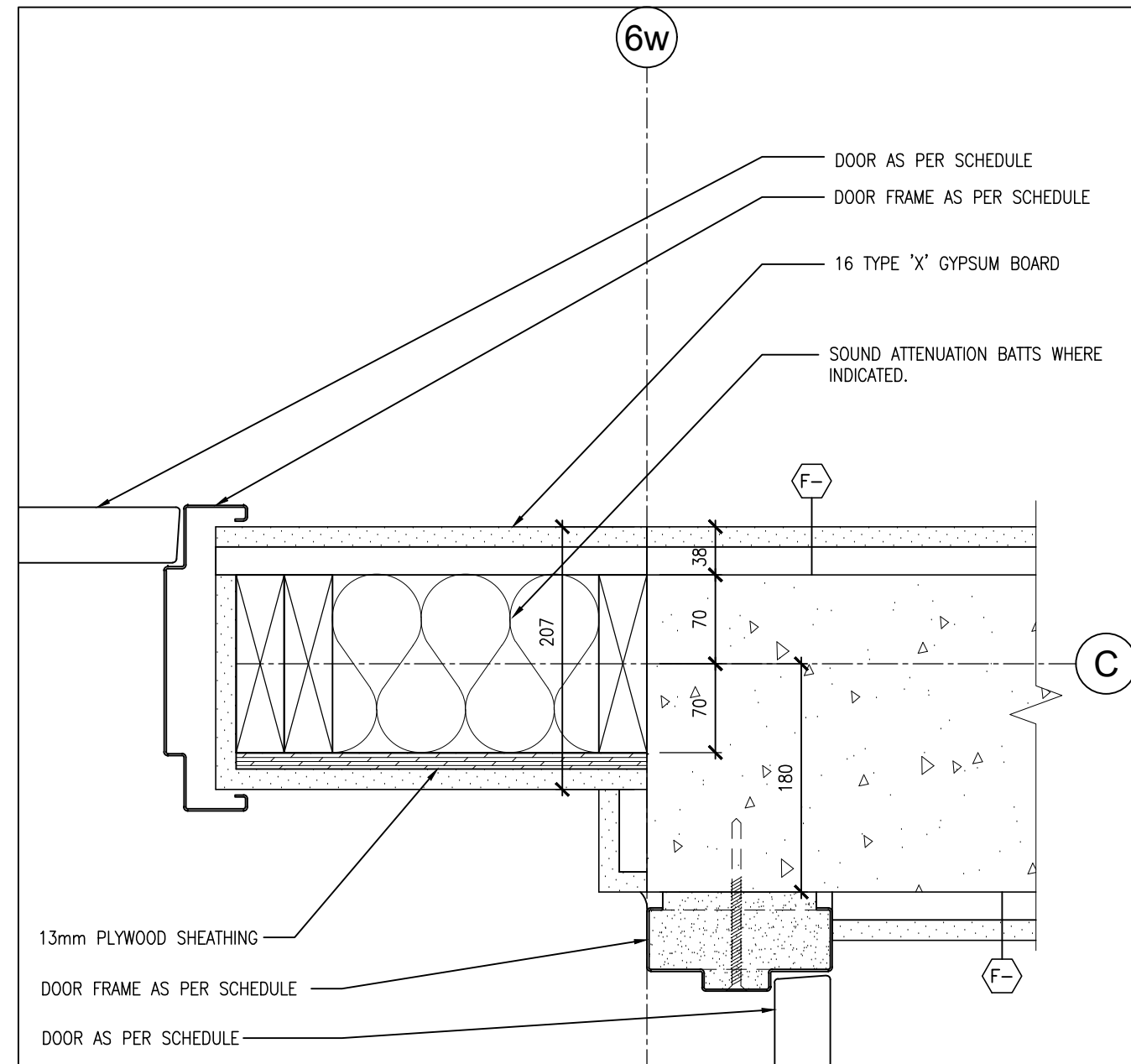
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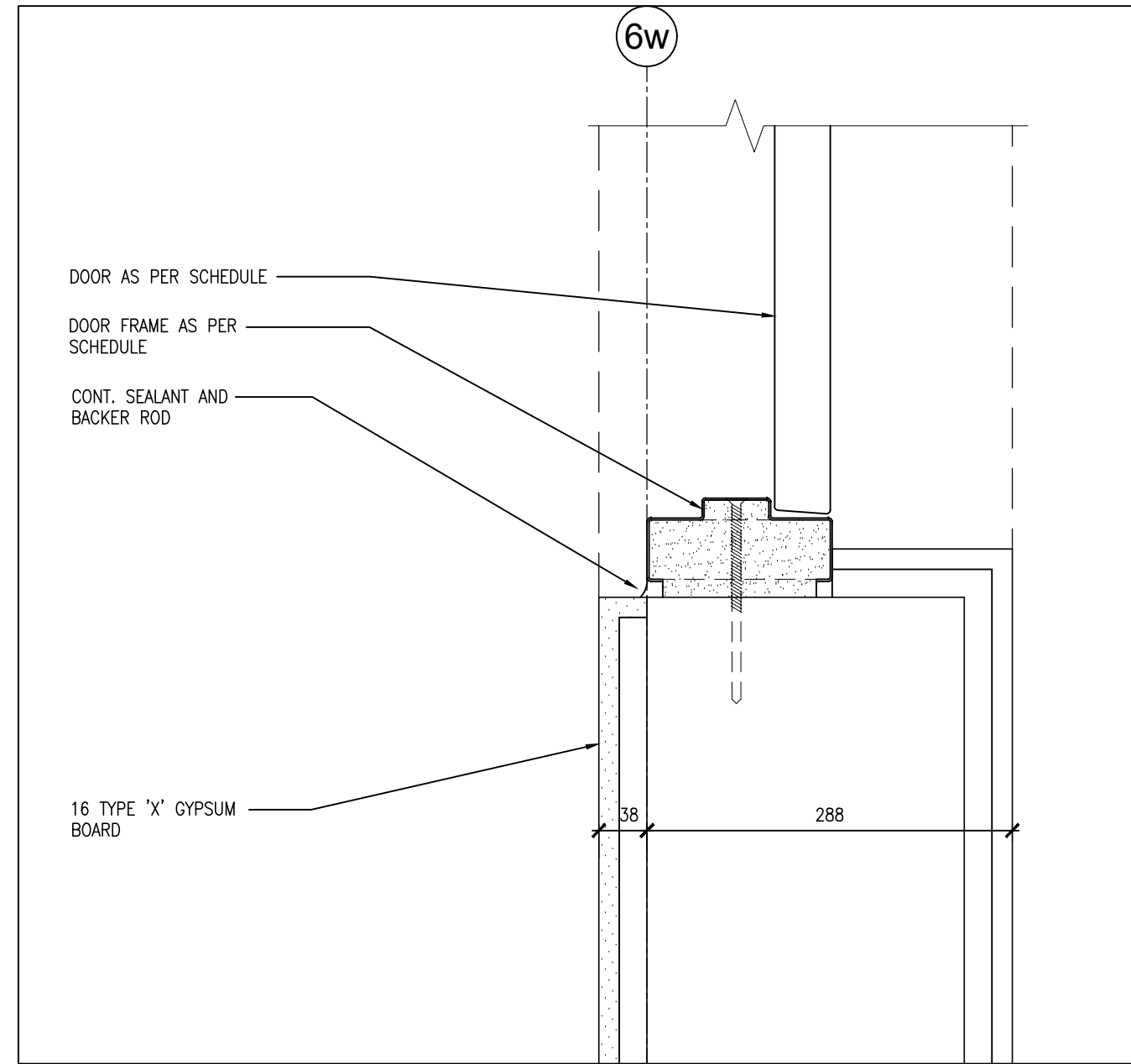
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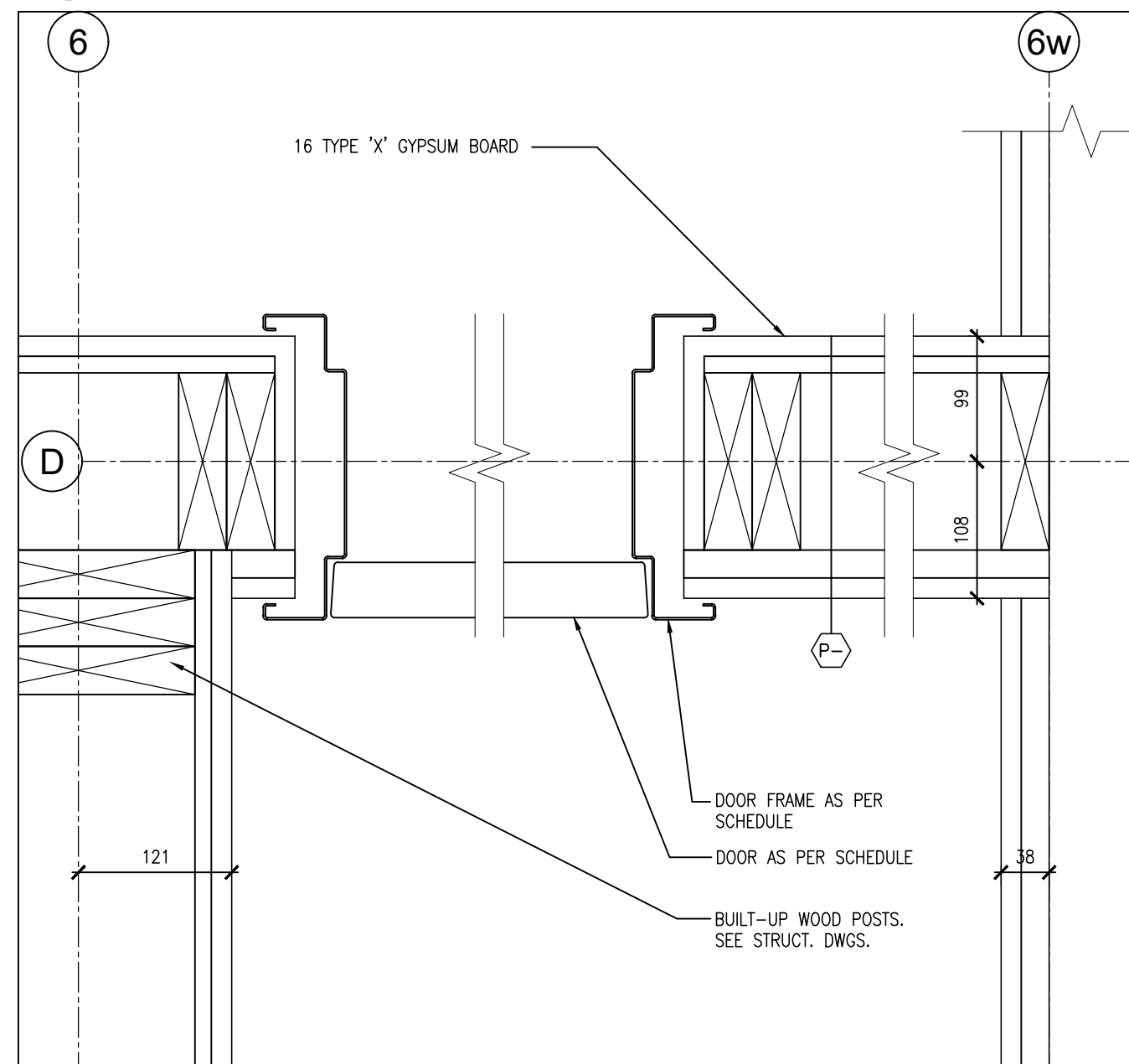
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**A606** JAMB AT JULIET BALCONY (AT BRICK)  
1:5



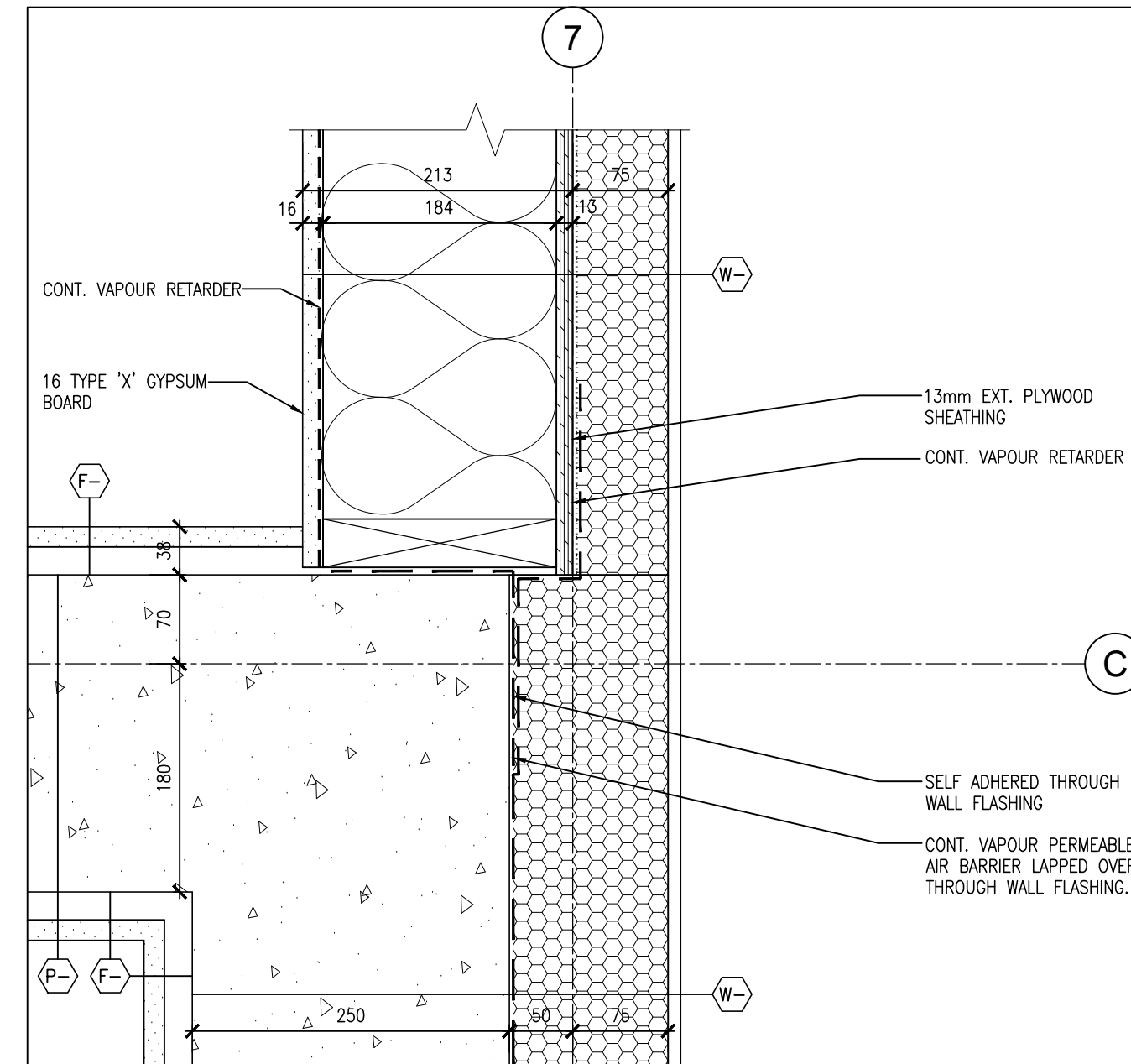
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1:5



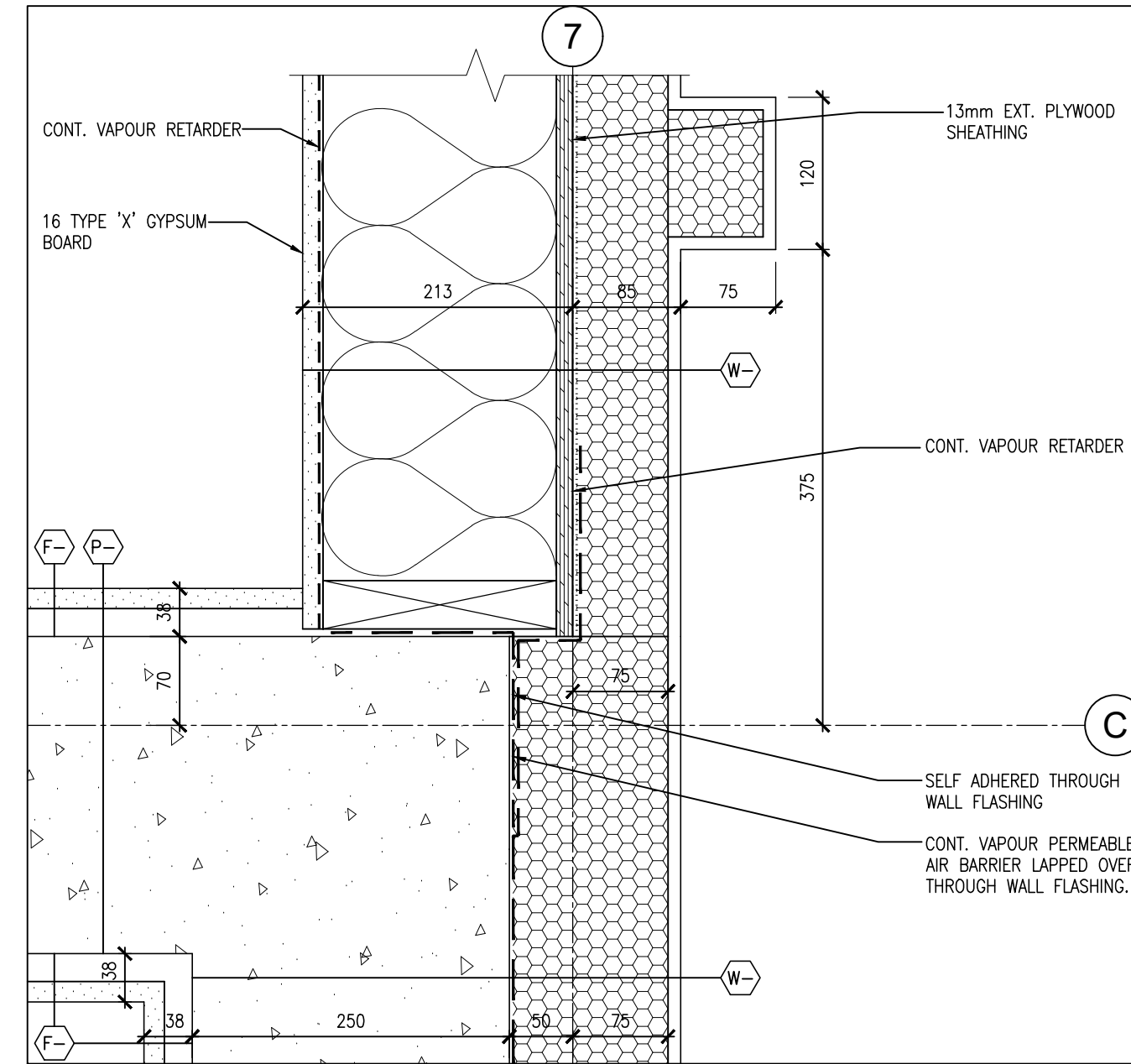
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**A606** JAMB DETAIL  
1:5



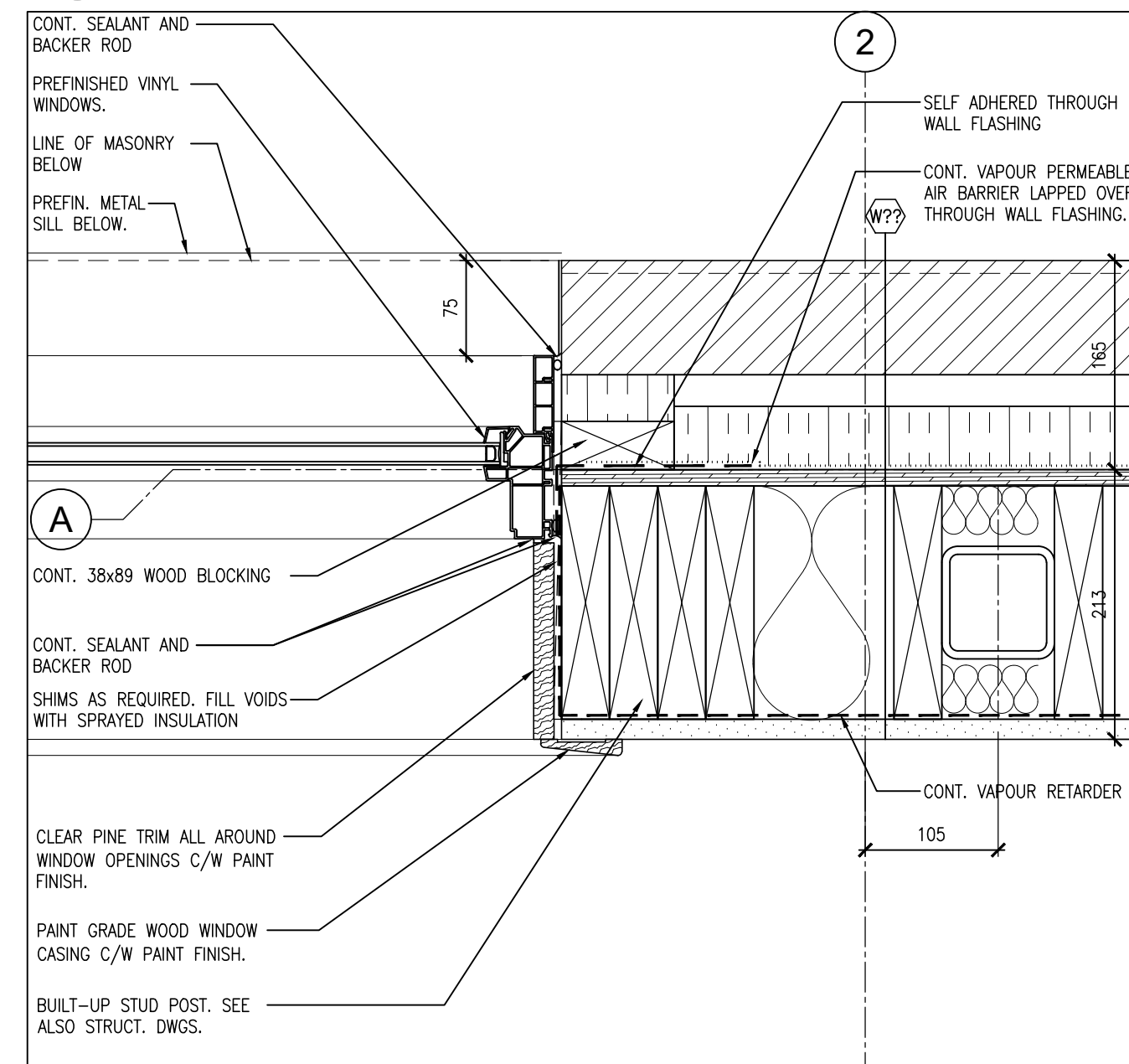
**4**  
**A606** SILL DETAIL  
1:5



**3**  
**A606** PLAN DETAIL (5th FLOOR)  
1:5



**2**  
**A606** PLAN DETAIL (4th FLOOR)  
1:5



**1**  
**A606** JAMB DETAIL  
1:5

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NO.	ISSUES	DATE	BY
1	ISSUED FOR PERMIT	APRIL 30, 2024	BBA

NO.	REVISIONS	DATE	BY
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PROJECT:  
**MIXED-USE BUILDING DEVELOPMENT (BLDG.#3) PHASE 1**  
1697 HIGHWAY#2  
COURTICE, ON

R.H. Gay Holdings Co.

DRAWING:  
**PLAN DETAILS**



**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers  
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Suite 201  
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L1N 0G5  
Tel: (905) 666-6252  
Fax: (905) 666-6256  
e-mail: bba@bba-archeng.com

DESIGN BY: BBA  
DRAWN BY: CM  
CHECKED BY: AS NOTED

DATE: MAR. 2024  
SCALE: AS NOTED  
FILE:

PROJECT NO: **21046**  
DRAWING NO: **A606**

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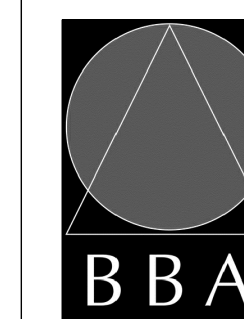
NO.	ISSUES	DATE	BY
1	ISSUED FOR PERMIT	APRIL 30, 2024	BBA

NO.	REVISIONS	DATE	BY
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PROJECT:  
**MIXED-USE BUILDING DEVELOPMENT (BLDG.#3) PHASE 1**  
1697 HIGHWAY#2  
COURTICE, ON

R.H. Gay Holdings Co.

DRAWING:  
**PLAN DETAILS**



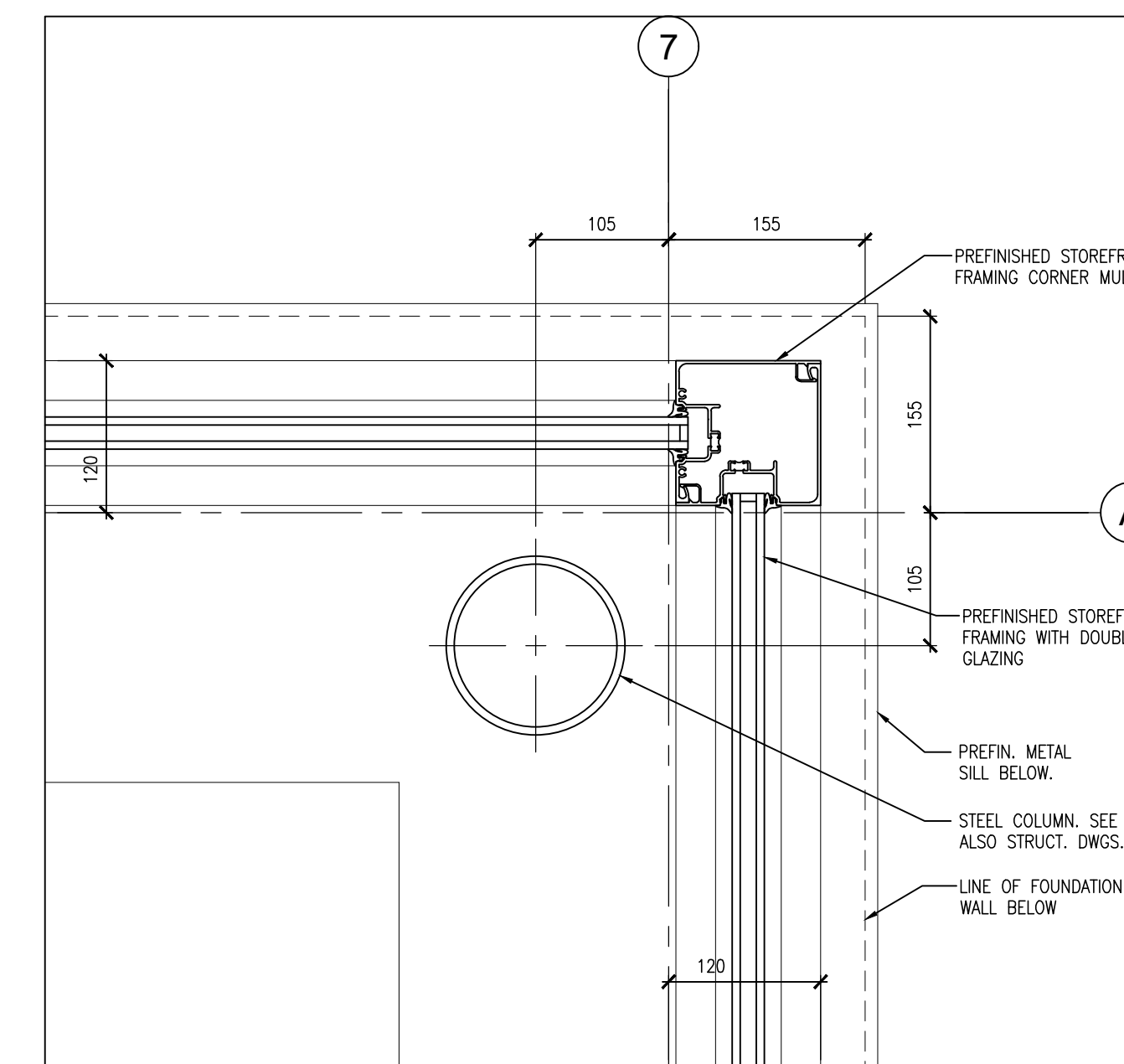
**BARRY BRYAN ASSOCIATES**

Architects  
Engineers  
Project Managers  
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 0G5  
Tel: (905) 666-6252  
Fax: (905) 666-6256  
e-mail: bba@bba-archeng.com

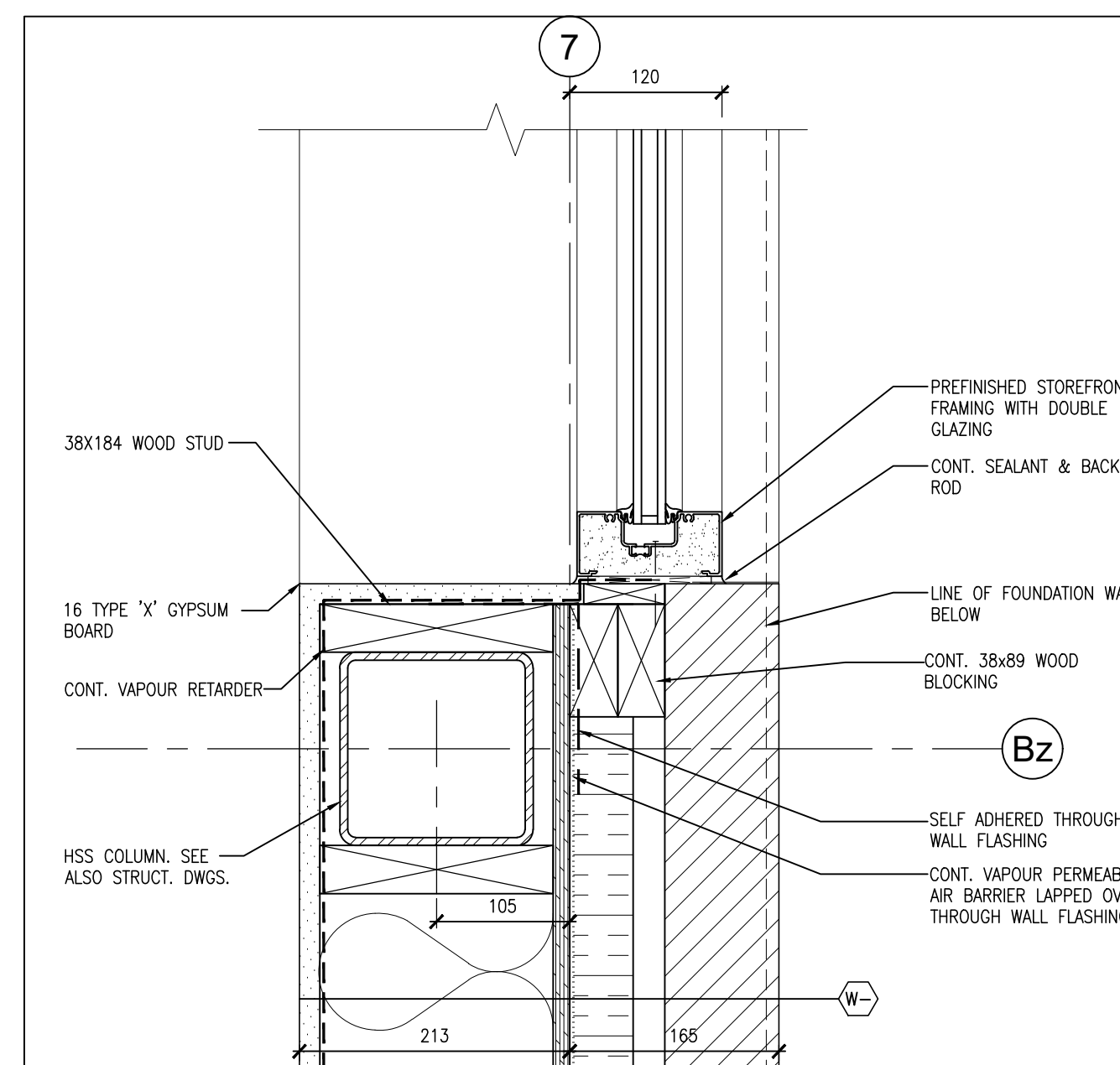
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FILE:	

PROJECT NO:  
**21046**

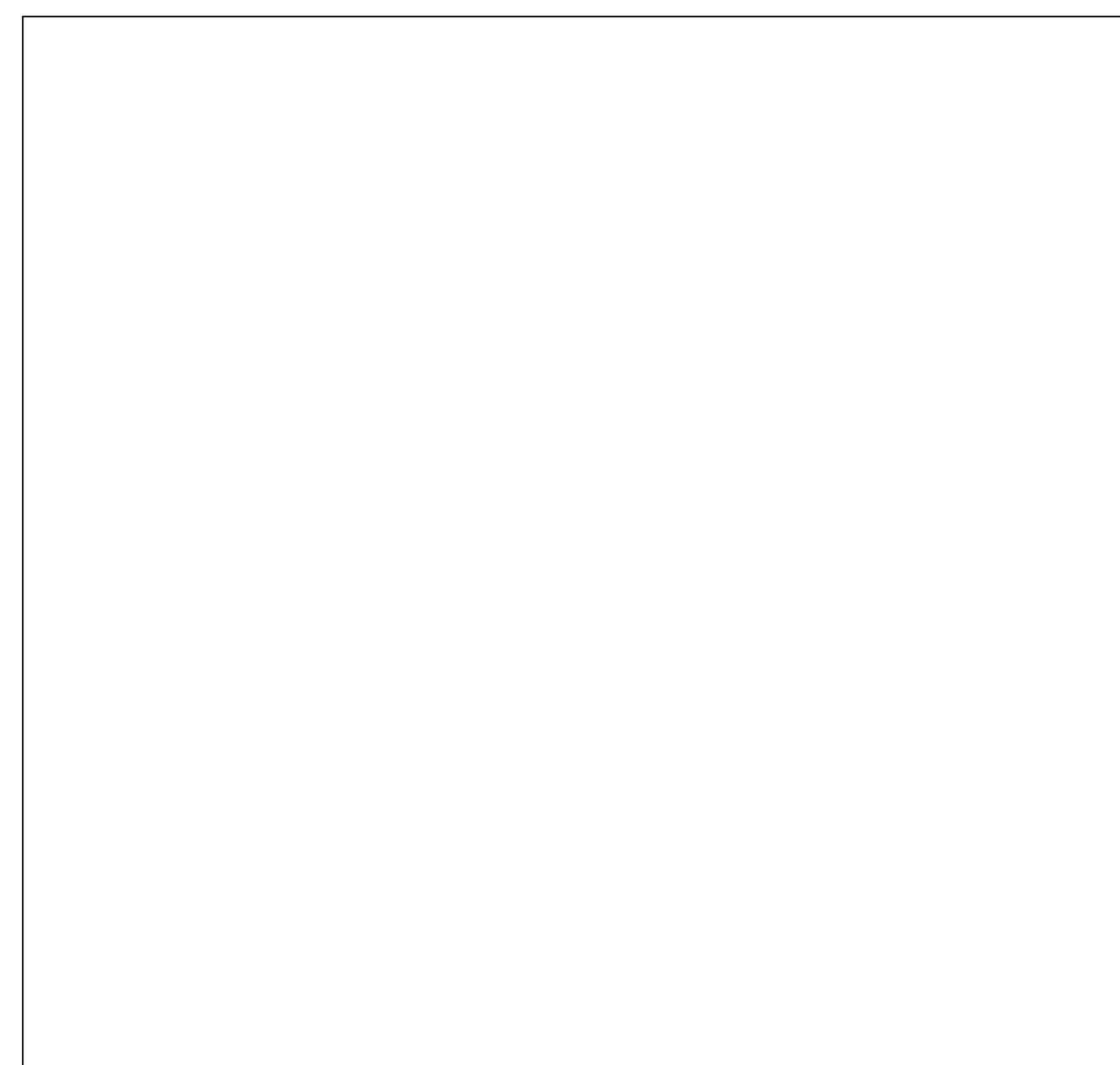
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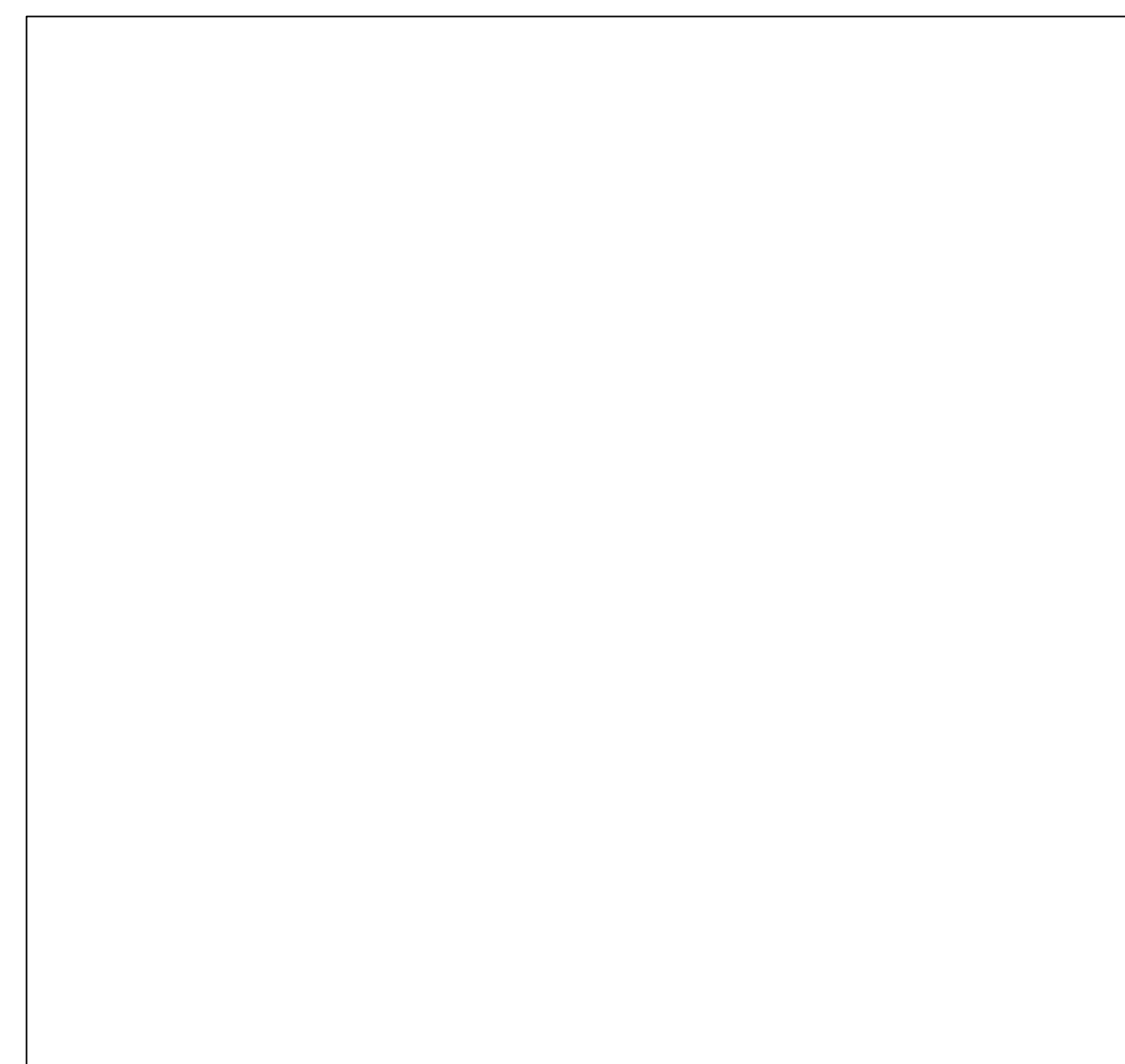
3 PLAN DETAIL (1ST FLOOR)  
A607 1:5



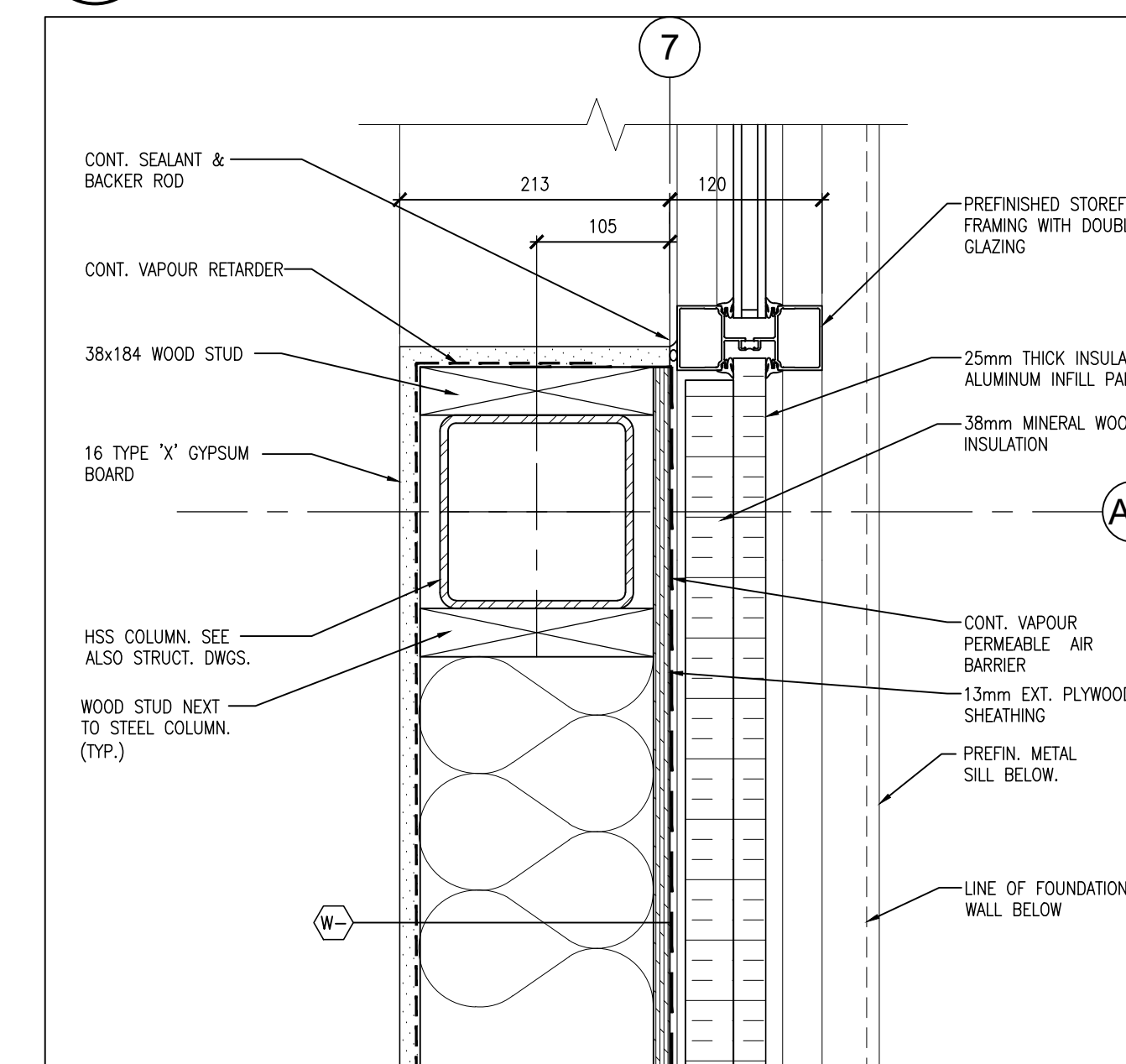
6 PLAN DETAIL (1ST FLOOR)  
A607 1:5



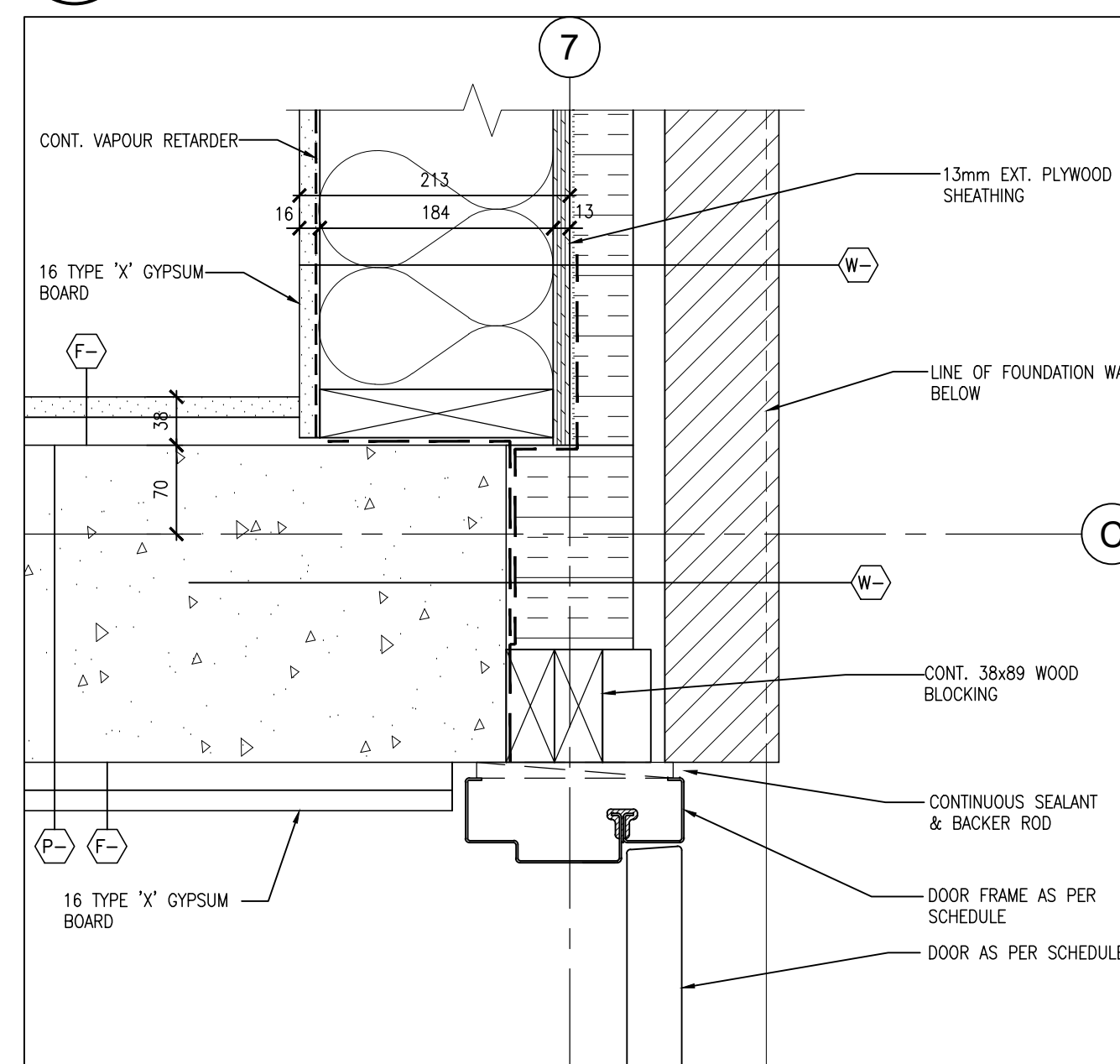
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A607 1:5



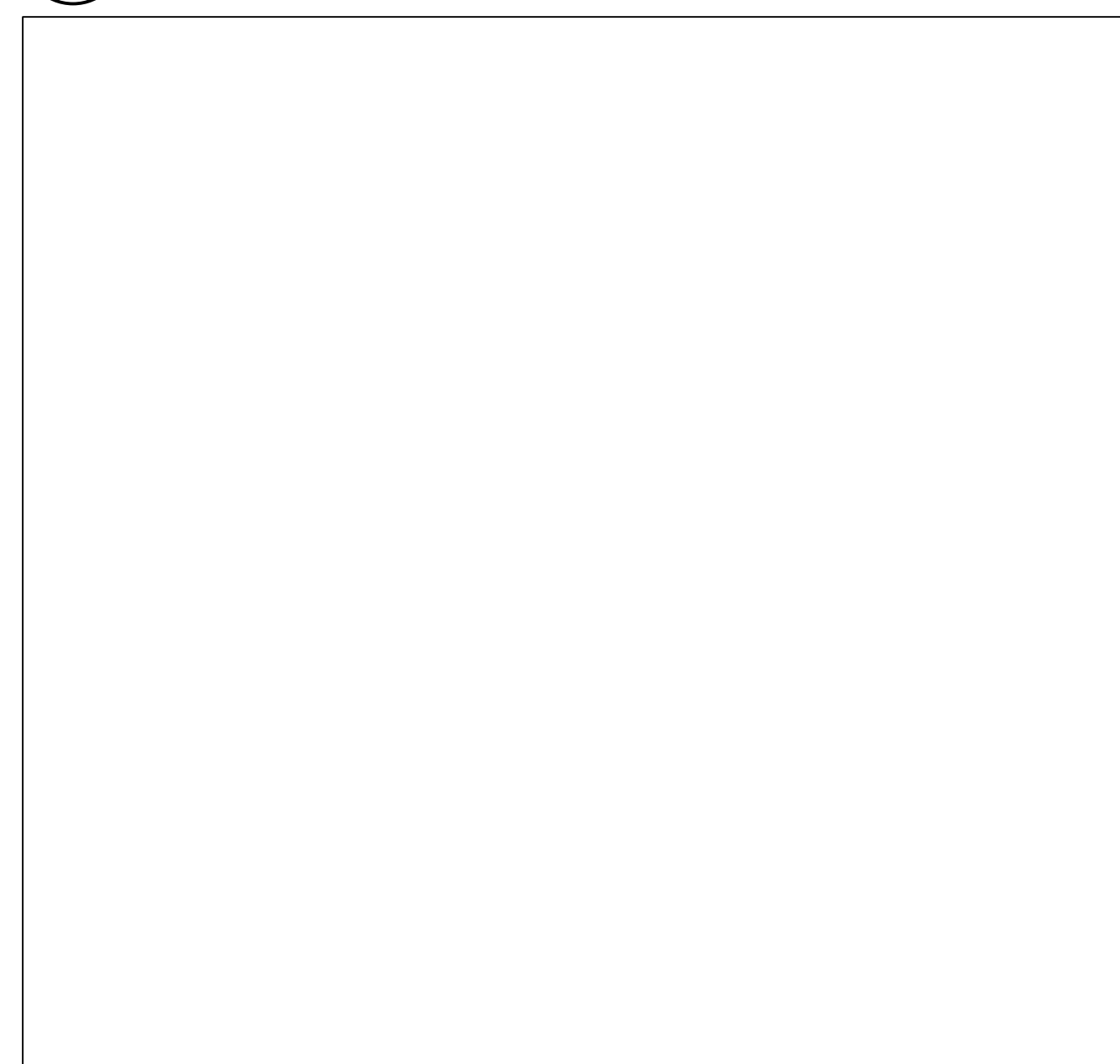
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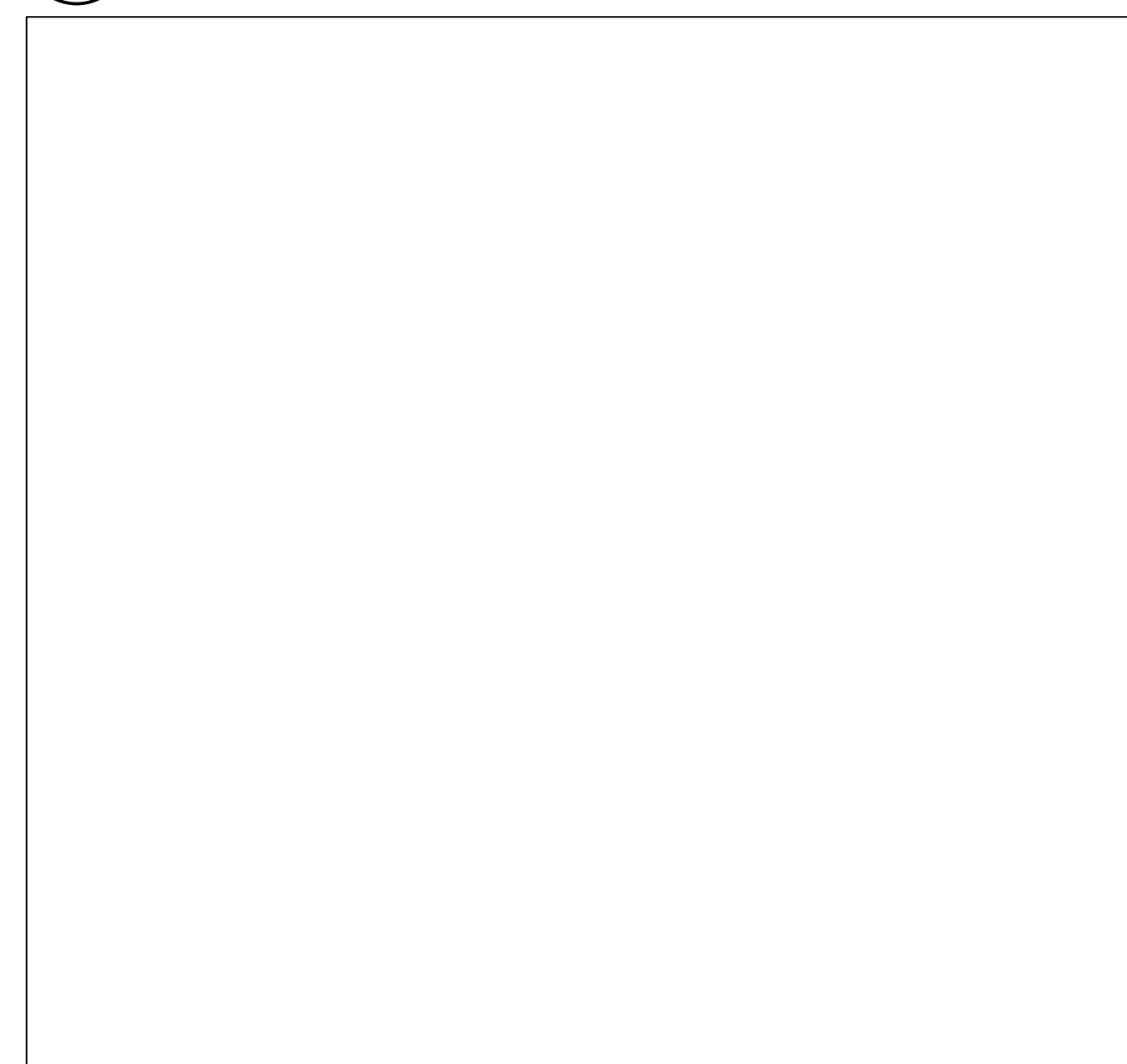
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A607 1:5



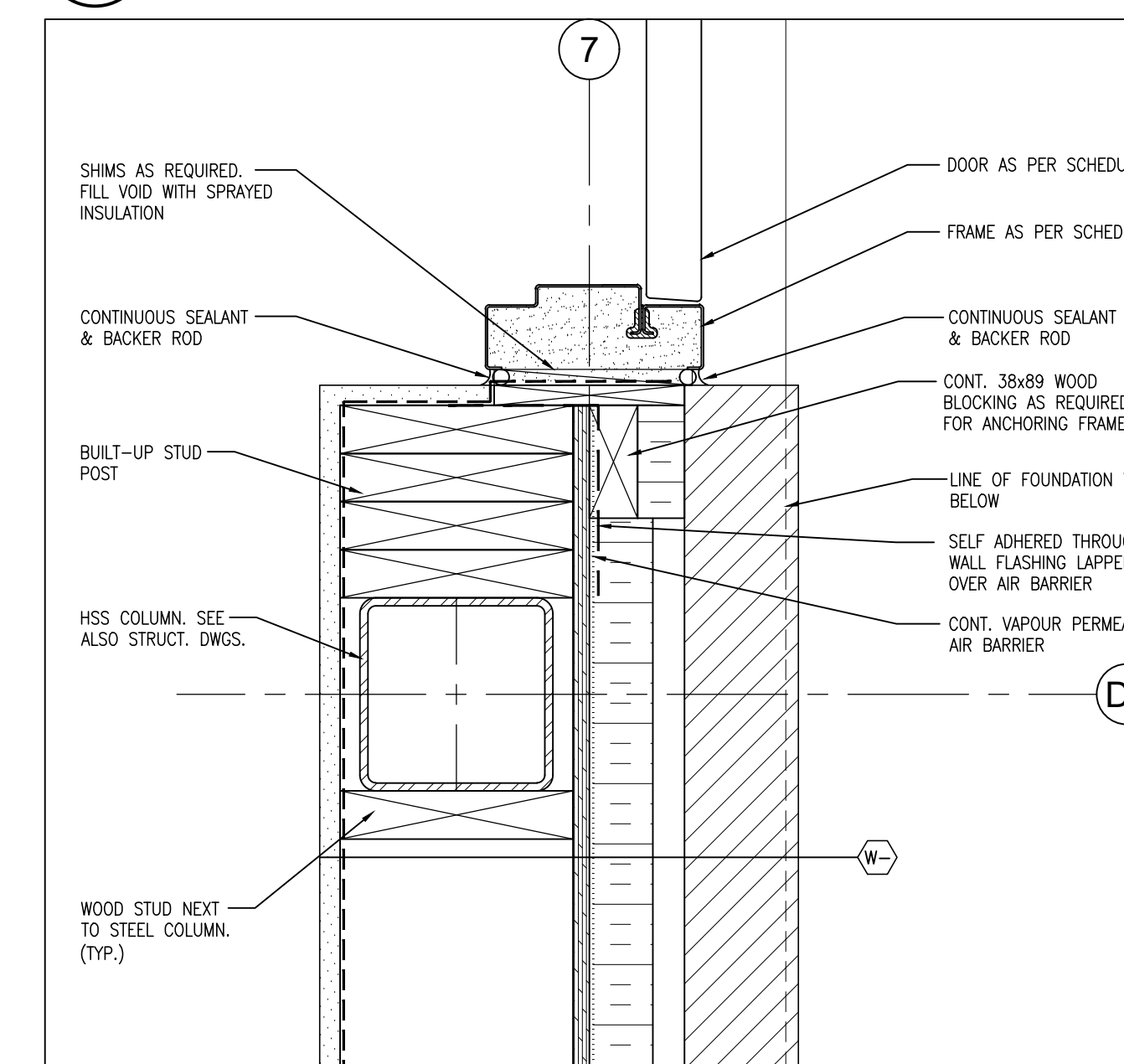
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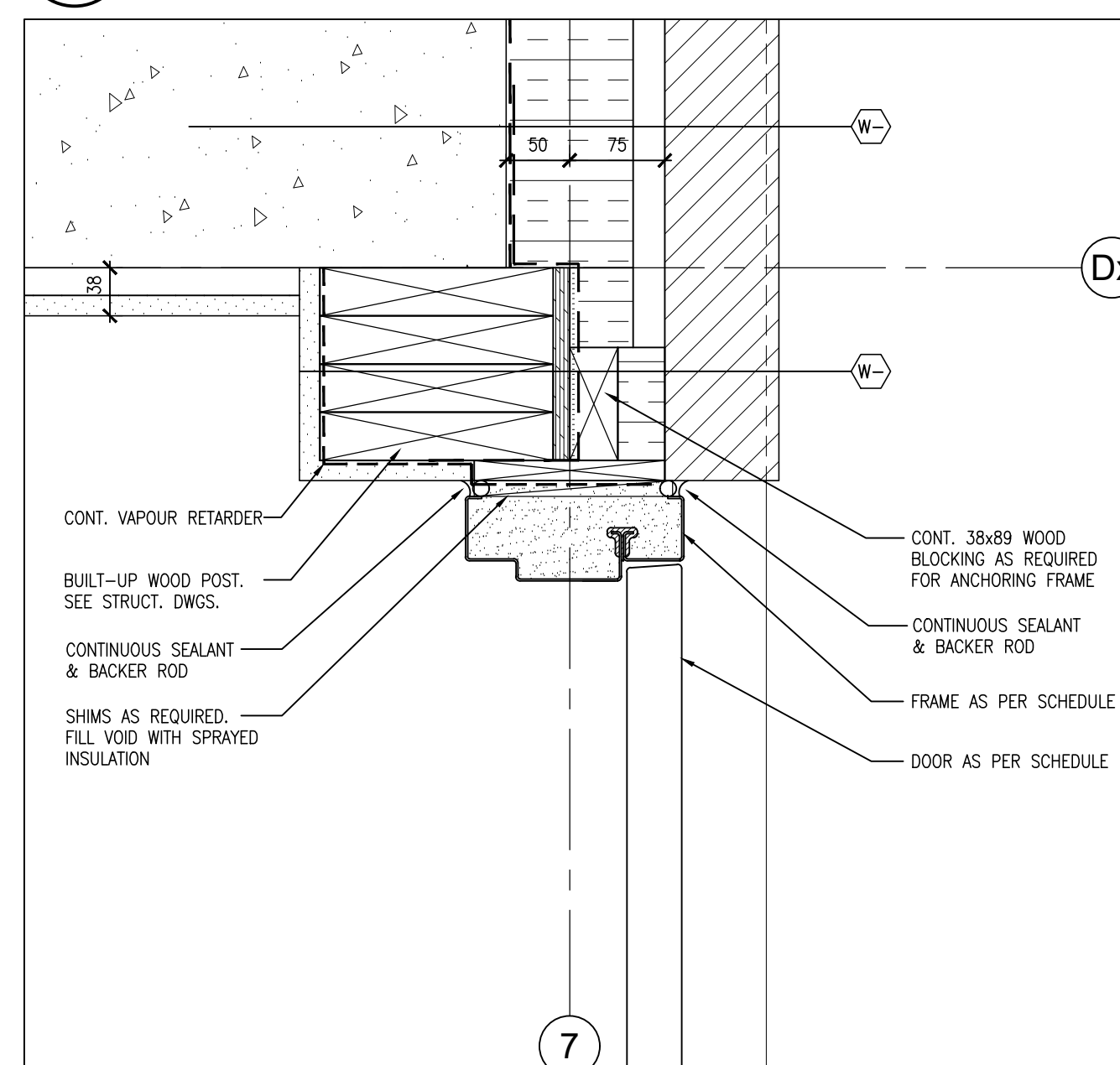
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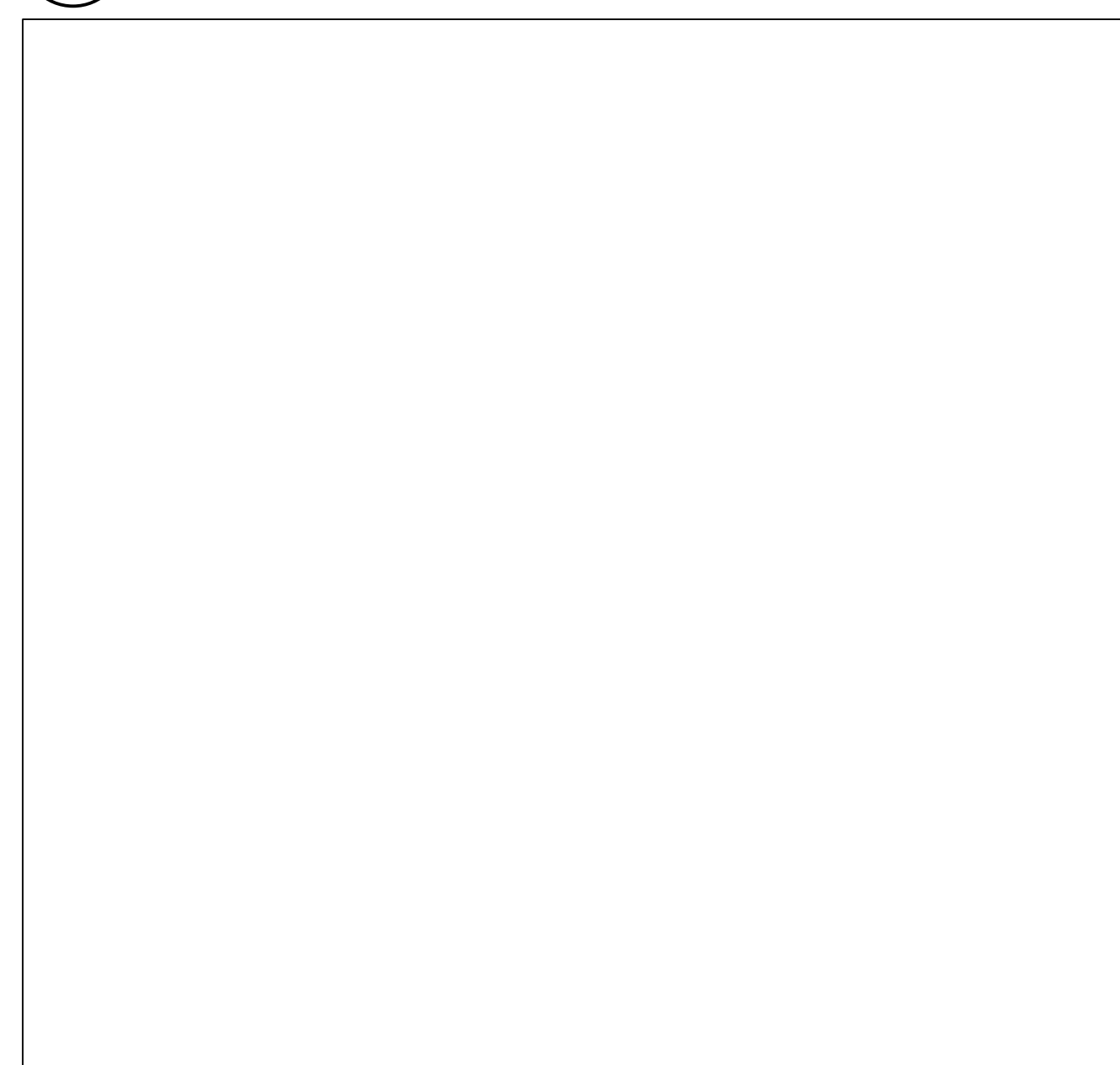
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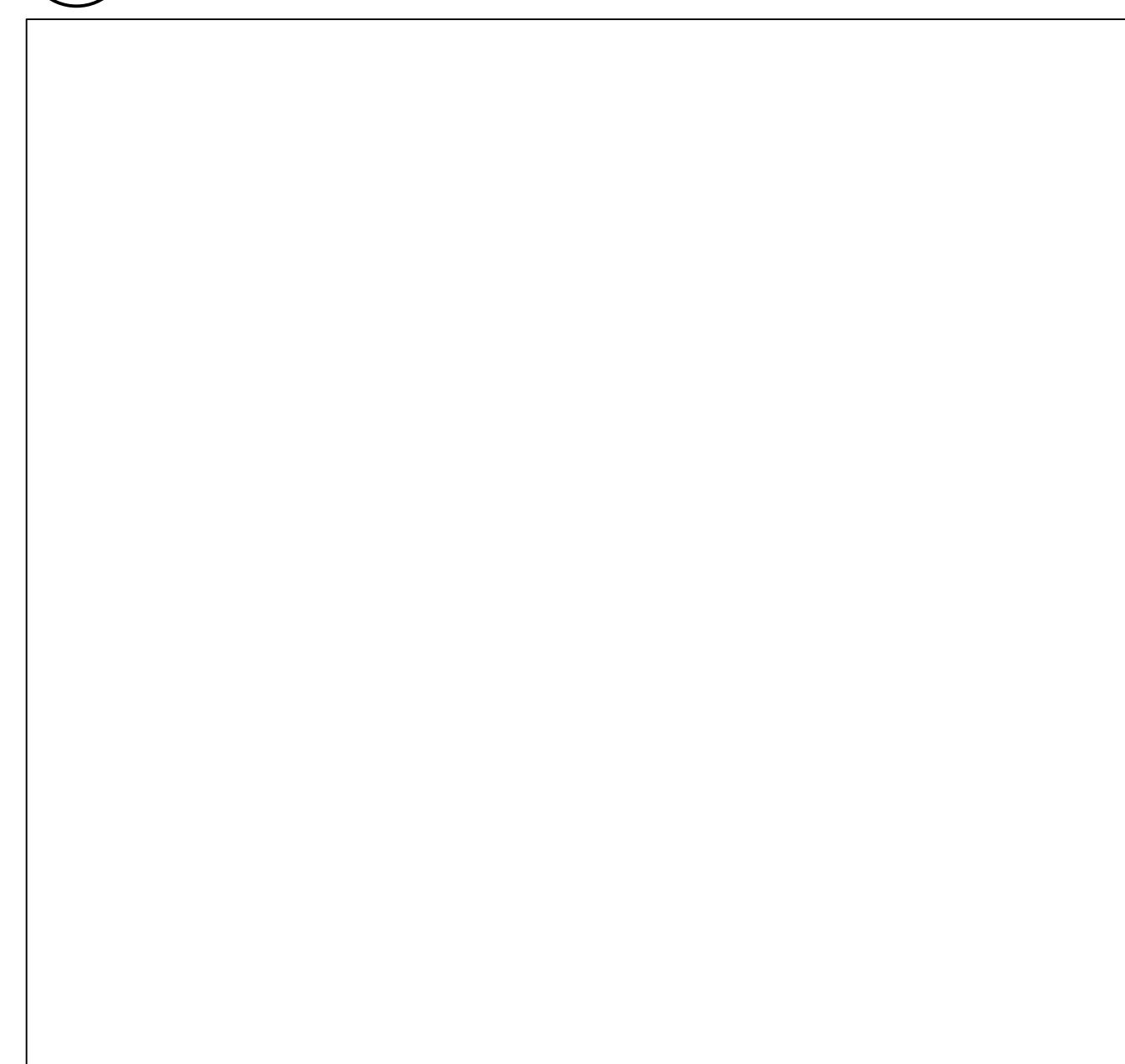
1 PLAN DETAIL (1ST FLOOR)  
A607 1:5



4 PLAN DETAIL (1ST FLOOR)  
A607 1:5



1 PLAN DETAIL (1ST FLOOR)  
A607 1:5



1 PLAN DETAIL (1ST FLOOR)  
A607 1:5

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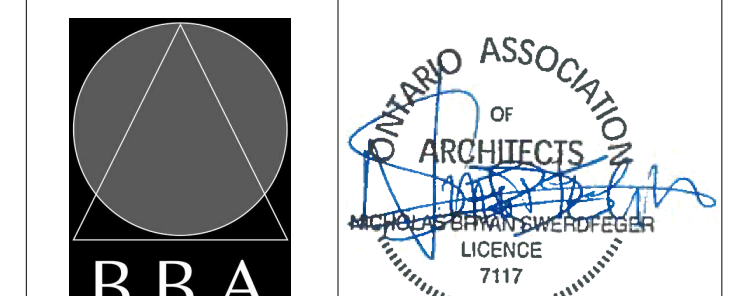
NO.	ISSUES	DATE	BY
1	ISSUED FOR PERMIT	Apr 30 2024	RG

NO.	REVISIONS	DATE	BY
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PROJECT:  
**Mixed-Use Building  
Development (BLDG.#3)  
PHASE 1**

1697 Durham Regional Hwy 2, Courtice,  
ON L1E 2R5  
RH Gay Holdings Co.

DRAWING:  
**GLAZING SCHEDULE /  
DOOR DETAILS**

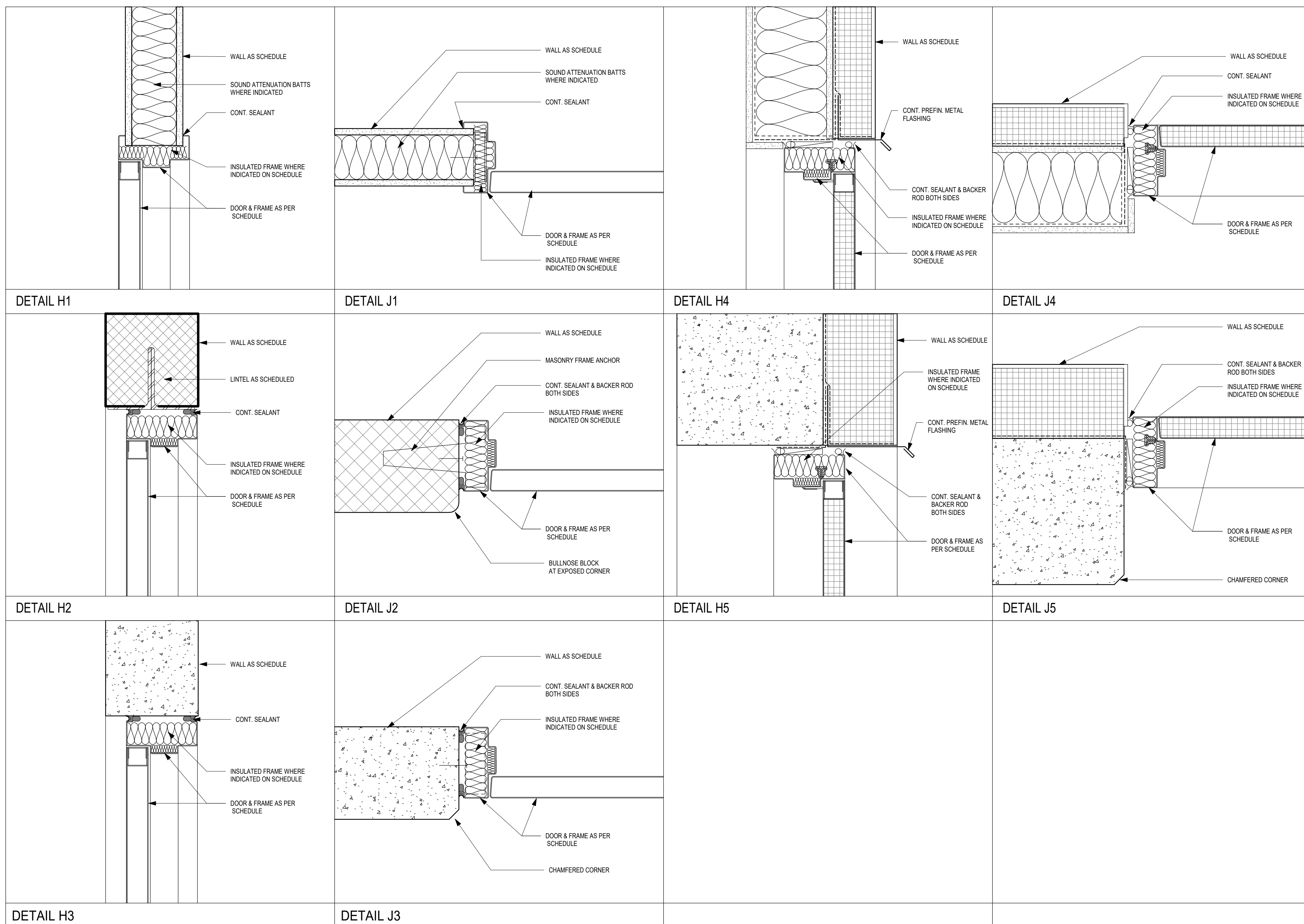


**BARRY BRYAN  
ASSOCIATES**  
Architects  
Engineers  
Project Managers

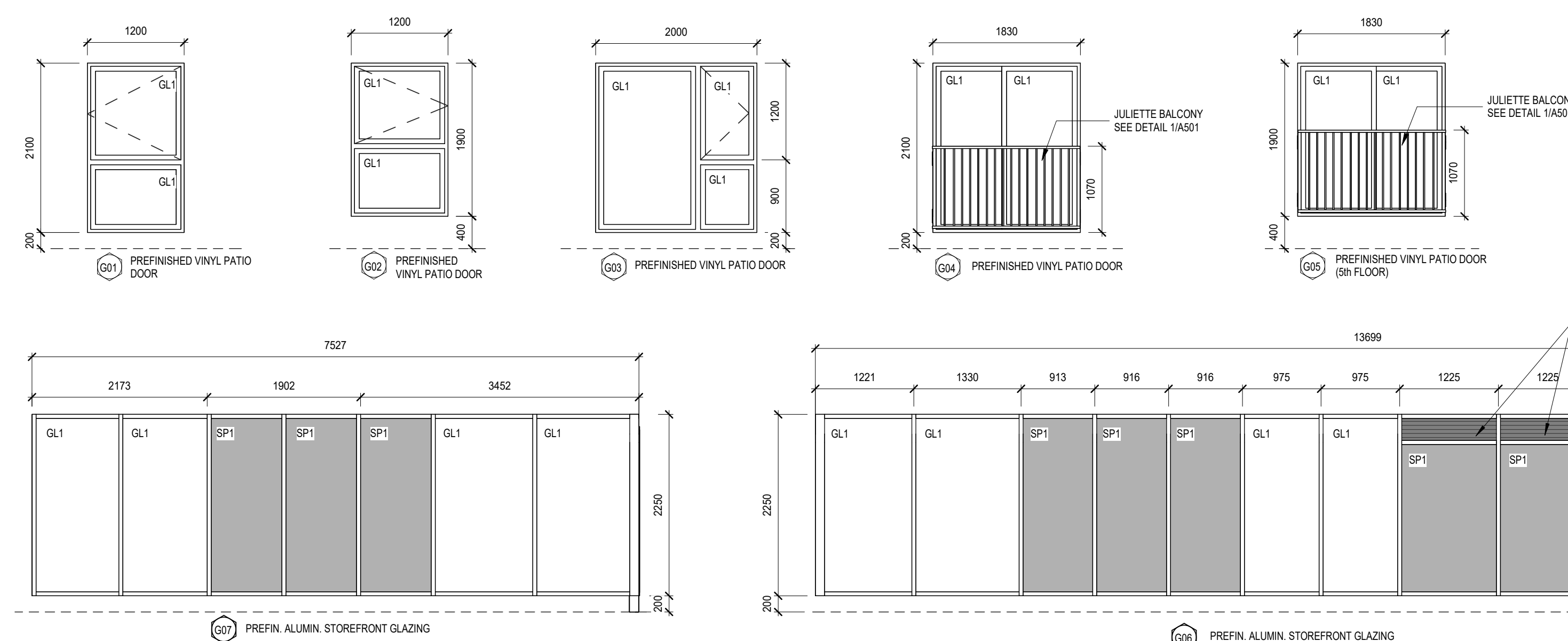
DESIGN BY: AA  
DRAWN BY: AA/JP  
CHECKED BY: AA/NS  
DATE: 2023-11-03  
SCALE: As indicated  
FILE: Drawings - Current - CECC.RVT

201-250 Water Street  
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Tel: (905) 686-5252  
Fax: (905) 666-5256  
e-mail: bba@bba-arch.com

PROJECT NO: **21046**  
DRAWING NO: **A801**



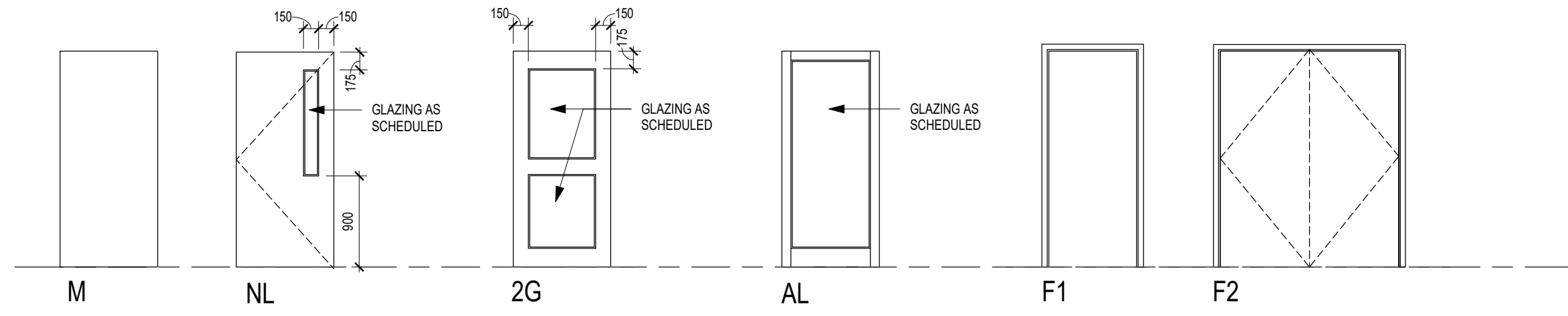
7 Door Jamb Details  
A801 1:5



**GLAZING LEGEND**

GL1 INSULATED DOUBLE GLAZED SEALED UNITS (EXTERIOR)  
SP1 INSULATING GLAZED SPANDREL UNITS.

- GENERAL NOTES**
- GLASS PANELS IN DOORS TO COMPLY WITH BARRIER FREE VISIBILITY REQUIREMENTS.
  - ALL EXTERIOR DOORS TO HAVE THERMALLY BROKEN INSULATED FRAMES.
  - PREPARE DOORS AND FRAMES FOR ELECTRONIC HARDWARE WHERE INDICATED AND WHERE REQUIRED. CONDUITS SHALL BE CONCEALED.
  - ALL DOORS IN FIRE SEPARATION LOCATIONS SHALL HAVE LATCHING DEVICE.
  - ALL DOORS TO BE OFFSET FROM WALL 100mm ON HINGED SIDE U.N.O.
  - DOOR SCHEDULE: STAIRS SHOWS TYPICAL DOORS AT STAIRWELLS. PROVIDE QUANTITIES AS REQUIRED. (ONE PER FLOOR) WHERE APPLICABLE.
  - DOOR SCHEDULE: UNITS SHOWS TYPICAL DOOR TYPES AT EACH RESIDENTIAL UNIT. PROVIDE QUANTITIES AS REQUIRED.



DOOR TYPES

FRAME TYPES

**GLAZING LEGEND**

- GL1 INSULATED DOUBLE GLAZED SEALED UNITS (EXTERIOR)
- SP1 INSULATING GLAZED SPANDREL UNITS.

**GENERAL NOTES**

1. GLASS PANELS IN DOORS TO COMPLY WITH BARRIER FREE VISIBILITY REQUIREMENTS.
2. ALL EXTERIOR DOORS TO HAVE THERMALLY BROKEN INSULATED FRAMES.
3. PREPARE DOORS AND FRAMES FOR ELECTRONIC HARDWARE WHERE INDICATED AND WHERE REQUIRED. CONDUITS SHALL BE CONCEALED.
4. ALL DOORS IN FIRE SEPARATION LOCATIONS SHALL HAVE LATCHING DEVICE.
5. ALL DOORS TO BE OFFSET FROM WALL 100mm ON HINGED SIDE U.N.O.
6. DOOR SCHEDULE: STAIRS SHOWS TYPICAL DOORS AT STAIRWELLS. PROVIDE QUANTITIES AS REQUIRED. (ONE PER FLOOR) WHERE APPLICABLE.
7. DOOR SCHEDULE: UNITS SHOWS TYPICAL DOOR TYPES AT EACH RESIDENTIAL UNIT. PROVIDE QUANTITIES AS REQUIRED.

**DOOR SCHEDULE MAIN BUILDING AREAS**

DOOR NO.	SINGLE / PAIR	PANEL 1	PANEL 2	HEIGHT	THICKNESS	DOOR TYPE	DOOR MATERIAL	DOOR FINISH	GLASS	FRAME TYPE	JAMB DETAIL	HEAD DETAIL	FRAME MATERIAL	FRAME FINISH	FIRE RATING	EXTERIOR	DOOR OPERATOR	BUTT HINGE	EXIT / PANIC DEVICE	PUSH PLATE / DOOR PULL	LOCKSET	LATCHSET	PRIVACY SET	PUSH TO LOCK	CLOSER	DOOR STOP	MC/KPLATE	THRESHOLD	WEATHERSTRIPPING	DOOR SWEEP	CARD READER	MAGLOCK	ELECTRIC STRIKE	HARDWARE GROUP	COMMENTS
107	PAIR	965		2150	44	NL	HM	PAINT		F2			PS	PAINT		■								■											
107a	SINGLE	965		2135	44	M	HM	PAINT		F1			PS	PAINT	1.5HR																				
107b	SINGLE	965		2150	44	M	HM	PAINT		F1			PS	PAINT		■																			
109	PAIR	965	965	2150	44	NL	HM	PAINT		F2			PS	PAINT		■									■										
109a	PAIR	965	965	2150	44	M	HM	PAINT		F2			PS	PAINT	3/4HR										■										
109c	SINGLE	965		2135	44	M	HM	PAINT		F1			PS	PAINT																					
109d	SINGLE	965		2135	44	M	HM	PAINT		F1			PS	PAINT	1.5HR																				
110	SINGLE	985	985	2182	44	AL	GLASS	-		F1			-	-		■																			
112	PAIR	965	965	2150	44	M	HM	PAINT		F2			PS	PAINT																					
112a	SINGLE	965		2135	44	M	HM	PAINT		F1			PS	PAINT																					
112b	SINGLE	965		2135	44	M	HM	PAINT		F1			PS	PAINT																					
201	PAIR	715	715	2150	44	M	HM	PAINT		F2			PS	PAINT	3/4HR																				
202	SINGLE	965		2150	44	M	SCW	PAINT		F1			PS	PAINT	20Min																				
301	PAIR	715	715	2150	44	M	HM	PAINT		F2			PS	PAINT																					
302	SINGLE	965		2135	44	M	HM	PAINT		F1			PS	PAINT																					
401	PAIR	715	715	2150	44	M	HM	PAINT		F2			PS	PAINT	3/4HR			■																	
402	SINGLE	965		2135	44	M	HM	PAINT		F1			PS	PAINT	3/4HR																				
501	PAIR	715	715	2150	44	M	HM	PAINT		F2			PS	PAINT	3/4HR																				
502	SINGLE	965		2135	44	M	HM	PAINT		F1			PS	PAINT	3/4HR																				
S1-01	SINGLE	965		2150	44	M	HM	PAINT		F1			PS	PAINT	3/4HR																				
S1-02	SINGLE	965		2150	44	M	HM	PAINT		F1			PS	PAINT	3/4HR																				
S1-03	SINGLE	965		2150	44	M	HM	PAINT		F1			PS	PAINT	3/4HR																				
S1-04	SINGLE	965		2150	44	M	HM	PAINT		F1			PS	PAINT	3/4HR																				
S1-05	SINGLE	965		2150	44	M	HM	PAINT		F1			PS	PAINT	3/4HR																				
S2-01	SINGLE	965		2150	44	M	HM	PAINT		F1			PS	PAINT	3/4HR																				
S2-01A	SINGLE	965		2150	44	M	HM	PAINT		F1			PS	PAINT		■																			
S2-02	SINGLE	965		2135	44	M	HM	PAINT		F1			PS	PAINT	3/4HR																				
S2-03	SINGLE	965		2135	44	M	HM	PAINT		F1			PS	PAINT																					
S2-04	SINGLE	965		2150	44	M	HM	PAINT		F1			PS	PAINT	3/4HR																				
S2-05	SINGLE	965		2150	44	M	HM	PAINT		F1			PS	PAINT	3/4HR																				

**DOOR SCHEDULE UNITS**

Type Mark	SINGLE / PAIR	PANEL 1	PANEL 2	HEIGHT	THICKNESS	DOOR TYPE	DOOR MATERIAL	DOOR FINISH	GLASS	FRAME TYPE	JAMB DETAIL	HEAD DETAIL	FRAME MATERIAL	FRAME FINISH	FIRE RATING	EXTERIOR	DOOR OPERATOR	BUTT HINGE	EXIT / PANIC DEVICE	PUSH PLATE / DOOR PULL	LOCKSET	LATCHSET	PRIVACY SET	PUSH TO LOCK	CLOSER	DOOR STOP	MC/KPLATE	THRESHOLD	WEATHERSTRIPPING	DOOR SWEEP	CARD READER	MAGLOCK	ELECTRIC STRIKE	HARDWARE GROUP	COMMENTS	
D1	SINGLE	965		2150	44	M	SCW	PAINT		<varies>			PS	PAINT	20Min																					
D2	SINGLE	864		2030	44	M	HCW	PAINT					WD	PAINT																						
D2b	SINGLE	965		2030	44	M	HCW	PAINT					WD	PAINT																						
D3	SINGLE	765		2030	44	M	HCW	PAINT					WD	PAINT																						
D4	SINGLE	813		2030	44	M	HCW	PAINT					WD	PAINT																						SLIDING DOOR
D5	PAIR	960	960	2030	44	M	HCW	PAINT					WD	PAINT																						SLIDING DOOR
D6	PAIR	762	762	2030	44	M	HCW	PAINT					WD	PAINT																						
D7	SINGLE	660		2030	44	M	HCW	PAINT					WD	PAINT																						
D8	SINGLE	711		2030	44	M	HCW	PAINT					WD	PAINT																						

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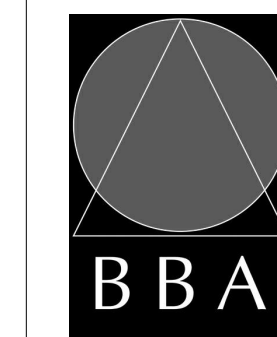
NO.	ISSUES	DATE	BY
1	ISSUED FOR PERMIT	Apr 30 2024	RG

NO.	REVISIONS	DATE	BY
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PROJECT:  
**Mixed-Use Building  
Development (BLDG.#3)  
PHASE1**

1697 Durham Regional Hwy 2, Courtice,  
ON L1E 2R5  
RH Gay Holdings Co.

DRAWING:  
**DOOR SCHEDULE**



**BARRY BRYAN  
ASSOCIATES**

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Engineers  
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DESIGN BY:	AA	DATE:	2023-11-03
DRAWN BY:	AA/JP	SCALE:	As indicated
CHECKED BY:	AA/NS	FILE:	Drawings - Current - CECC.RVT

PROJECT NO:  
**21046**

DRAWING NO:  
**A802**

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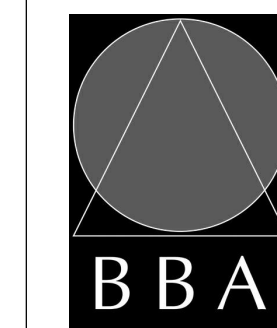
NO.	ISSUES	DATE	BY
1	ISSUED FOR PERMIT	Apr 30 2024	RG

NO.	REVISIONS	DATE	BY
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PROJECT:  
**Mixed-Use Building  
Development (BLDG.#3)  
PHASE1**

1697 Durham Regional Hwy 2, Courtice,  
ON L1E 2R5  
RH Gay Holdings Co.

DRAWING:  
**KITCHEN DETAILS**



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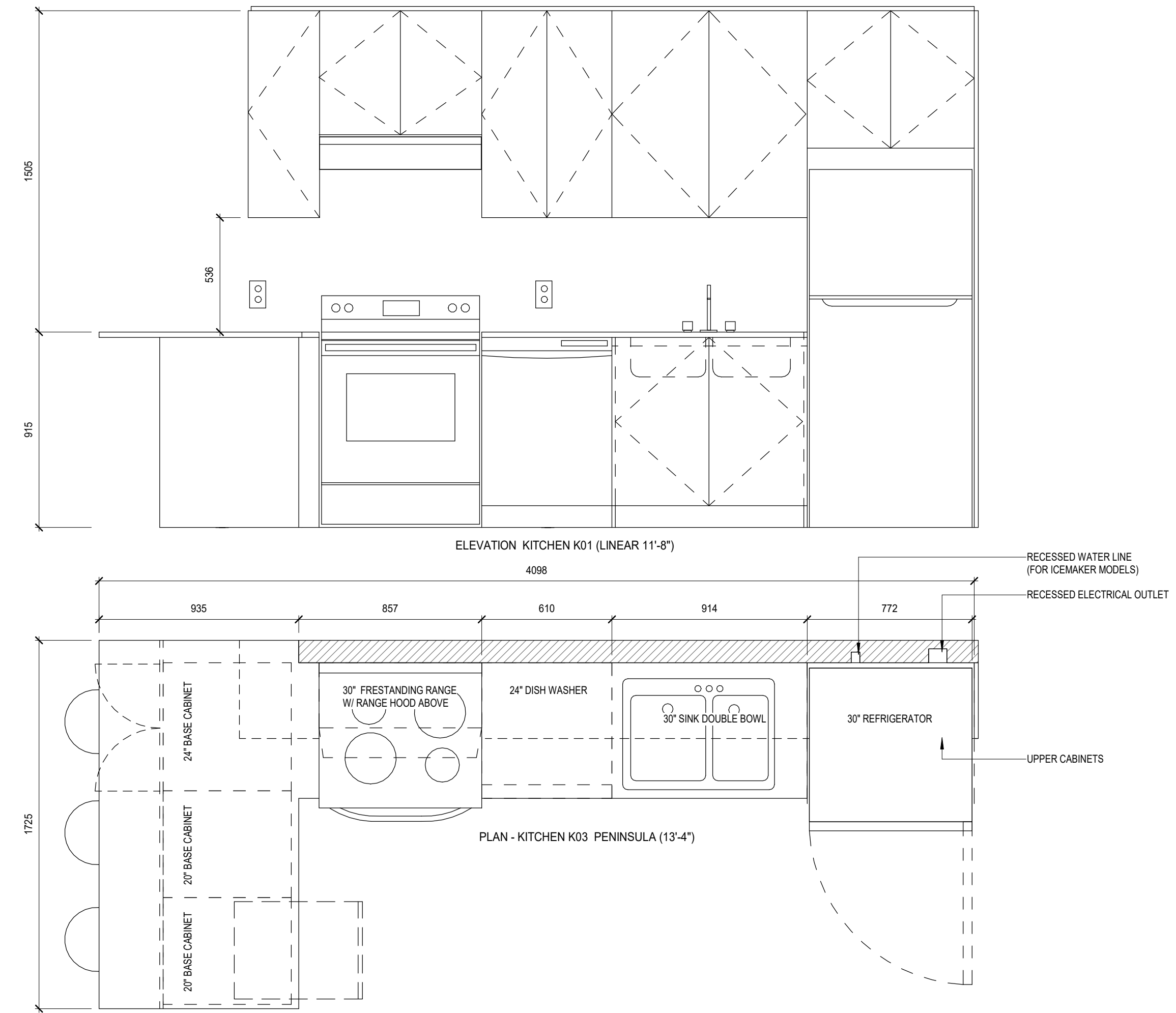


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DRAWN BY: AA/JP  
CHECKED BY: AA/NS

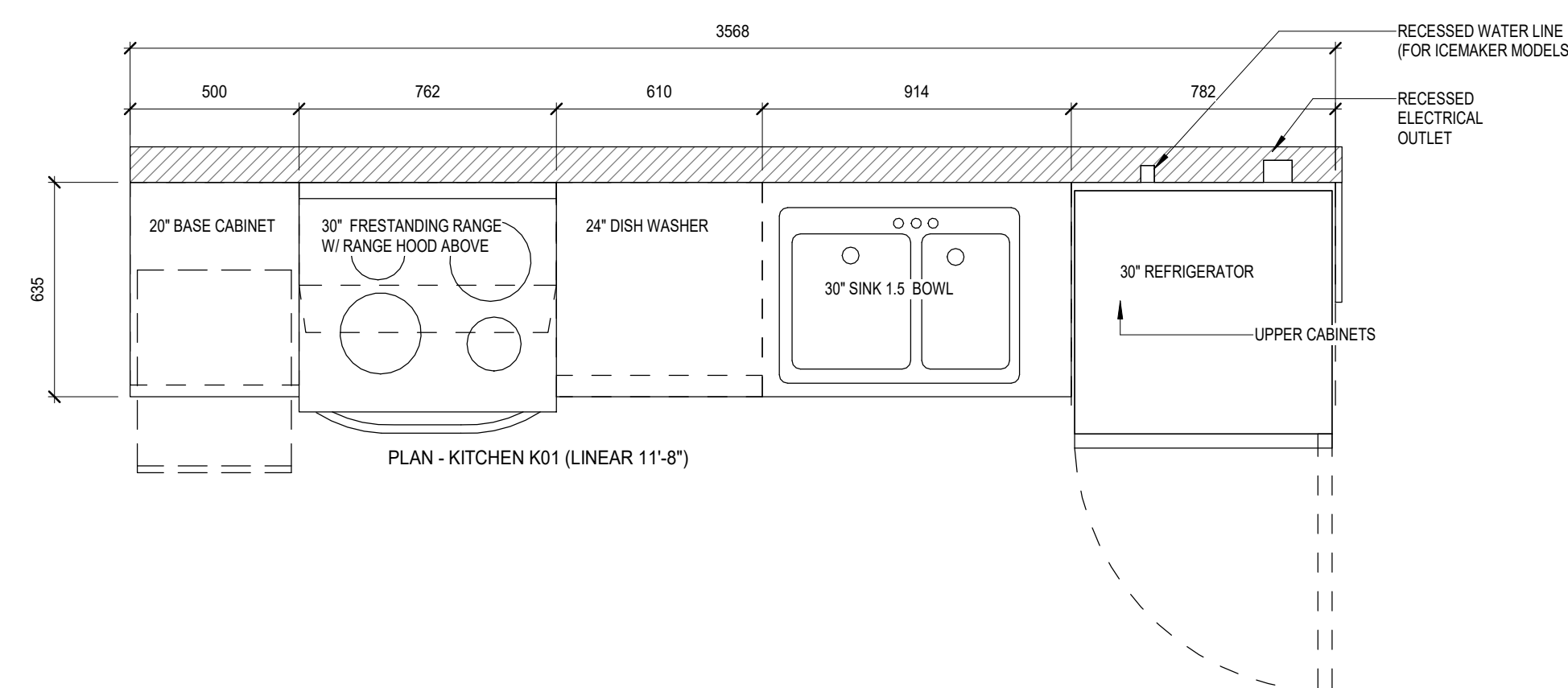
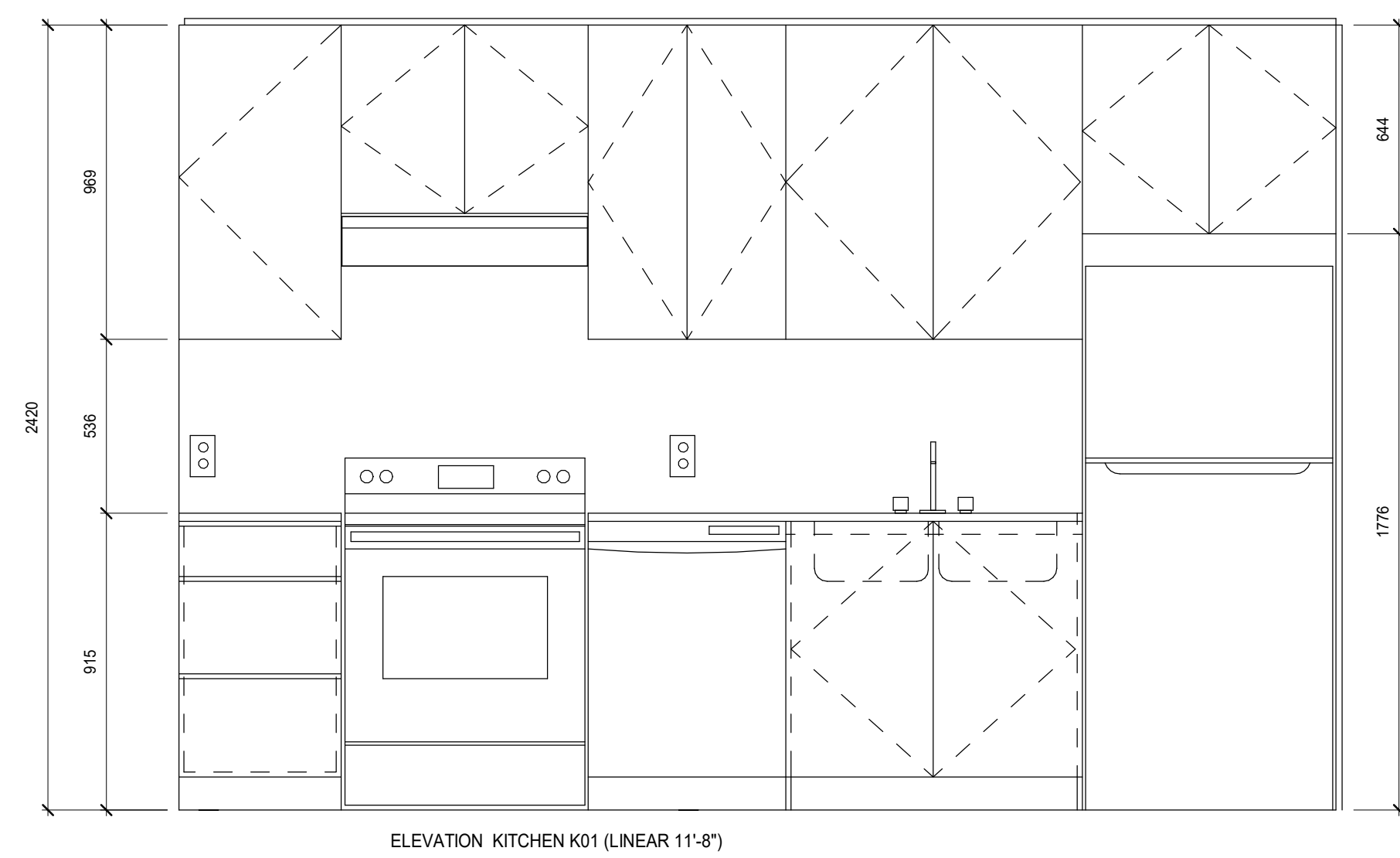
DATE: 2023-11-03  
SCALE: 1 : 18  
FILE: Drawings - Current - CECC.RVT

PROJECT NO:  
**21046**

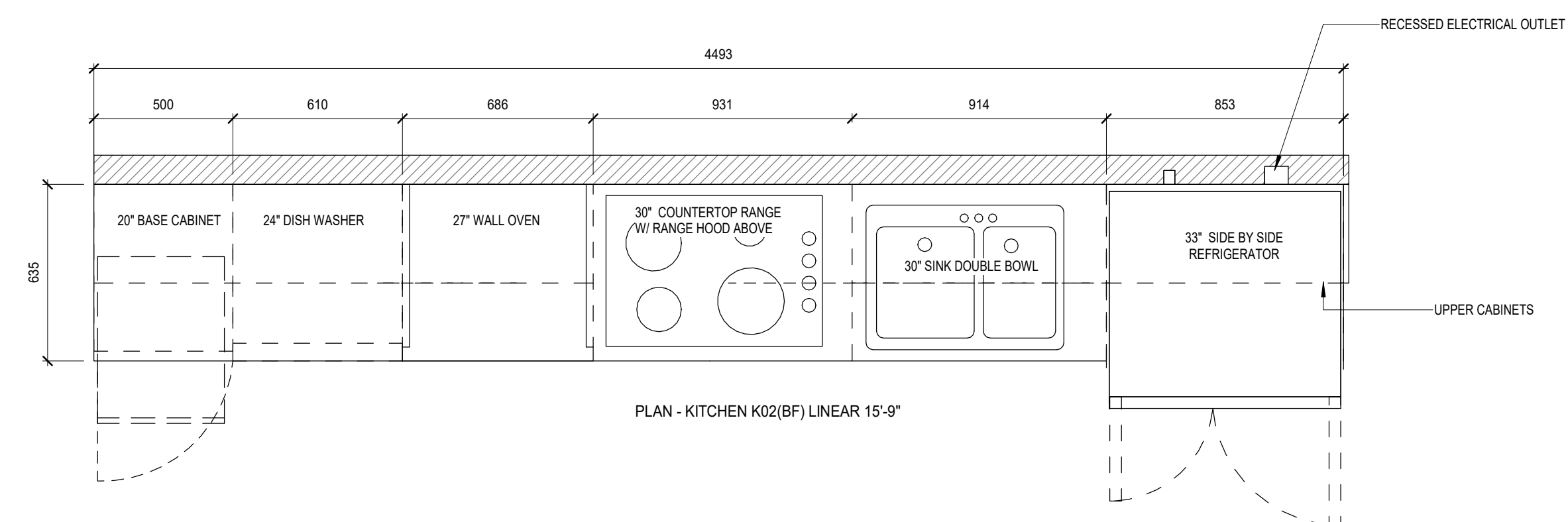
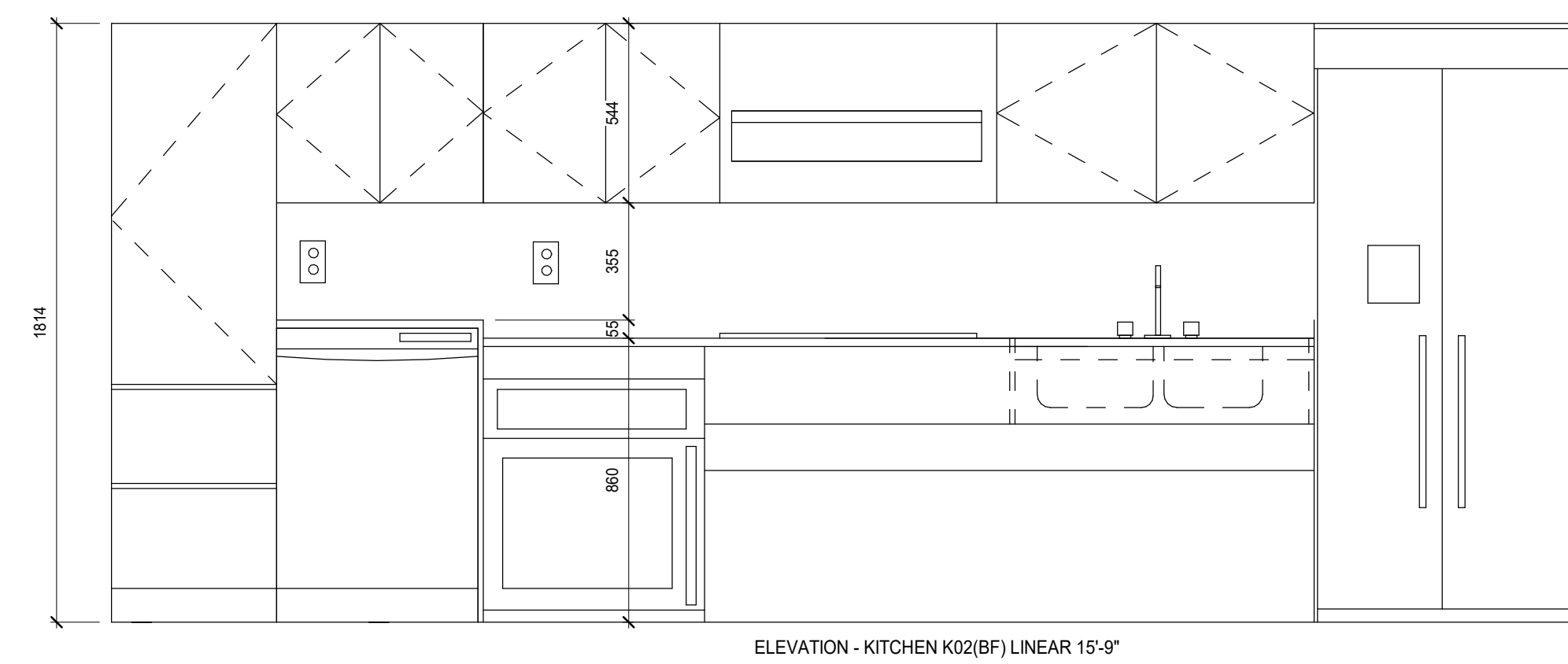
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**A811**



KITCHEN-K03- W/ PENINSULA  
1:18



KITCHEN-K01  
1:18



KITCHEN-K02-BARRIER FREE  
1:18

### GENERAL NOTES

- ALL DIMENSIONS AND ELEVATIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
- SITE VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE DESIGN ENGINEER.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF ALL RELEVANT CODES AND STANDARDS.
- CONFORM TO OWNER'S GENERAL SPECIFICATIONS INCLUDING ALL SAFETY REQUIREMENTS.
- KEEP THE SITE THROUGHOUT THE WORK AREA IN A CLEAN AND ORDERLY CONDITION AT ALL TIMES TO THE SATISFACTION OF THE OWNER.
- ALL STRUCTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH OTHER CONSULTANTS DRAWINGS.

### FOUNDATIONS

- DESIGN BEARING PRESSURE IS ASSUMED AS 100 kPa (SLS) BASED ON THE PROPOSED GROUND IMPROVEMENT PLAN.
- ALL FOOTINGS SHALL BEAR ON IMPROVED SOIL AS APPROVED BY THE GEOTECHNICAL CONSULTANT PRIOR TO PLACING FOOTING CONCRETE. REPORT ANY DOUBTFUL BEARING CONDITIONS TO THE STRUCTURAL ENGINEER BEFORE PLACING FOOTINGS.
- MATERIALS FOR BACKFILL SHALL BE GRANULAR "A" AND GRANULAR "B" CONFORMING TO OPSS STANDARDS COMPACTED TO 100% STANDARD PROCTOR MAXIMUM DRY DENSITY.
- ALL EXTERIOR FOOTINGS SHALL BE MINIMUM 1300mm BELOW FINISHED GRADE, UNLESS OTHERWISE NOTED.
- REFER TO THE GEOTECHNICAL INVESTIGATION REPORT NUMBER 15382-00L2 BY CAMBIUM INC. DATED JANUARY 26, 2024 FOR ALL OTHER CONSIDERATIONS/ RECOMMENDATIONS WITH RESPECT TO FOUNDATION/ UNDERGROUND WORK.

### CONCRETE

- CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF CAN/CSA-A23.1 AND CAN/CSA-A23.3 WITH THE FOLLOWING PROVISIONS:

LOCATION	DESIGN STRENGTH (28 DAYS)	SLUMP	EXPOSURE CLASS
INTERIOR FOOTINGS/ FOUNDATION WALLS AND PIERS	25 MPa	80± 30	N
EXTERIOR FOOTINGS/ FOUNDATION WALLS AND PIERS	25 MPa	80± 30	F-2
ALL EXTERIOR REINFORCED CONCRETE (STAIRS & RETAINING WALLS)	35 MPa U.N.O.	80± 30	C-1
EXTERIOR UN-REINFORCED CONCRETE (CURBS & CONCRETE WALKWAYS)	32 MPa U.N.O.	80± 30	C-2
SLAB ON GRADE	25 MPa	80± 30	N
LEAN CONCRETE	0.9 MPa	140± 30	F-2

- NO ADDITIONAL WATER SHALL BE ADDED AT THE JOB SITE. CONCRETE WHICH HAS BEEN WATERED OR DOES NOT MEET SPECIFICATIONS SHALL BE REJECTED.
- WHEN THE OUTSIDE TEMPERATURE FALLS BELOW 5°C, PROVIDE TEMPORARY HEATING OF CONCRETE IN ACCORDANCE WITH THE REQUIREMENTS OF CSA A23.1.
- STRUCTURAL GROUT SHALL BE NON-SHRINK, NON METALLIC M-BED STANDARD PREMIX BY SIKA OR APPROVED EQUIVALENT.
- ALL EPOXY SHALL BE HLT HIT-HY 200 U.N.O.

### SLAB ON GRADE

- CAST SLAB ON GRADE ON 200mm (8") MIN CRUSHED STONE AND COMPACTED SUB-GRADE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT UNLESS NOTED OTHERWISE.
- REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS OF COMPOSITION OF MATERIALS BELOW GRADE (INSULATION AND VAPOUR BARRIER).
- SAWCUT WITHIN 6 TO 18 HOURS. REFER TO THE DRAWINGS FOR SAWCUT REQUIREMENTS.
- DO NOT CAST SLAB MORE THAN 30 METERS IN LENGTH IN EITHER DIRECTION. PLACE SLAB IN STRIP PATTERN. KEY CONSTRUCTION JOINTS AS DETAILED.
- MAINTAIN MINIMUM SPECIFIED THICKNESS AT ALL DEPRESSIONS AND CHANGES IN ELEVATIONS.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXTENT AND LOCATION OF ALL FINISHES, DEPRESSIONS AND SLOPES.
- WELDED WIRE MESH REINFORCING IN SLABS ON GRADE MUST BE PROPERLY CHAIRED. LIFTING OF THE WIRE MESH DURING POURS WILL NOT BE ACCEPTED.

### CONCRETE REINFORCEMENT

- THE CLEAR DISTANCE BETWEEN REINFORCING STEEL AND SURFACE OF CONCRETE SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:

LOCATION	CLEAR COVER
FOOTINGS	75mm UNDERSIDE 50mm TOP AND ENDS
WALLS	50mm AGAINST EARTH (20M BAR OR GREATER) 40mm AGAINST EARTH (15M BAR) 40mm AGAINST FORM (20M BAR OR GREATER) 25mm AGAINST FORM (15M BAR)
SLABS	25mm TOP BARS 25mm BOTTOM BARS
COLUMNS/PIERS	40mm TO TIES
SURFACE IN CONTACT WITH GROUND	75mm

- DETAIL REINFORCING STEEL IN ACCORDANCE WITH "REINFORCING STEEL MANUAL OF STANDARD PRACTICE" BY THE REINFORCING STEEL INSTITUTE OF CANADA LATEST EDITION.
- REINFORCING BAR SPLICES FOR DEFORMED BARS:  
WALLS - CLASS "B" TENSION SPLICE UNLESS NOTED OTHERWISE  
ALL OTHERS - CLASS "B" TENSION LAP UNLESS NOTED OTHERWISE
- ALL REINFORCING STEEL SHALL BE DEFORMED HARD GRADE BILLET STEEL CONFORMING TO CSA G30.18 GRADE 400.
- WELDED STEEL WIRE FABRIC, PLAN TYPE CONFORMING TO CSA G30.5M IN FLAT SHEETS NOT ROLLED.
- ALL CONCRETE REINFORCEMENT MUST BE PROPERLY CHAIRED WITH APPROVED BAR SUPPORTS.
- PROVIDE CHAIRS, SPACER BARS, SUPPORT BARS AND OTHER ACCESSORIES TO SUPPORT REINFORCING IN ACCORDANCE WITH THE LATEST EDITIONS OF CSA A23.1 AND CSA A23.3.
- CHAIRS SHALL BE SPACED AT 1200mm O.C. MAXIMUM. LIFTING IS NOT ACCEPTABLE.

### STRUCTURAL STEEL

- STRUCTURAL STEEL HSS AND W SECTIONS SHALL BE G40.21M-350W CLASS C. ALL OTHERS SHALL BE G40.21M-300W
- DESIGN FORCES INDICATED ON DRAWINGS FOR STRUCTURAL STEEL WORK ARE UN-FACTORED FORCES UNLESS NOTED OTHERWISE.
- PREPARE AND SUBMIT SHOP DRAWINGS OF COMPONENTS AND CONNECTIONS. ALL CONNECTIONS MUST BE DESIGNED BY THE FABRICATOR'S ENGINEER AND SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY THAT ENGINEER.
- FABRICATORS ENGINEER MUST BE PRACTICING PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF ONTARIO.
- BOLTED CONNECTIONS SHALL HAVE A MINIMUM OF TWO BOLTS IN EACH CONNECTED PIECE.

- FABRICATION, ERECTION AND WORKMANSHIP SHALL CONFORM TO CSA S16.1, LATEST EDITION.
- ALL WELDING SHALL CONFORM TO CSA W59 AND SHALL BE PERFORMED BY A WELDER QUALIFIED UNDER CSA W47.
- ALL CONNECTIONS SHALL BE WELDED USING E49XX ELECTRODES OR BOLTED USING ASTM A325 HIGH STRENGTH BOLTS.
- ALL STRUCTURAL STEEL SHALL BE PAINTED WITH ONE SHOP APPLIED COAT OF PRIMER. SPOT PRIME ALL WELDED AREAS. SPOT PRIME AS REQUIRED.
- REMOVE PAINT FILM FROM ALL STEEL SURFACES TO BE WELDED.
- DO NOT CUT OR CORE ANY OPENINGS IN ANY STRUCTURAL STEEL MEMBERS WITHOUT PRIOR APPROVAL FROM THE STRUCTURAL ENGINEER
- WHERE A STRUCTURAL STEEL SHAPE SHOWN ON THE DRAWINGS IS UNAVAILABLE, A SHAPE OF EQUAL OR GREATER SECTION PROPERTIES AND STRUCTURAL CAPACITY SHALL BE SUBSTITUTED UPON APPROVAL BY OWNER AND CONSULTANT AT NO EXTRA COST.

### LUMBER NOTES

- WOOD CONSTRUCTION SHALL CONFORM TO CSA STANDARD O86 AND TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.
- LUMBER: UNLESS OTHERWISE NOTED, TO BE SPRUCE, GRADE NO.2 CONFORMING TO CSA STANDARD O141 WITH MAXIMUM MOISTURE CONTENT OF 15% AT THE TIME OF INSTALLATION. LUMBER SHALL BEAR THE GRADING STAMP OF AN AGENCY APPROVED BY THE CANADIAN LUMBER STANDARDS ADMINISTRATION BOARD.
- NAILS, SPIKES AND STAPLES: TO CSA STANDARD B111, GALVANIZED FOR EXTERIOR WORK, OR HIGHLY HUMID AREAS AND FOR TREATED LUMBER, PLAIN ELSEWHERE. NAILING OF FRAMING UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLES 9.2.3.3 A&B IN THE ONTARIO BUILDING CODE.
- FASTENINGS FOR EXTERIOR WORK: NAILS, BOLTS, STEEL STRAPS AND WELDED CONNECTIONS TO BE HOT DIP GALVANIZED AND CONFORM TO CAN3-86-M80.
- LUMBER TO LUMBER CONNECTIONS IN SAME PLANE SHALL BE MADE WITH APPROVED JOIST HANGERS OR FRAMING ANCHORS.
- WOOD PRESERVATIVE: WHERE REQUIRED, TO CONFORM TO CSA STANDARD O80.
- FRAMING ANCHORS: FRAMING ANCHORS, JOIST HANGERS, UNLESS OTHERWISE SHOWN ON THE DRAWINGS, ARE ALL TO BE AS MANUFACTURED BY SIMPSON STRONG TIE OR AN APPROVED EQUAL, SIZED TO THE JOB AT HAND. ALL ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH NAILS WHERE "SPECIAL" S INSTRUCTIONS UTILIZING THE MANUFACTURER REQUIRED.
- REMOVE AND REPLACE ANY DEFECTIVE MATERIALS WHEREVER FOUND PRIOR TO FINAL ACCEPTANCE OF THE WORK.
- ALL TIMBER CONNECTIONS SHALL BE IN ACCORDANCE WITH THE REFERENCE STANDARD AND WITH GOOD CARPENTRY PRACTICE.
- DESIGN OF TRUSSES SHALL CONFORM TO PART 4 OF OBC ON SHOP DRAWINGS SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN ONTARIO.
- UNLESS OTHERWISE NOTED ON PLAN, THE FOLLOWING SHALL BE THE MINIMUM GRADES USED: TRUSSES: SPF 2
- PROVIDE ERECTION DRAWINGS IN ACCORDANCE WITH M.O.L. STANDARDS FOR SEQUENTIAL ERECTION.
- DO NOT NOTCH OR DRILL LUMBER TRUSSES ON SITE WITHOUT MANUFACTURER'S APPROVAL. REFER TO MANUFACTURER'S PRINTED INFORMATION FOR OPENINGS IN LUMBER FRAME MEMBERS.
- PROVIDE LATERAL RESTRAINT AT ALL BEARING LOCATIONS AND ONE ROW OF BRIDGING AT ALL MIDSPANS UNLESS NOTED OTHERWISE. DRAWINGS SHOWING CONNECTION DETAILS, CONSTRUCTION DETAILS, AND TEMPORARY CONSTRUCTION BRACING. ALL SHOP DRAWINGS TO BE PREPARED AND APPROVED BY A REGISTERED PROFESSIONAL ENGINEER IN THE PROVINCE OF ONTARIO.
- SUBMIT SHOP DRAWINGS OF PREFAB ENGINEERED LUMBER ROOF TRUSS FRAMING AND ERECTION.
- INSTALL ALL LUMBER TRUSSES TO MANUFACTURER'S RECOMMENDED DETAILS INCLUDING ALL NECESSARY BLOCKING, WEB STIFFENERS AND BRACING.
- UPON INSTALLATION OF THE WOOD TRUSSES THE MANUFACTURER'S SPECIALTY ENGINEER SHALL SUBMIT A LETTER OF FIELD REVIEW AND COMPLIANCE CONFIRMING THAT THE FABRICATION AND INSTALLATION OF THE TRUSS ARE IN CONFORMITY WITH THE SHOP DRAWINGS.
- REFER TO THE ROOF PLAN FOR THE TRUSS DESIGN LOADS. THE TRUSSES SHOULD ALSO BE DESIGNED FOR A VERTICAL POINT LOAD OF 0.1 kN (UNFACTORED) APPLIED AT ANY POINT OF THE BOTTOM CHORD.
- THE WOOD TRUSSES ARE TO BE DESIGNED FOR A LIVE LOAD DEFLECTION OF 1/360 OF THE SPAN. WOOD TRUSS DESIGN TO LATERALLY BRACE SUPPORTING BEAM AND COLUMN.

### ENGINEERED WOOD TRUSSES

- ALL ENGINEERED WOOD TRUSSES TO BE DESIGNED FOR LOADING AS SHOWN ON THE STRUCTURAL DRAWINGS.
- TRUSS MANUFACTURER TO SUPPLY AND INSTALL ALL NECESSARY AND ADEQUATE HARDWARE, INCLUDING ANY JOIST HANGERS AND/OR NAILERS TO COMPLETE ALL STRUCTURAL DETAILS FOR TRANSFER OF LOADS TO STEEL BEAMS OR COLUMNS.
- PROVIDE AT LEAST 2 ROWS OF "X" BRIDGING AT 3RD POINTS OF SPAN OF JOIST FOR STIFFENING AND LOAD SHARING.
- JOIST MANUFACTURER TO SUPPLY ADEQUATE BEARING STIFFENER AT EACH END OF JOIST FOR TRANSFER OF REACTIONS TO BEAMS OR COLUMNS.
- THE ENGINEERED JOIST SUPPLIER SHALL SPECIFY ALL ERECTION REQUIREMENTS AND PROVIDE ALL NECESSARY, TEMPORARY AND PERMANENT BRACING.
- DEFLECTION: TOTAL LOAD (LIVE AND DEAD) FLOOR JOISTS = L/240  
LIVE LOAD FLOOR JOISTS = L/360
- COORDINATE WITH ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- PROVIDE MAXIMUM JOIST SIZE AND SPACING AS SHOWN ON DRAWINGS.
- COMPLY WITH ALL MANUFACTURERS PUBLISHED INSTRUCTIONS/ REQUIREMENTS FOR INSTALLATION OF TJI JOISTS.
- PROVIDE ENGINEERED HANGERS TO SUPPORT APPLIED LOADING AS REQUIRED.

### DESIGN LOADS:

ROOF DEAD:	1.40 kPa
FLOOR DEAD:	3.25 kPa
CORRIDOR LIVE:	4.80 kPa
RESIDENTIAL LIVE:	1.90 kPa
SNOW LOAD: S <sub>m</sub> :	1.40 kPa
S <sub>r</sub> :	0.40 kPa
WIND LOAD: q <sub>g</sub> (B):	0.48 kPa

IMPORTANCE: NORMAL

SEISMIC DATA:	S <sub>s</sub> (0.2): 0.192
	S <sub>s</sub> (0.5): 0.108
	S <sub>s</sub> (1.0): 0.058
	S <sub>s</sub> (2.0): 0.029
	S <sub>s</sub> (5.0): 0.0071
	S <sub>s</sub> (10.0): 0.003
PGA:	0.122
PGV:	0.086

SITE CLASS: E

CONCRETE:	R <sub>d</sub> : 1.5
	R <sub>c</sub> : 1.3

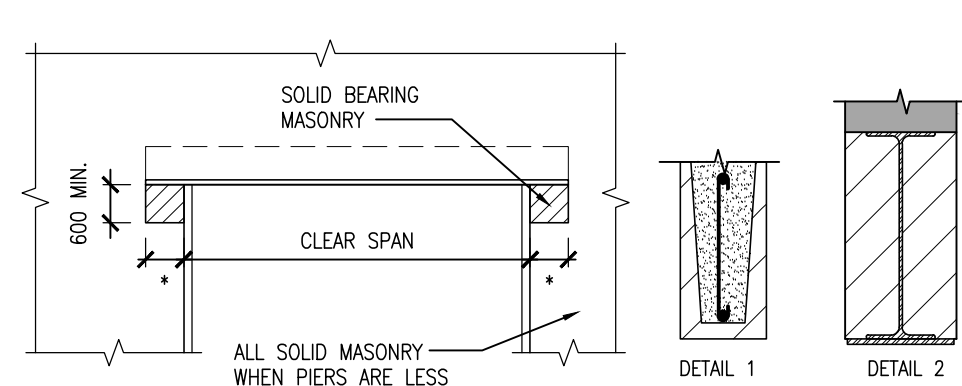
TIMBER:

R <sub>d</sub> :	3.0
R <sub>c</sub> :	1.7

BASE SHEAR:

N-S:	555kN
E-W:	118kN

### TYPICAL DETAIL FOR LINTEL BEARING



\* BEARING LENGTH  
150 MINIMUM EACH END (STEEL ANGLE LINTEL)  
200 MINIMUM EACH END (BLOCK LINTELS)

### COLUMN SCHEDULE

MARK	C1	C2	C3	C4	C5
DATA					
T.O. ROOF DECK					
T.O. FIFTH FLOOR					
T.O. FOURTH FLOOR					
T.O. THIRD FLOOR					
T.O. SECOND FLOOR					
U/S OF LINTEL					
T.O. GROUND FLOOR					
TOP PLATE				16x180x300	
TOP PLATE ANCHORS				(2) 190 x 150 LG. THROUGH BOLTS THROUGH ST1 TOP PLATE	
BASE PLATE	19x180x350	19x300x300	19x300x300	19x180x350	19x180x350
BASE ANCHOR RODS	(2) 190 x 500 LG + 64 HOOK	(4) 190 x 500 LG + 64 HOOK	(4) 190 x 500 LG + 64 HOOK	(2) 190 x 500 LG + 64 HOOK	(2) 190 x 500 LG + 64 HOOK

### LINTEL SCHEDULE

MARK	SIZE	DETAIL	REMARKS
L1	3 PLY 38x184		MIN. 3 PLY 38x184 AT ENDS U.N.O.
L2	4 PLY 38x235		MIN. 4 PLY 38x184 AT ENDS U.N.O.
L3	4 PLY 38x184		MIN. 4 PLY 38x184 AT ENDS U.N.O.
L4	3 PLY 38x140		MIN. 3 PLY 38x140 AT ENDS U.N.O.

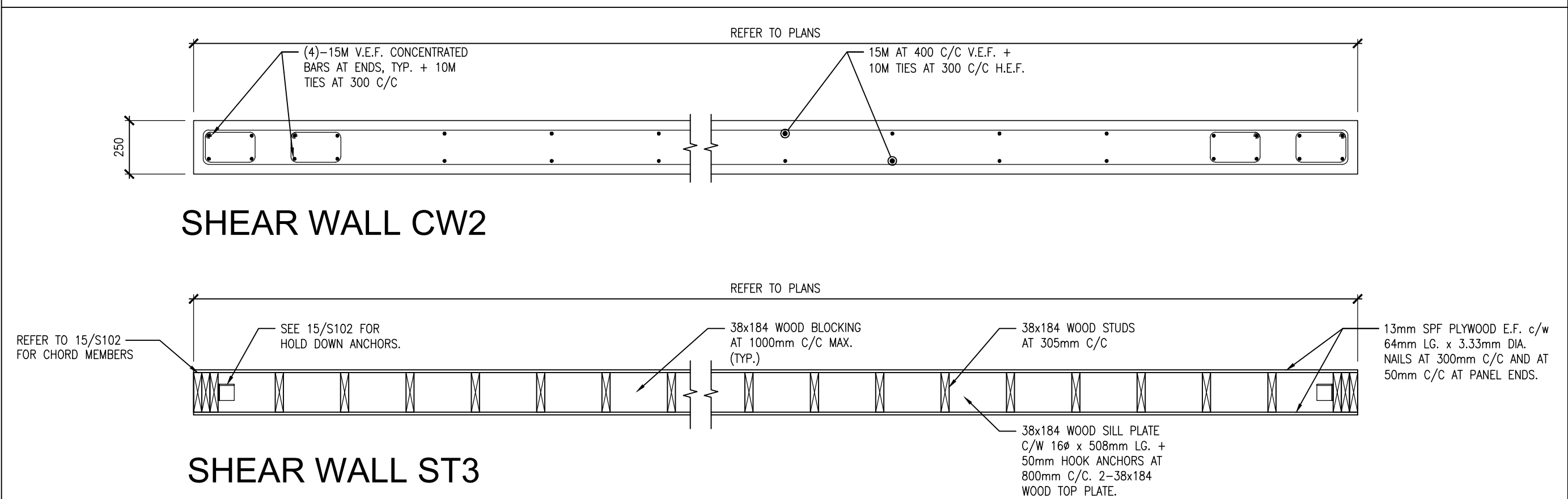
NOTES: LINTELS WHERE NOTE SHOWN SHALL BE "L1" TYPICAL WHERE NOT SHOWN ON PLANS.

### WALL PLATE SCHEDULE

MARK	PLATE AxBxT mm	ANCHORAGE (LENGTH) CxO mm	PLATE TYPE
WP1	200x250x16	4-19# x 127mm LG. NELSON STUD 150x100	SINGLE PLATE, DOUBLE ROW
WP2	400x250x16	4-19# x 127mm LG. NELSON STUD 300x100	SINGLE PLATE, DOUBLE ROW
WP3	450x200x16	4-19# NELSON STUDS 350x100	DOUBLE PLATE, DOUBLE ROW

NOTES:

### SHEAR WALL SCHEDULE



### FOOTING SCHEDULE

MARK	SIZE	DEPTH	REINFORCING	REMARKS
F1	6500x10500	1200	28-25M T&B SHORT SPAN + 18-25M T&B LONG SPAN + 25M PERIMETER U-BARS AT REINFORCING LOCATIONS.	
F2	5500x6500	900	11-25M T&B EACH WAY + 25M PERIMETER U-BARS AT REINFORCING LOCATIONS.	
F3	1200x1200	400	6-15M T&B EACH WAY	
F4	6500x11200	1200	28-25M T&B SHORT SPAN + 18-25M T&B LONG SPAN + 25M PERIMETER U-BARS AT REINFORCING LOCATIONS.	

### WALL FOOTING SCHEDULE

MARK	WIDTH	DEPTH	REINFORCING	REMARKS
WF1	2000	600	10-20M CONT. LONG 20M AT 250 TRANSVERSE	
WF2	1000	400	6-20M CONT. LONG 20M AT 350 TRANSVERSE	
WF3	400	250	3-15M CONT.	

### CONCRETE WALL SCHEDULE

MARK	THICKNESS	VERT. REINFORCING	HORIZ. REINFORCING	REMARKS
CW1	250	15M AT 400 C/C	15M AT 400 C/C	
CW2	250	SEE SHEAR WALL SCHEDULE		
CW3	250	15M AT 400 c/c E.F.	15M AT 400 c/c E.F.	
CW4	200	15M AT 400 c/c	15M AT 400 c/c	
CW5	455	15M AT 400 c/c E.F.	15M AT 400 c/c E.F.	
CW6	200	15M AT 400 c/c E.F.	15M AT 400 c/c E.F.	

### STUD WALL SCHEDULE

MARK	SIZE/ SPACING	SILL PLATE	TOP PLATE	SHEATHING
ST1	38x184 @ 300 C/C	38x184 C/W 16# x 200 EMBED. EPOXY ANCHORS AT 800 C/C	2-38x184	13 EXT. PLYWOOD SHEATHING C/W STAGGERED JOINTS
ST2	38x140 @ 300 C/C	38x140 C/W 16# x 500 LG+ 50 HOOK ANCHORS AT 800 C/C	2-38x140	13 PLYWOOD SHEATHING C/W STAGGERED JOINTS (BOTH SIDES)
ST3	SEE SHEAR WALL SCHEDULE			

### CONCRETE PIER SCHEDULE

MARK	SIZE	VERT. REINF.	TIES	REMARKS	DETAIL
P1	400x400	8-15M VERT.	10M AT 300	DETAIL 1	DETAIL 1

NOTE:  
1. ALL PIERS TO BE CENTRED ON COLUMNS UNLESS NOTED OTHERWISE.  
2. CARRY ALL HORIZONTAL WALL REINFORCEMENT THROUGH PIERS.

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NO.	ISSUES	DATE	BY
1	ISSUED FOR PERMIT	APRIL 30, 2024	BBA

NO.	REVISIONS	DATE	BY
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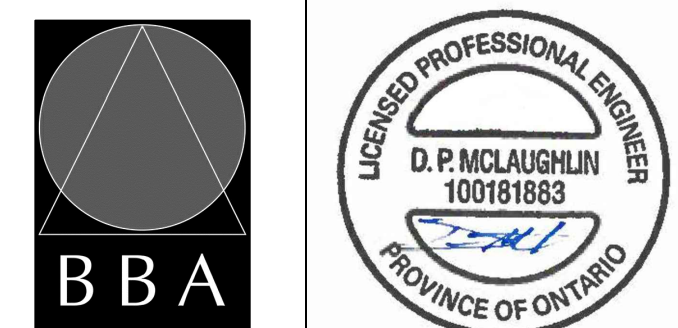
PROJECT:

**MIXED-USE BUILDING DEVELOPMENT (BLDG.#3) PHASE 1**  
1697 HIGHWAY#2 COURTICE, ON

R.H. Gay Holdings Co.

DRAWING:

**GENERAL NOTES & SCHEDULES**



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DESIGN BY: MF  
DRAWN BY: CM  
CHECKED BY: BK  
DATE: FEB. 2024  
SCALE:  
FILE:  
PROJECT NO: **21046**  
DRAWING NO: **S101**

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NO.	REVISIONS	DATE	BY


**PROJECT:**  
**MIXED-USE BUILDING DEVELOPMENT (BLDG.#3) PHASE 1**  
1697 HIGHWAY#2  
COURTICE, ON

R.H. Gay Holdings Co.

**DRAWING:**  
**TYPICAL DETAILS**



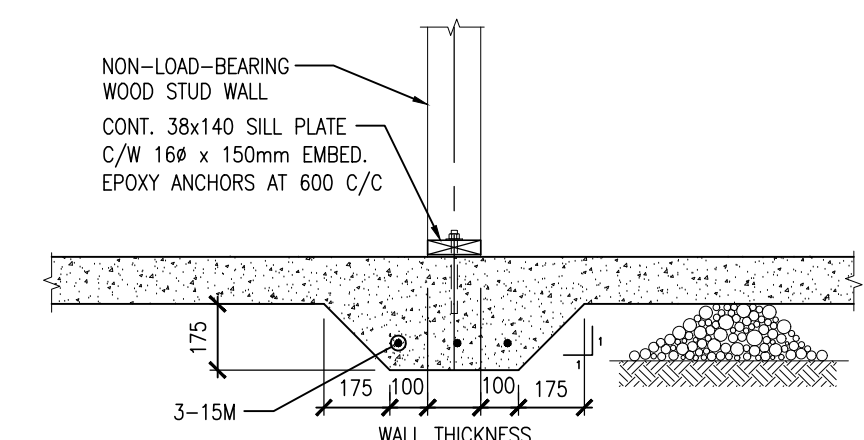
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Tel: (905) 666-5252  
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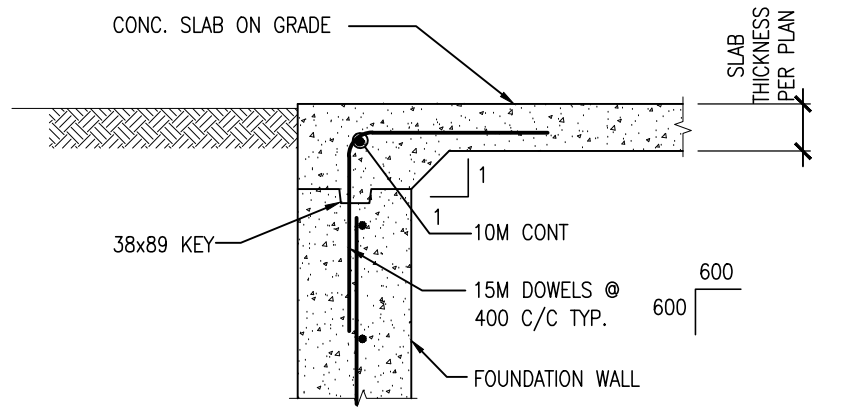
**D.P. McLAUGHLIN**  
100181883  
PROVINCE OF ONTARIO

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DATE: FEB. 2024	SCALE:
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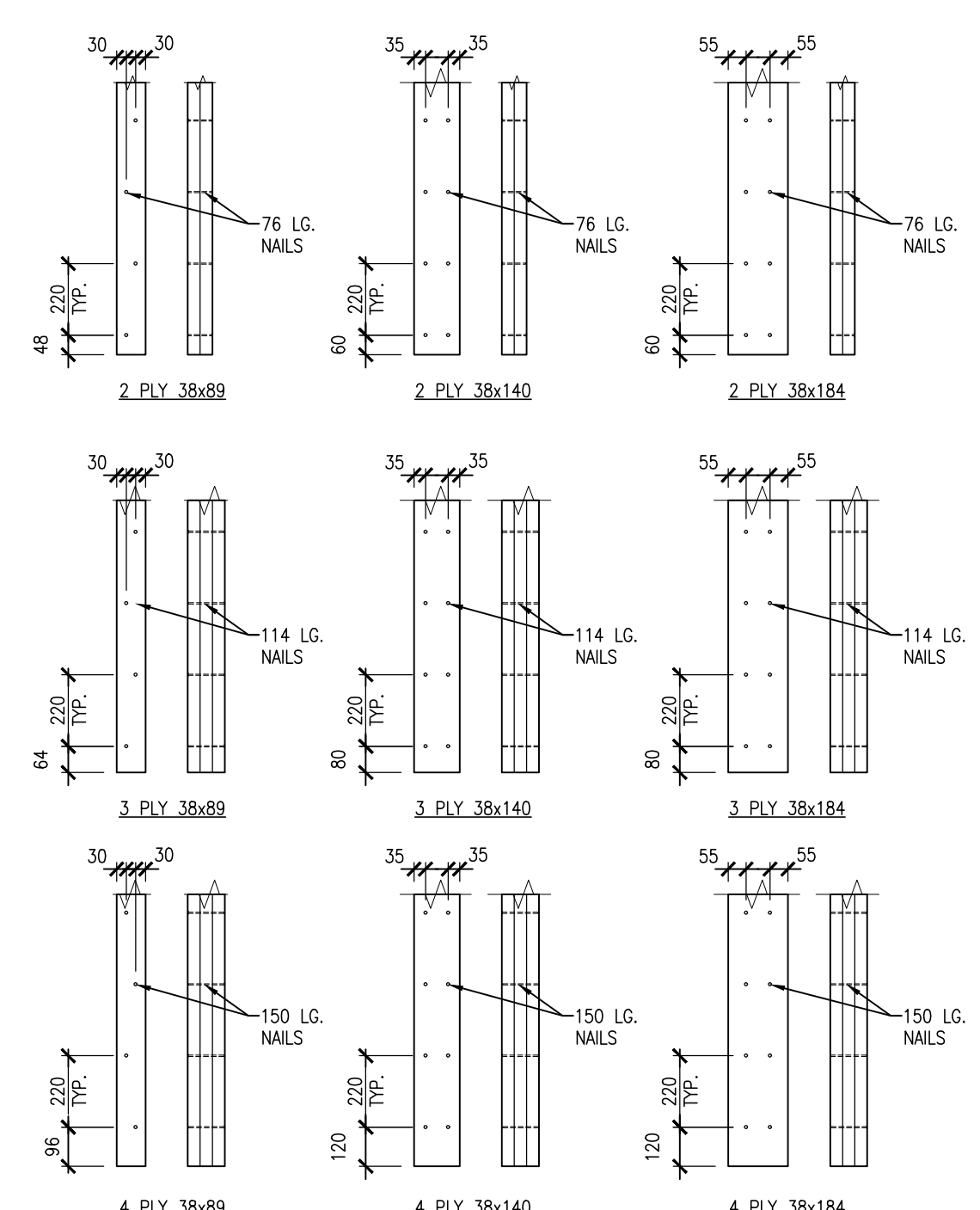
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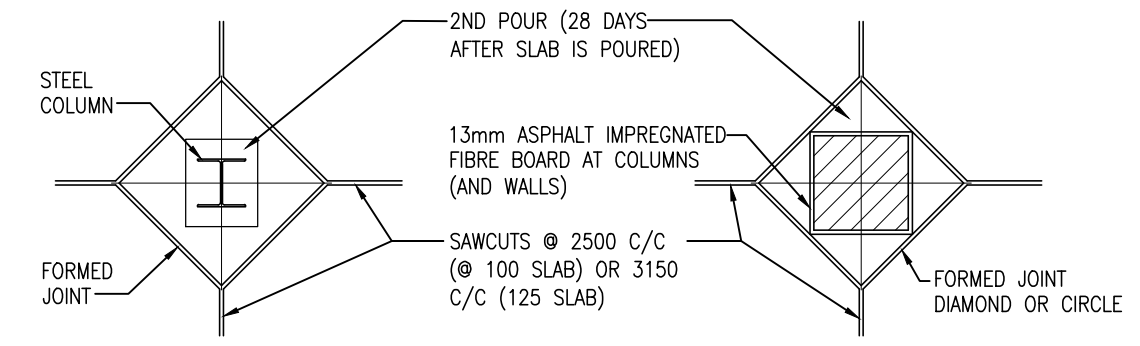
**5 S102**  
SLAB THICKENING  
1:20



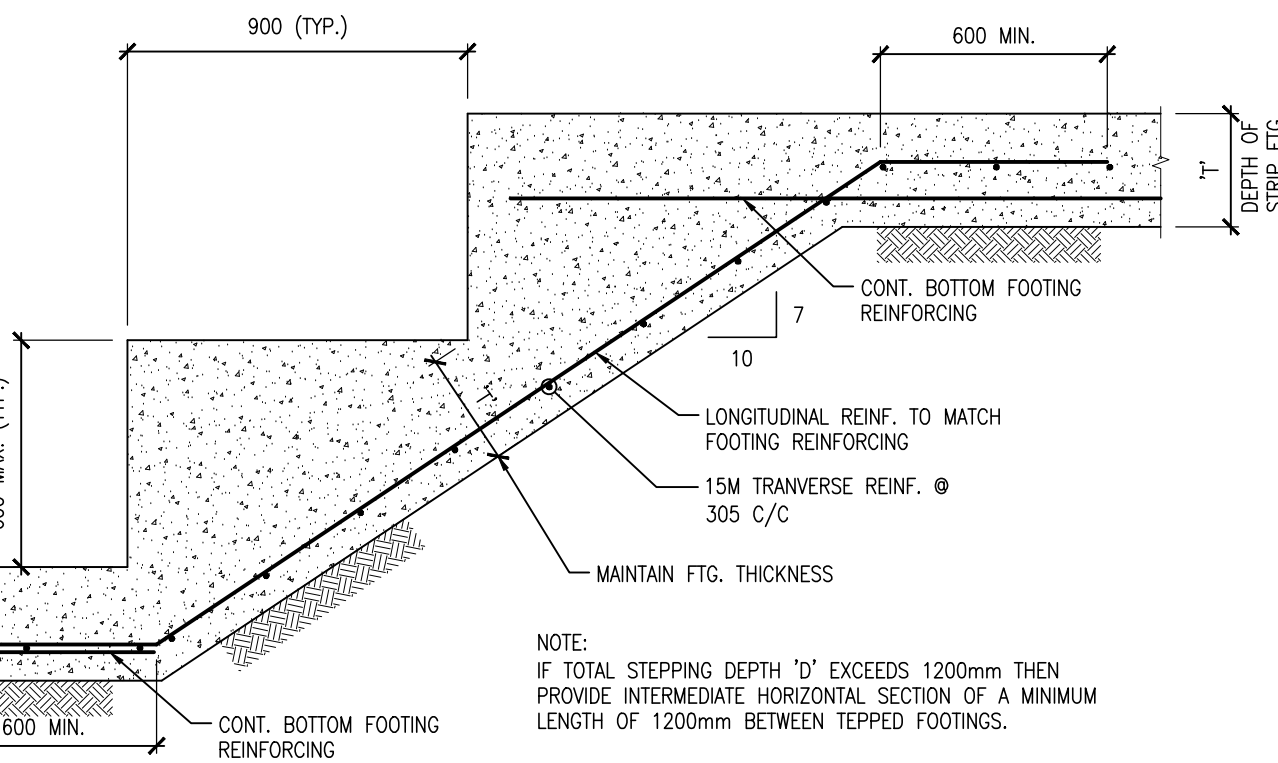
**4 S102**  
FOUNDATION WALL AT DOOR OPENING  
1:20



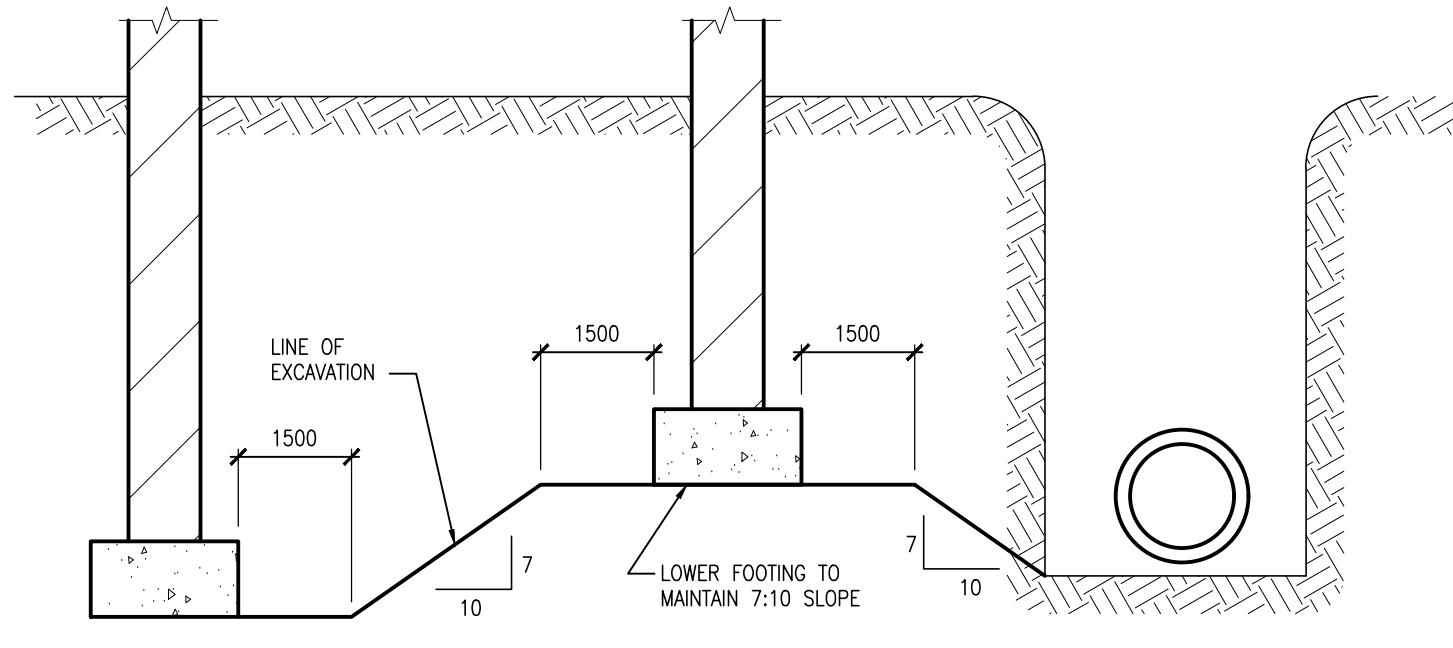
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TYPICAL BUILT-UP WOOD NAILING PATTERN  
1:20



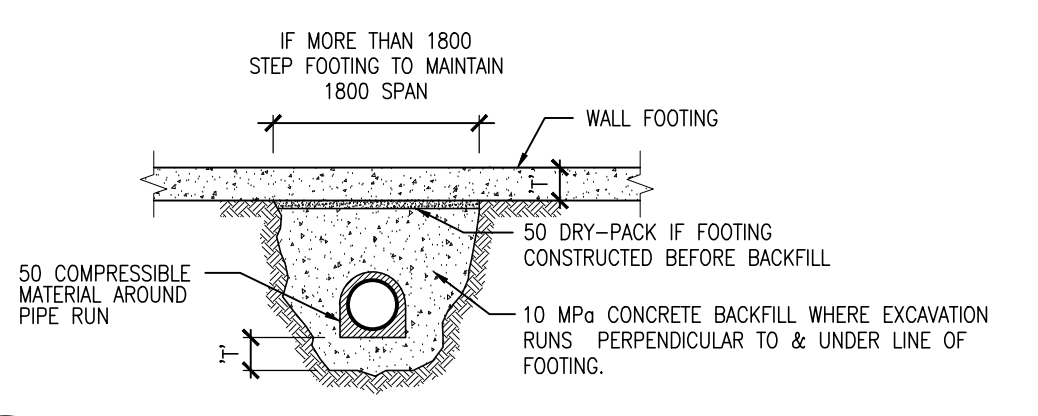
**2 S102**  
TYP. SLAB SAWCUTS @ COLUMNS  
NTS



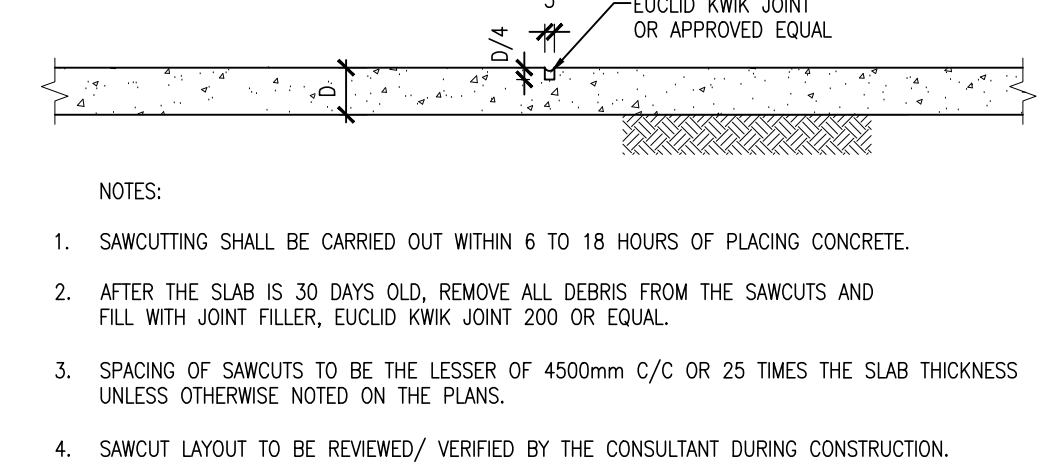
**1 S102**  
TYP. STEP DOWN FOOTING DETAIL  
1:20



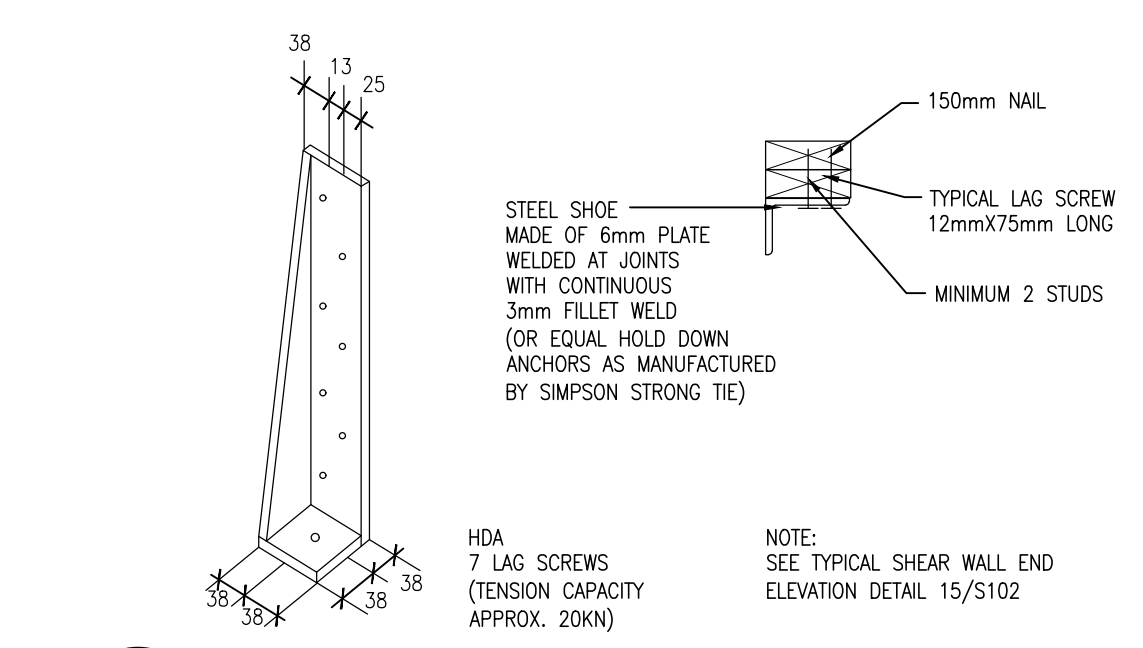
**11 S102**  
TYP. SLOPE BETWEEN ADJACENT EXCAVATIONS  
N.T.S.



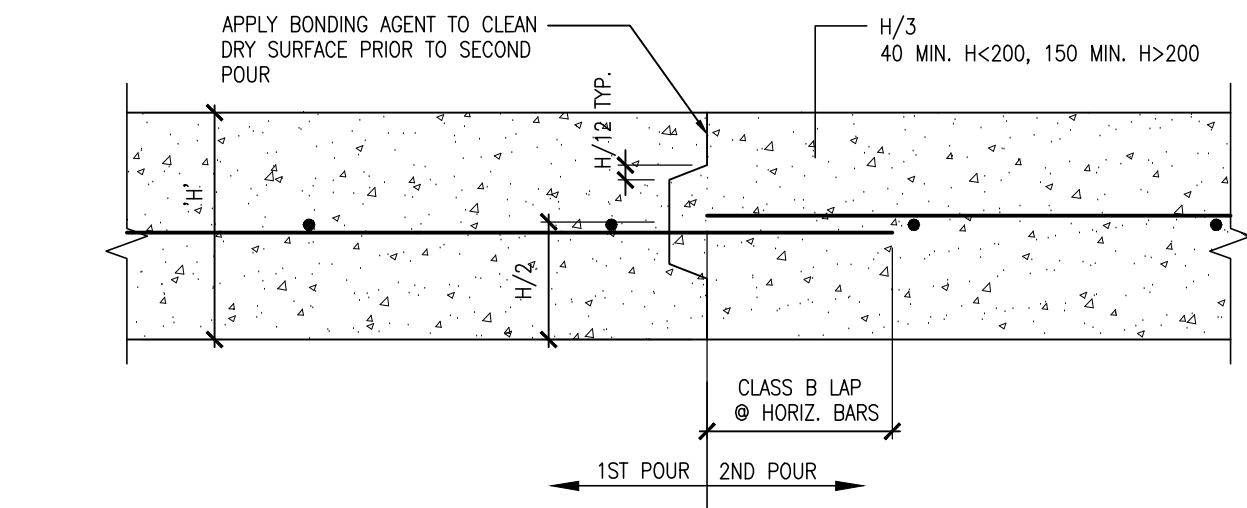
**10 S102**  
BACKFILL UNDER CONT. WALL FOOTING  
N.T.S.



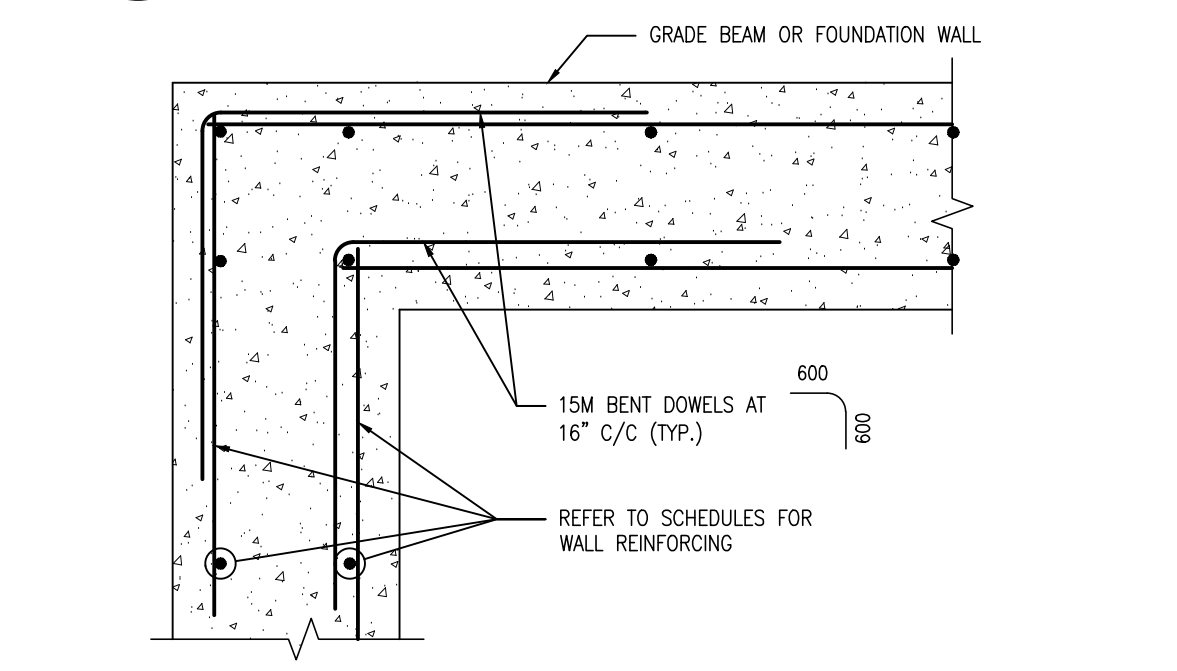
**9 S102**  
TYPICAL SLAB SAWCUTS  
N.T.S.



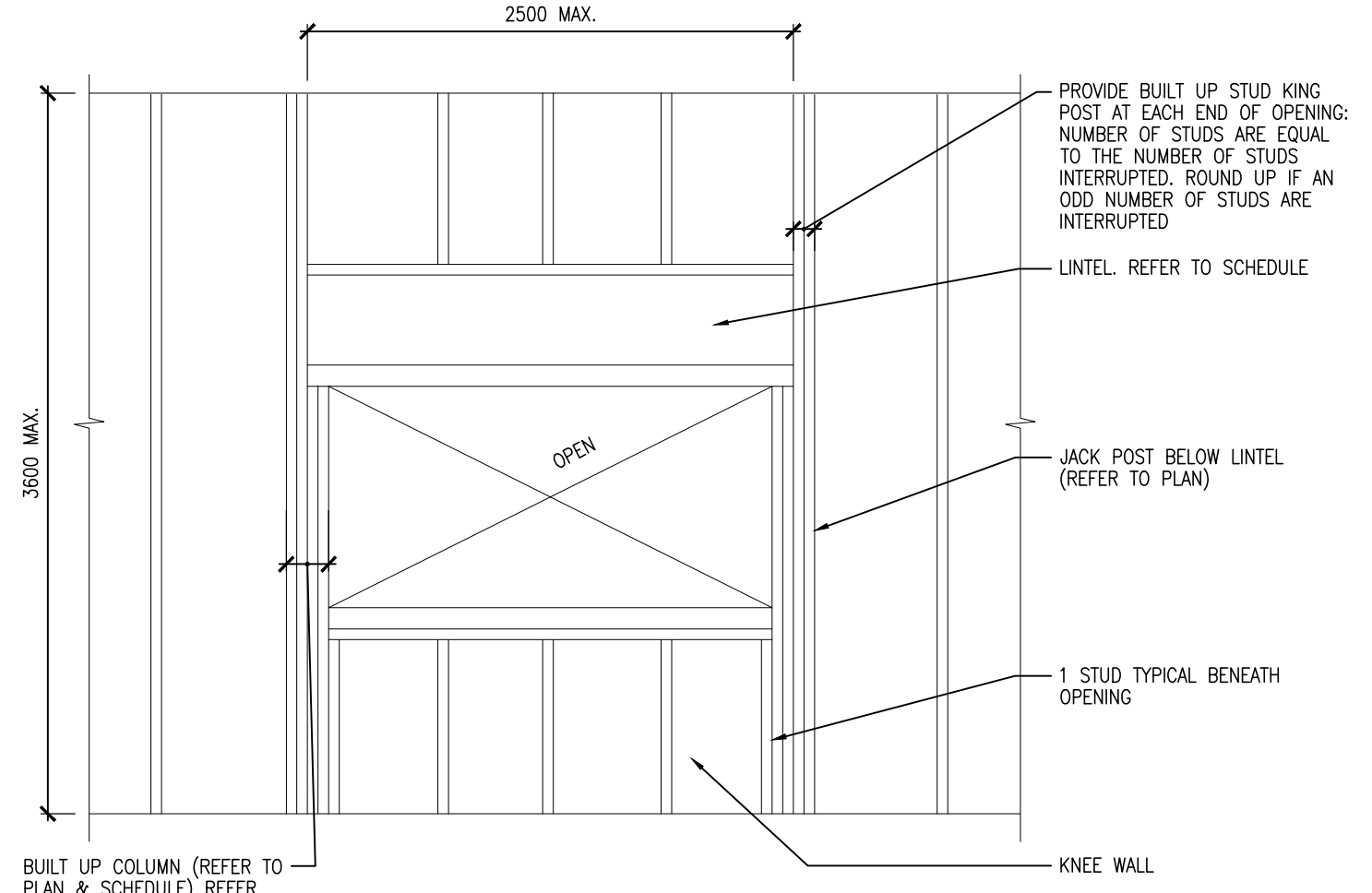
**8 S102**  
HOLD DOWN ANCHOR (HDA)  
1:10



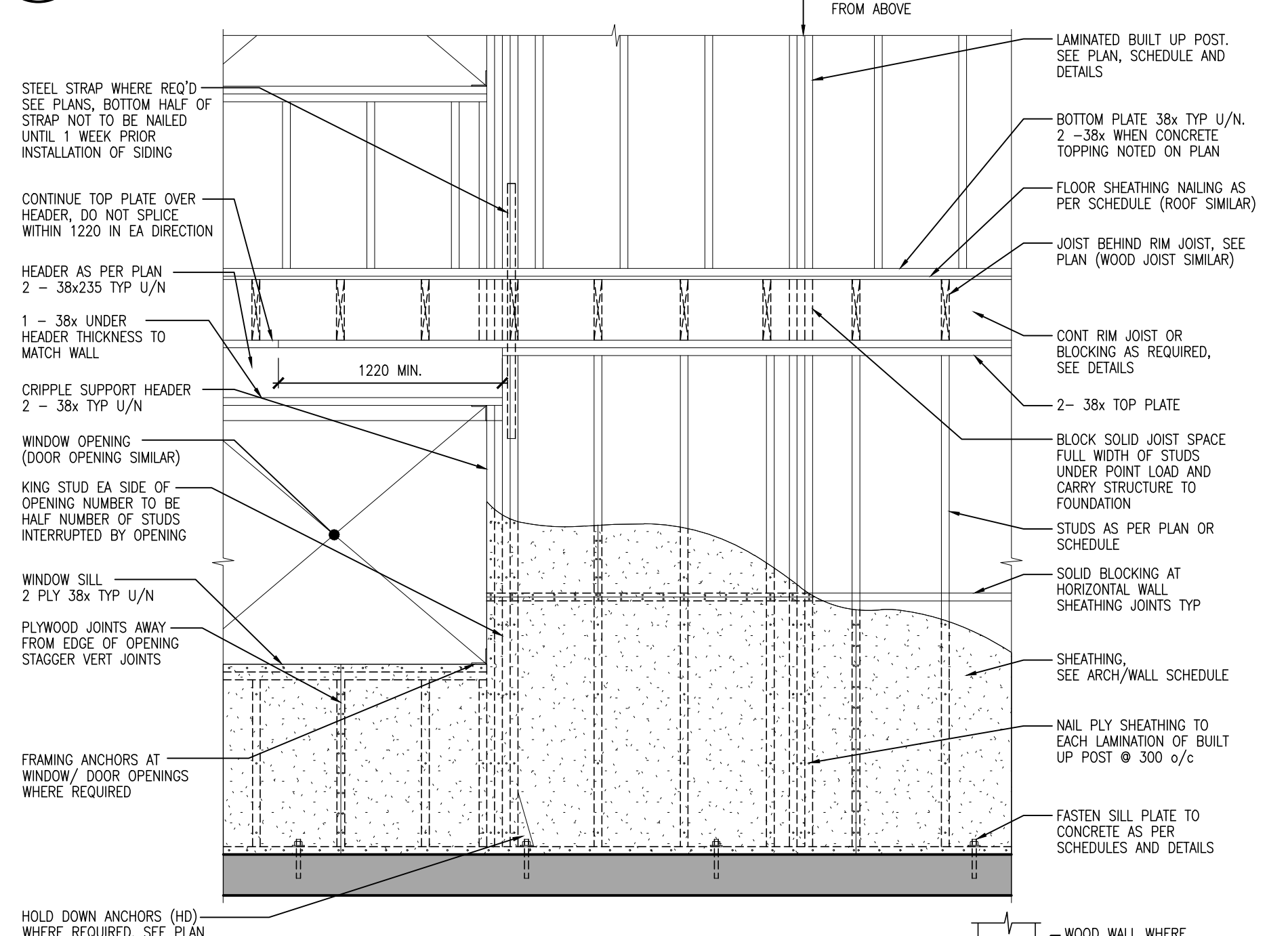
**7 S102**  
TYP. VERT. CONSTRUCTION JOINT DETAIL  
NTS



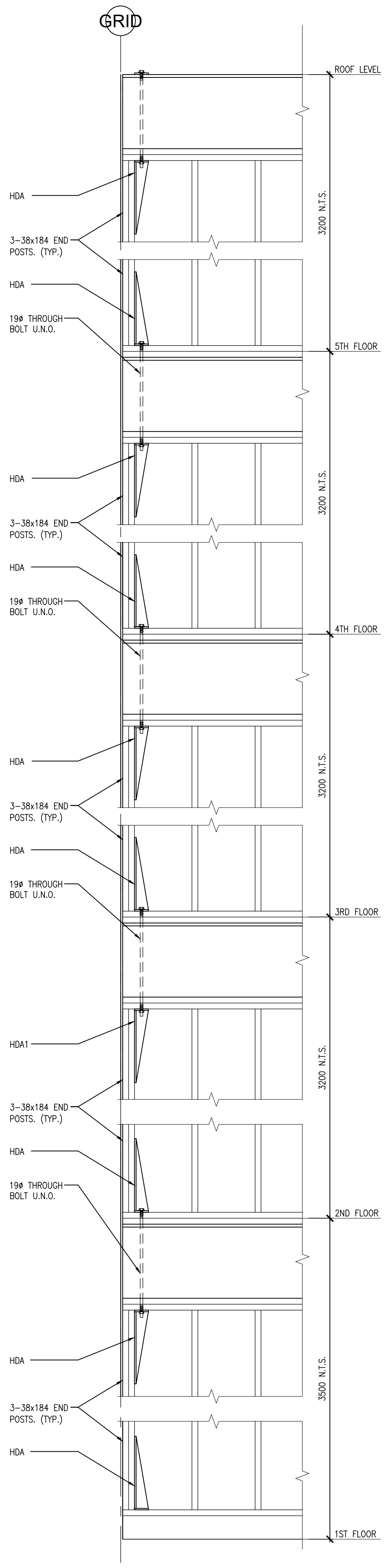
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TYP. WALL REINF. AT WALL CORNERS  
1:10



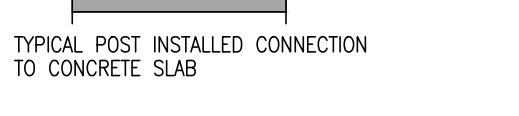
**13 S102**  
OPENING IN TIMBER STUD WALLS  
NTS



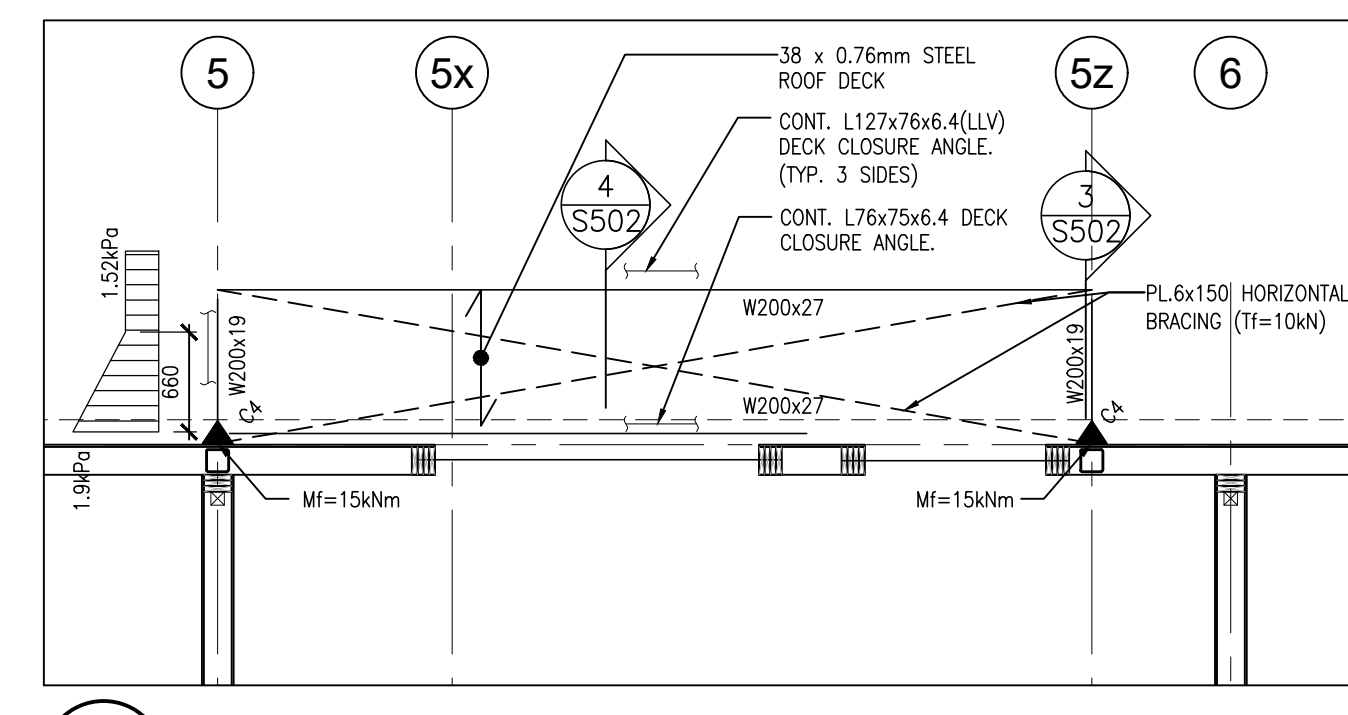
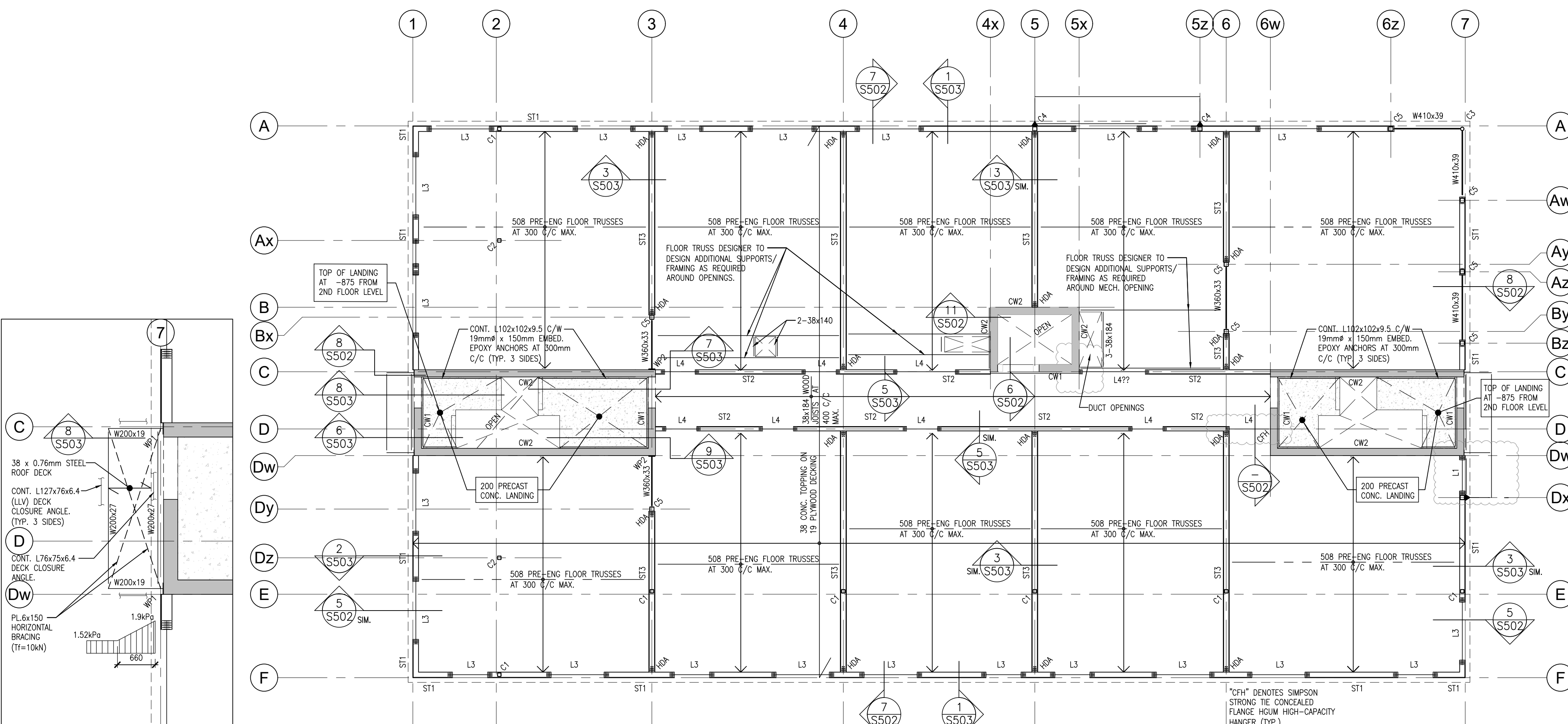
**12 S102**  
TIMBER LOAD BEARING WALL FRAMING  
NTS



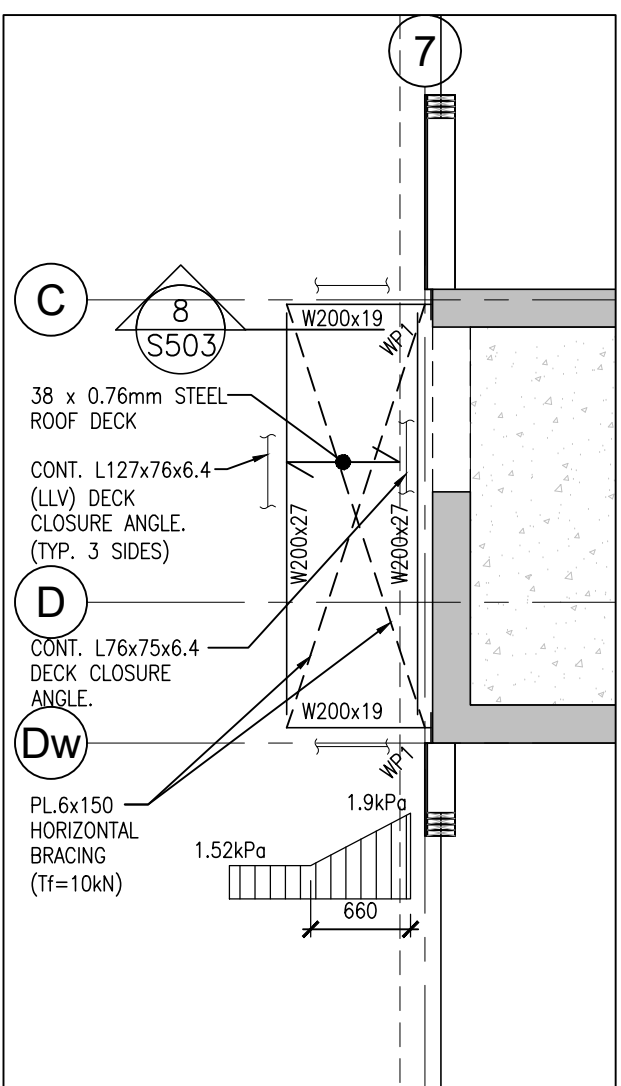
**15 S102**  
TYP. SHEAR WALL ELEVATION AT ANCHORS  
N.T.S.



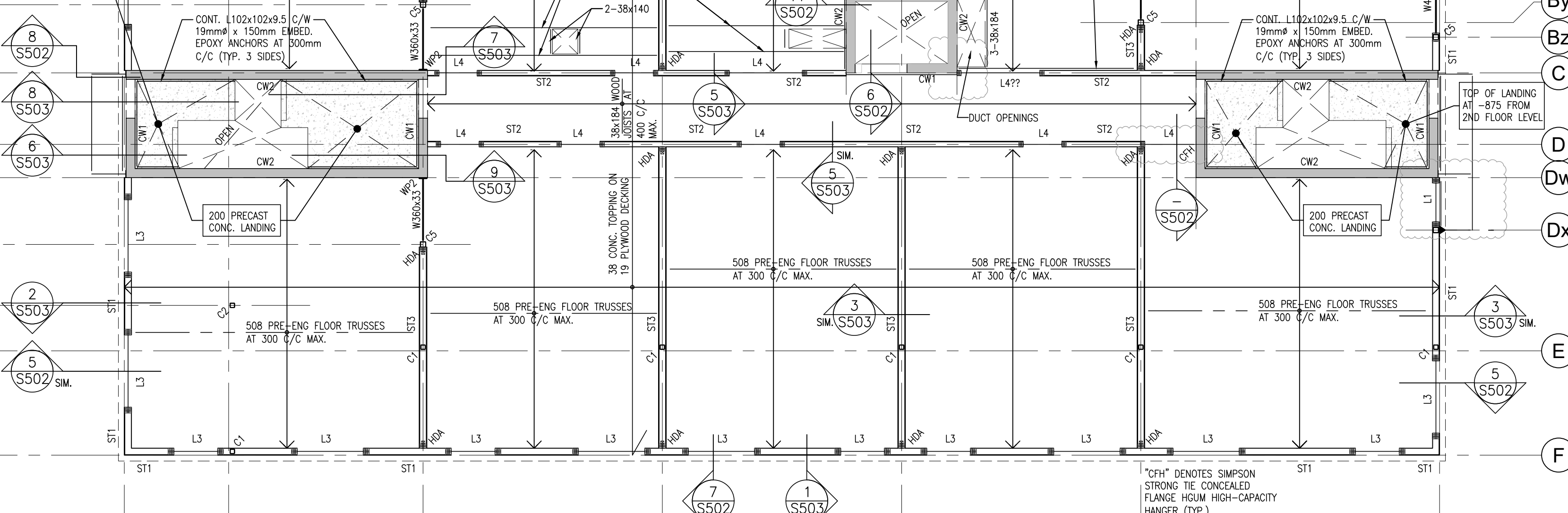




**4 CANOPY FRAMING PLAN**  
S201 1:50



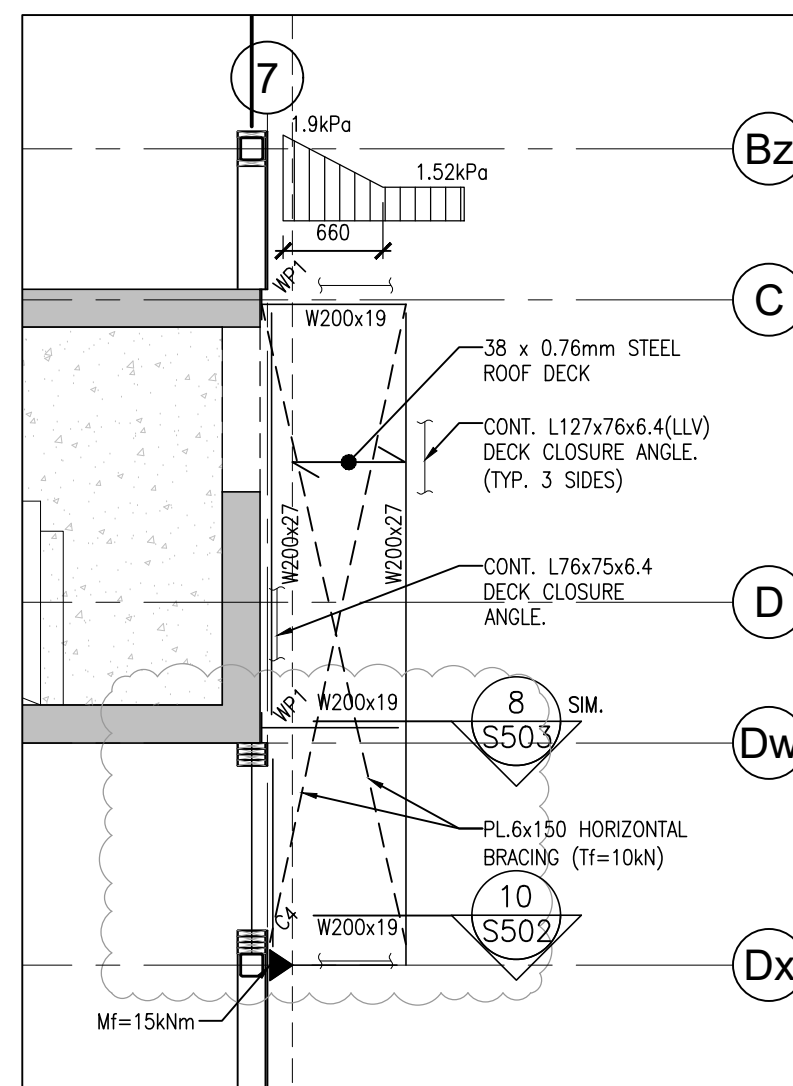
**5 CANOPY FRAMING PLAN**  
S201 1:50



**2 SECOND FLOOR FRAMING PLAN**  
S201 1:100

**SECOND FLOOR FRAMING NOTES:**

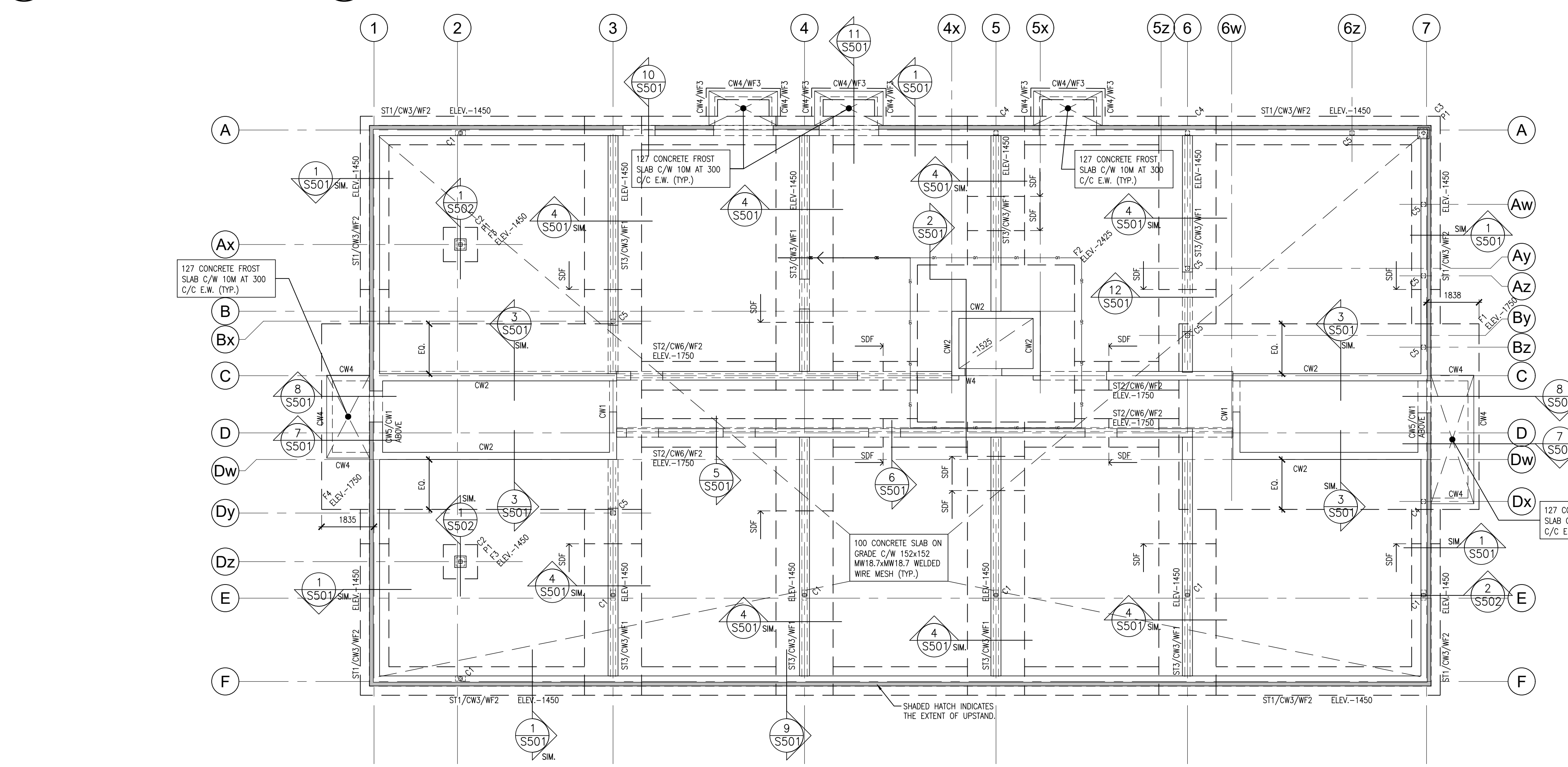
- DESIGN LOADS:  
DEAD LOADS: 0.80 kPa  
CONCRETE TYPING: 0.63 kPa  
TIMBER FRAMING & DECK: 0.83 kPa  
PARTITIONS: 0.50 kPa  
DRYWALL CEILING: 0.25 kPa  
MAE ALLOWANCE: 0.38 kPa  
TOTAL DEAD LOAD: 3.25 kPa  
CORRIDOR LIVE LOAD: 4.80 kPa  
RESIDENTIAL LIVE LOAD: 1.90 kPa
- ALL BUILT-UP BEAMS SHALL HAVE BUILT-UP POST OF EQUIVALENT SIZE SUPPORTING EACH END.
- ALL JOISTS SHALL BE COMPLETE WITH SIMPSON FLUSH MOUNT JOIST HANGER.
- ALL TRUSS CONNECTIONS SHALL BE BY THE TRUSS SUPPLIER AND THEIR ENGINEER.
- ALL STEEL BEAMS SHALL BE LOCKED AND THROUGH BOLTED WITH 194 CARBIDE BOLTS AT 610mm C/C.
- PROVIDE CROSS BRACING AT EVERY 3 SPAN LOCATION MINIMUM, OR AS OTHERWISE REQUIRED BY THE PRE-ENGINEERED TRUSS DESIGN.
- STRUCTURAL WOOD BEAMS PROJECTING BEYOND THE BUILDING ENVELOPE SHALL BE PRESSURE TREATED MEMBERS.
- ALL STEEL BEAMS SHALL BE SUPPORTED ON STEEL JOISTS (102x106x4 LVL's) CONTINUOUS TO TOP OF PIER/FOUNDATION WALL OR FOOTING.
- ALL NEW STRUCTURAL STEEL FLOOR SUPPORT BEAMS SHALL BE COMPLETE WITH A 38mm THICK HANGER TO ACCOMMODATE FLUSH MOUNT HANGERS.
- ALL SECOND FLOOR JOISTS & TRUSSES SHALL BEAR ON CONTINUOUS DOUBLE TOP PLATE TO MATCH STUD SIZE.
- HOLD DOWN ANCHORS SHALL BE CONTINUOUS AT ALL FLOOR LEVELS FROM ROOF TO GROUND/FOUNDATION WHERE SPECIFIED. SEE ALSO TYPICAL DETAILS.



**3 CANOPY FRAMING PLAN**  
S201 1:50

**FOUNDATION PLAN NOTES:**

- FINISHED GROUND FLOOR IS AT ELEVATION 0.00 EXCEPT AS CROSSED AND NOTED. ELEVATIONS FOR AREAS CROSSED AND NOTED ARE TO BE READ FROM THE FINISHED FLOOR ELEVATION 0.00 UNLESS OTHERWISE NOTED.
- ALL FOOTINGS SHALL BEAR ON IMPROVED SOIL AS APPROVED BY THE GEOTECHNICAL CONSULTANT. DESIGN SOIL BEARING CAPACITY IS 100kPa (SLS).
- ALL EXTERIOR FOOTINGS SHALL BE FOUNDED AT MINIMUM DEPTH ELEV. -1300 FROM FINISHED GRADE. TYPICAL ALL FOOTINGS UNLESS OTHERWISE NOTED DEEPER ON PLAN.
- ALL FOOTINGS SHALL BE CENTERED UNDER PIERS, WALLS AND OR COLUMNS UNLESS OTHERWISE SPECIFICALLY NOTED ON PLANS.
- VERIFY ANY EXISTING FOOTING ELEVATIONS AND SITE SERVICES PRIOR TO PROCEEDING WITH WORK. NOTIFY CONSULTANTS OF ANY DISCREPANCIES. REFER TO MECHANICAL AND ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- LOWER FOOTINGS TO ACCOMMODATE NEW AND/OR EXISTING FOOTINGS, MECHANICAL, ELECTRICAL OR CIVIL SERVICES. SEE MECHANICAL, ELECTRICAL AND CIVIL DRAWINGS FOR ELEVATIONS OF SAME. FOOTINGS ARE NOT TO BE UNDERMINED BY EXCAVATION FOR SERVICES, PITS, ETC.
- PROTECT ALL EXISTING SUB-GRADE SERVICES DURING INSTALLATION OF FOUNDATIONS.
- REFER TO GENERAL NOTES AND TYPICAL DETAILS FOR ADDITIONAL INFORMATION.
- PROVIDE DOMES IN THE FOOTINGS TO MATCH ALL VERTICAL WALL REINFORCEMENT.
- PLACE ALL CONCRETE SLAB ON GRADE ON 200mm COMPACTED GRANULAR "A" COMPACTED TO 100% S.P.M.D. AND COMPACTED GRANULAR "B" IN 200mm LIFTS.
- S/SF DENOTES STEP DOWN FOOTING. REFER TO TYPICAL DETAILS.
- S/SF DENOTES STEP DOWN FOOTING. REFER TO TYPICAL DETAILS.
- REFER TO PROJECT GEOTECHNICAL REPORT FOR ALL OTHER REQUIREMENTS.



**1 FOUNDATION PLAN**  
S201 1:100

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NO.	ISSUES	DATE	BY
1	ISSUED FOR PERMIT	APRIL 30, 2024	BBA

NO.	REVISIONS	DATE	BY

NO.	REVISIONS	DATE	BY

**PROJECT:**  
**MIXED-USE BUILDING DEVELOPMENT (BLDG.#3) PHASE 1**  
1697 HIGHWAY#2  
COURTICE, ON

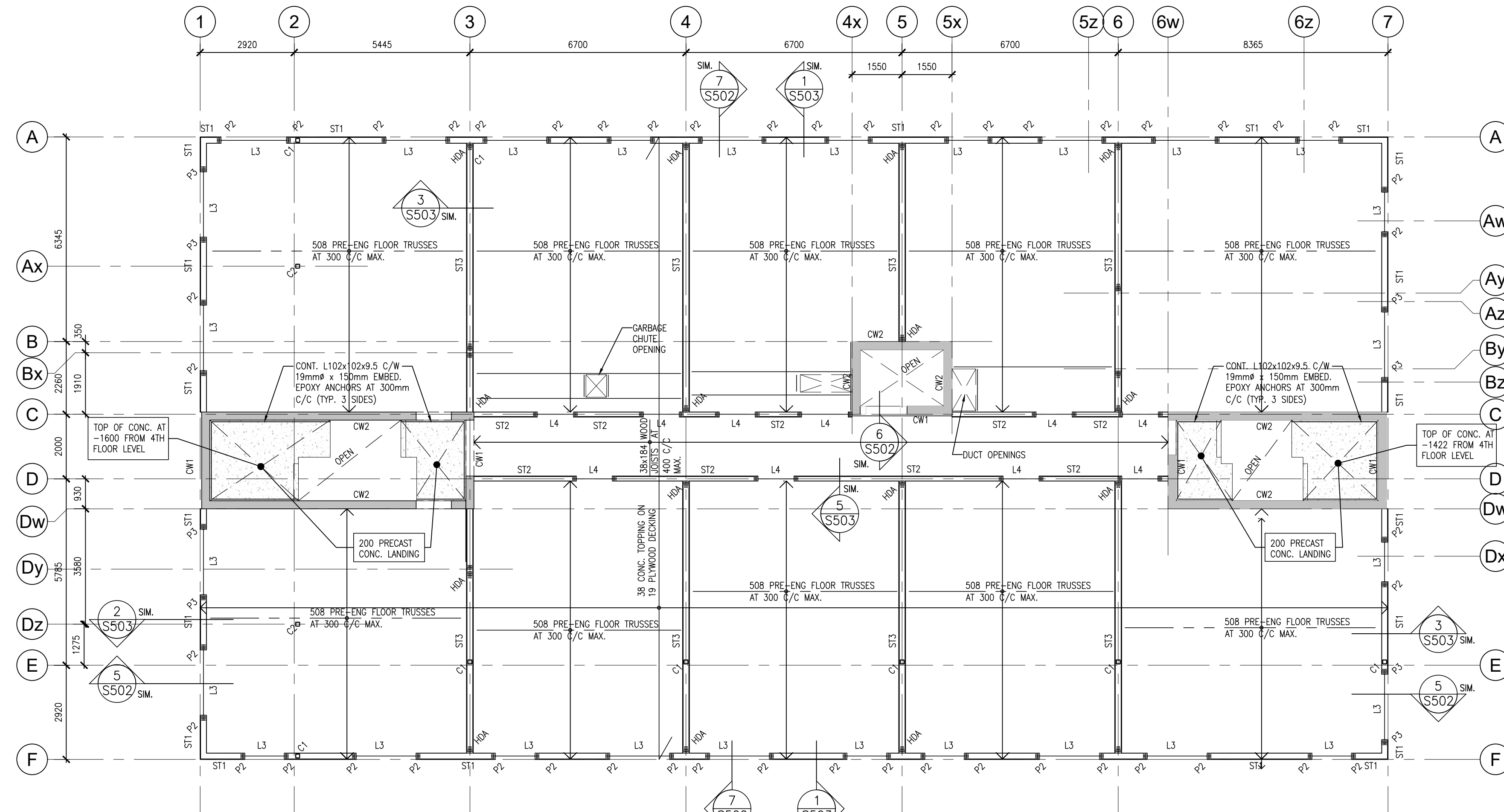
R.H. Gay Holdings Co.

**DRAWING:**  
**FOUNDATION & SECOND FLOOR FRAMING PLANS**



**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers  
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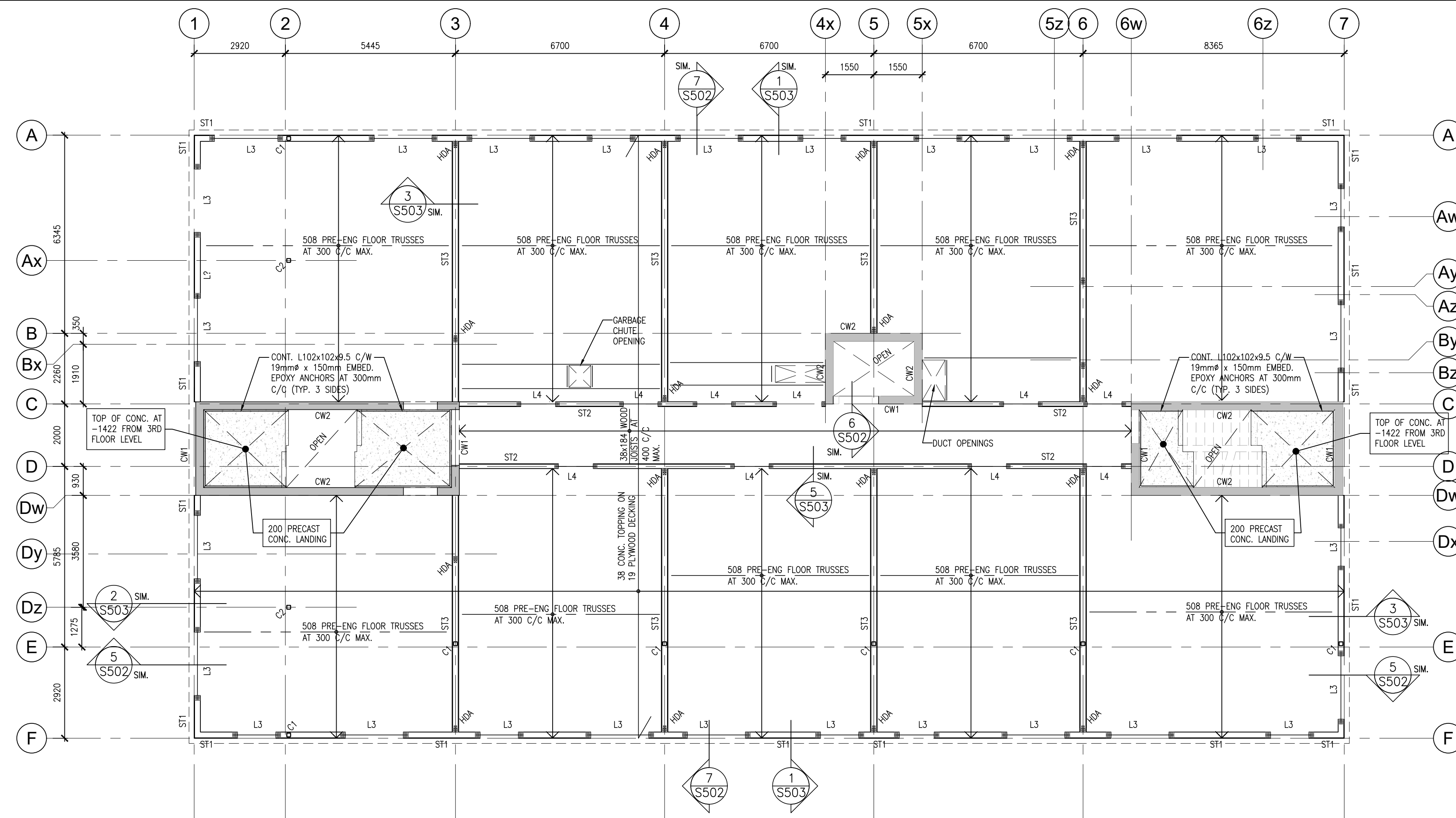
PROJECT NO. **21046**  
DRAWING NO. **S201**



**FOURTH FLOOR FRAMING NOTES:**

- DESIGN LOADS  
 DEAD LOADS:  
 CONCRETE TOPPING 0.90 kPa  
 TIMBER FRAMING & DECK 0.63 kPa  
 PARTITIONING 1.00 kPa  
 DRYWALL CEILING 0.25 kPa  
 MEAS. ALLOWANCE 0.36 kPa  
 TOTAL DEAD LOAD 3.25 kPa  
 CORRIDOR LIVE LOAD 4.80 kPa  
 RESIDENTIAL LIVE LOAD 1.90 kPa
- ALL BUILT-UP BEAMS SHALL HAVE BUILT-UP POST OF EQUIVALENT SIZE SUPPORTING EACH END.
- ALL JOISTS SHALL BE COMPLETE WITH SIMPSON FLUSH MOUNT JOIST HANGER.
- ALL TRUSS CONNECTIONS SHALL BE BY THE TRUSS SUPPLIER AND THEIR ENGINEER.
- ALL STEEL BEAMS SHALL BE LOCKED AND THROUGH BOLTED WITH 19# CARBIDE BOLTS AT 610mm C/C.
- PROVIDE CROSS BRACING AT EVERY 3 SPAN LOCATION MINIMUM, OR AS OTHERWISE REQUIRED BY THE PRE-ENGINEERED TRUSS DESIGN.
- STRUCTURAL WOOD BEAMS PROJECTING BEYOND THE BUILDING ENVELOPE SHALL BE PRESSURE TREATED MEMBERS.
- ALL STEEL BEAMS SHALL BE SUPPORTED ON STEEL POSTS (HSS 102x102x4 U.A.G.) CONTINUOUS TO TOP OF PERI/ FOUNDATION WALL OR FOOTING.
- ALL NEW STRUCTURAL STEEL FLOOR SUPPORT BEAMS SHALL BE COMPLETE WITH A 38mm THICK WALKER TO ACCOMMODATE FLUSH MOUNT HANGERS.
- ALL FOURTH FLOOR JOISTS & TRUSSES SHALL BEAR ON CONTINUOUS DOUBLE TOP PLATE TO MATCH STUD SIZE.
- HOLD DOWN ANCHORS SHALL BE CONTINUOUS AT ALL FLOOR LEVELS FROM ROOF TO GROUND/BASEMENT WHERE SPECIFIED. SEE ALSO TYPICAL DETAILS.

**2** FOURTH FLOOR FRAMING PLAN  
S202 1:100



**THIRD FLOOR FRAMING NOTES:**

- DESIGN LOADS  
 DEAD LOADS:  
 CONCRETE TOPPING 0.90 kPa  
 TIMBER FRAMING & DECK 0.63 kPa  
 PARTITIONING 1.00 kPa  
 DRYWALL CEILING 0.25 kPa  
 MEAS. ALLOWANCE 0.36 kPa  
 TOTAL DEAD LOAD 3.25 kPa  
 CORRIDOR LIVE LOAD 4.80 kPa  
 RESIDENTIAL LIVE LOAD 1.90 kPa
- ALL BUILT-UP BEAMS SHALL HAVE BUILT-UP POST OF EQUIVALENT SIZE SUPPORTING EACH END.
- ALL JOISTS SHALL BE COMPLETE WITH SIMPSON FLUSH MOUNT JOIST HANGER.
- ALL TRUSS CONNECTIONS SHALL BE BY THE TRUSS SUPPLIER AND THEIR ENGINEER.
- ALL STEEL BEAMS SHALL BE LOCKED AND THROUGH BOLTED WITH 19# CARBIDE BOLTS AT 610mm C/C.
- PROVIDE CROSS BRACING AT EVERY 3 SPAN LOCATION MINIMUM, OR AS OTHERWISE REQUIRED BY THE PRE-ENGINEERED TRUSS DESIGN.
- STRUCTURAL WOOD BEAMS PROJECTING BEYOND THE BUILDING ENVELOPE SHALL BE PRESSURE TREATED MEMBERS.
- ALL STEEL BEAMS SHALL BE SUPPORTED ON STEEL POSTS (HSS 102x102x4 U.A.G.) CONTINUOUS TO TOP OF PERI/ FOUNDATION WALL OR FOOTING.
- ALL NEW STRUCTURAL STEEL FLOOR SUPPORT BEAMS SHALL BE COMPLETE WITH A 38mm THICK WALKER TO ACCOMMODATE FLUSH MOUNT HANGERS.
- ALL THIRD FLOOR JOISTS & TRUSSES SHALL BEAR ON CONTINUOUS DOUBLE TOP PLATE TO MATCH STUD SIZE.
- HOLD DOWN ANCHORS SHALL BE CONTINUOUS AT ALL FLOOR LEVELS FROM ROOF TO GROUND/BASEMENT WHERE SPECIFIED. SEE ALSO TYPICAL DETAILS.

**1** THIRD FLOOR FRAMING PLAN  
S202 1:100

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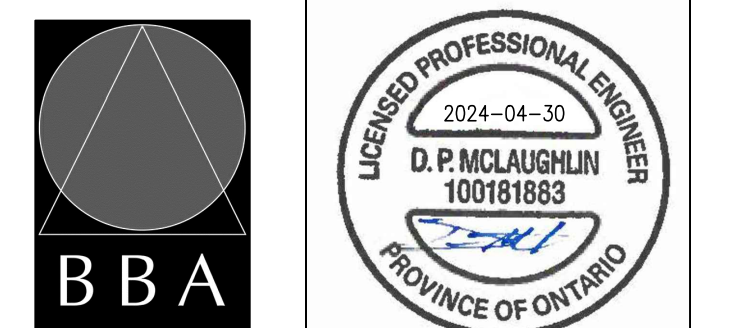
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PROJECT:  
**MIXED-USE BUILDING DEVELOPMENT (BLDG.#3) PHASE 1**  
 1697 HIGHWAY#2 COURTICE, ON

R.H. Gay Holdings Co.

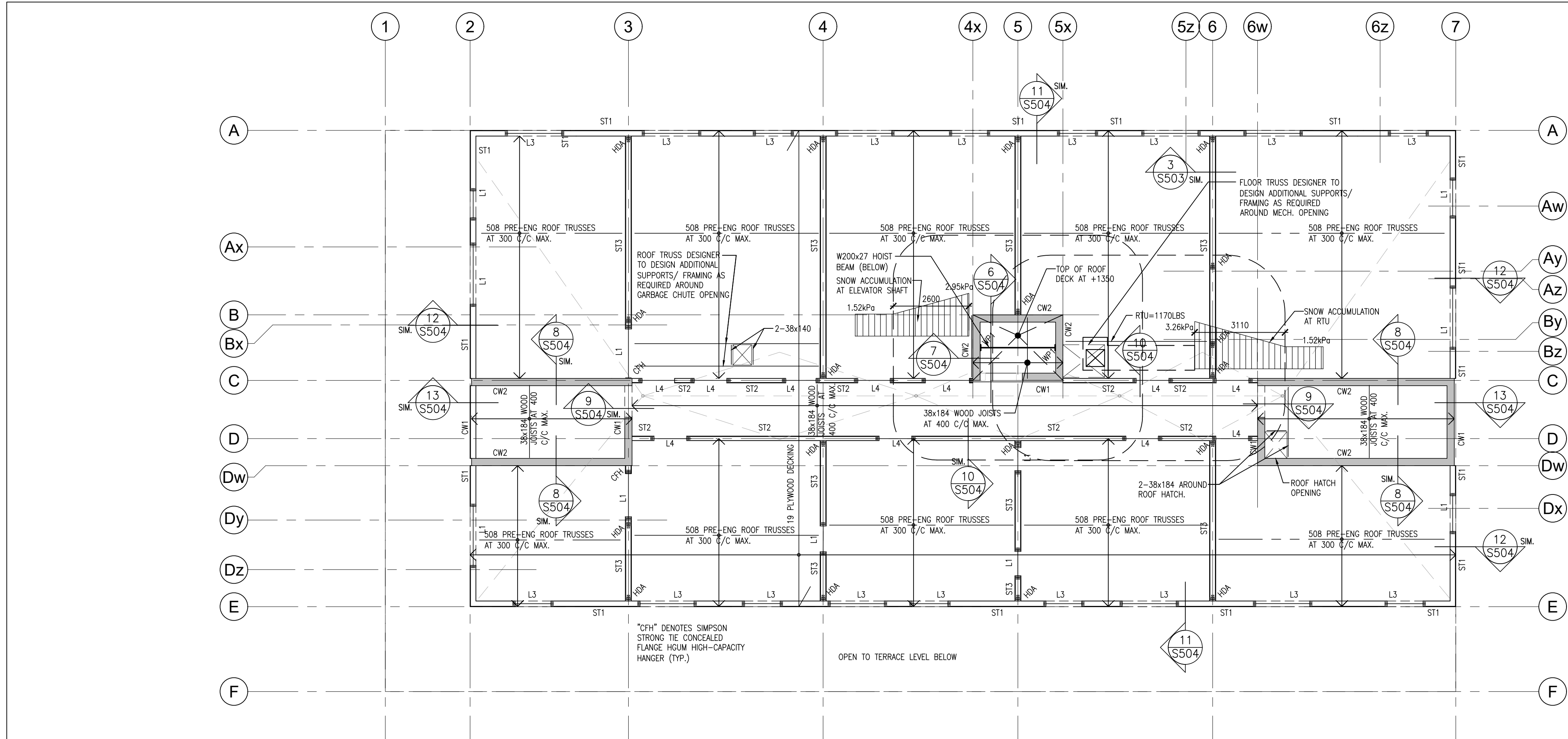
DRAWING:  
**THIRD & FOURTH FLOOR FRAMING PLANS**



**BARRY BRYAN ASSOCIATES**  
 Architects  
 Engineers  
 Project Managers  
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 e-mail: bba@bba-archeng.com

DESIGN BY: MF	DOC. CONTROL: DATE:
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CHECKED BY: BK	INITIAL:
DATE: FEB. 2024	SCALE:
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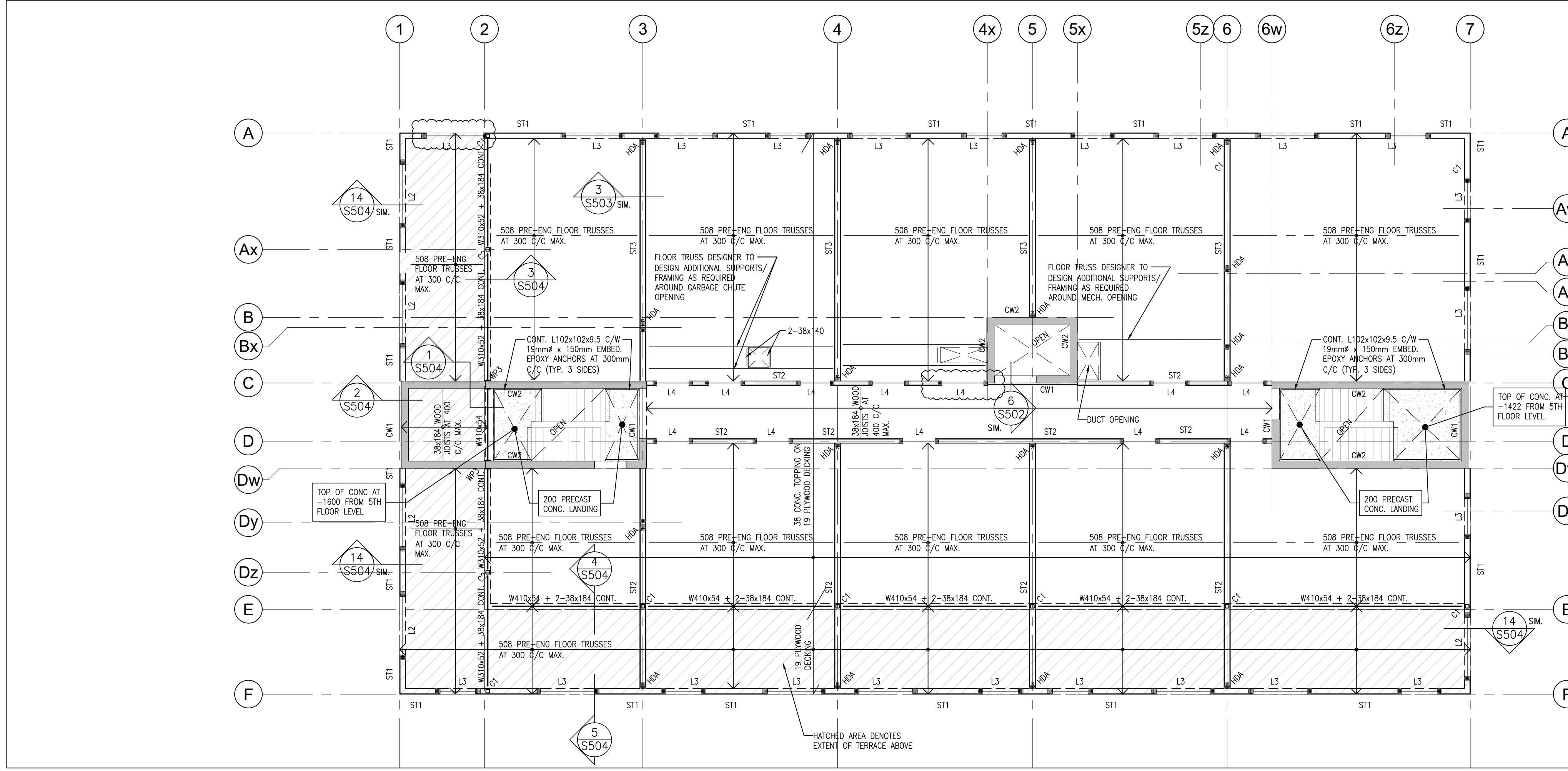
PROJECT NO: **21046**  
 DRAWING NO: **S202**



**ROOF FRAMING NOTES:**

- DESIGN LOADS  
 DEAD LOADS:  
 FLOORING: 0.30 kPa  
 19mm PLYWOOD DECKING: 0.15 kPa  
 TRUSS FRAMING: 0.30 kPa  
 OPTIMAL CEILING: 0.25 kPa  
 MAKE ALLOWANCE: 0.25 kPa  
 PARTITIONS: 0.50 kPa  
 TOTAL DEAD LOAD: 1.75 kPa  
 SNOW LOAD: 1.52 kPa + ACCUMULATION ON PLAN
- PROVIDE MULTI-PLY POSTS EACH END OF LINTELS AS INDICATED IN SCHEDULE UNLESS NOTED OTHERWISE.
- ALL JOISTS SHALL BE COMPLETE WITH SIMPSON FLUSH MOUNT JOIST HANGER.
- ALL STEEL BEAMS SHALL BE LOCKED AND THROUGH BOLTED WITH 19# CARBIDE BOLTS AT 610mm C/C.
- PROVIDE CROSS BRACING AT EVERY 3 SPAN LOCATION MINIMUM OR AS REQUIRED BY TRUSS DESIGNER.
- STRUCTURAL WOOD BEAMS PROJECTING BEYOND THE BUILDING ENVELOPE SHALL BE PRESSURE TREATED MEMBERS.
- ALL NEW STRUCTURAL STEEL FLOOR SUPPORT BEAMS SHALL BE COMPLETE WITH A 38mm THICK WALKER TO ACCOMMODATE FLUSH MOUNT HANGERS.
- HOLD DOWN ANCHORS SHALL BE CONTINUOUS AT ALL FLOOR LEVELS FROM ROOF TO GROUND/BASEMENT WHERE SPECIFIED. SEE ALSO TYPICAL DETAILS.

**2** ROOF FRAMING PLAN  
 S203 1:100



**FIFTH FLOOR/TERRACE FRAMING NOTES:**

- DESIGN LOADS  
 DEAD LOADS:  
 CONCRETE TOPPING: 0.80 kPa  
 TRUSS FRAMING & DECK: 0.85 kPa  
 PARTITIONS: 1.00 kPa  
 OPTIMAL CEILING: 0.25 kPa  
 MAKE ALLOWANCE: 0.36 kPa  
 TOTAL DEAD LOAD: 3.25 kPa  
 CORRIDOR LINE LOAD: 4.80 kPa  
 RESIDENTIAL LINE LOAD: 1.90 kPa  
 TERRACE LINE LOAD: 4.80 kPa
- ALL BUILT-UP BEAMS SHALL HAVE BUILT-UP POST OF EQUIVALENT SIZE SUPPORTING EACH END.
- ALL JOISTS SHALL BE COMPLETE WITH SIMPSON FLUSH MOUNT JOIST HANGER.
- ALL TRUSS CONNECTIONS SHALL BE BY THE TRUSS SUPPLIER AND THEIR ENGINEER.
- ALL STEEL BEAMS SHALL BE LOCKED AND THROUGH BOLTED WITH 19# CARBIDE BOLTS AT 610mm C/C.
- PROVIDE CROSS BRACING AT EVERY 3 SPAN LOCATION MINIMUM OR AS OTHERWISE REQUIRED BY THE PRE-ENGINEERED TRUSS DESIGN.
- STRUCTURAL WOOD BEAMS PROJECTING BEYOND THE BUILDING ENVELOPE SHALL BE PRESSURE TREATED MEMBERS.
- ALL STEEL BEAMS SHALL BE SUPPORTED ON STEEL POSTS (HSS 100X100X4 MIN) CONTINUOUS TO TOP OF FRESH FOUNDATION WALL OR FOOTING.
- ALL NEW STRUCTURAL STEEL FLOOR SUPPORT BEAMS SHALL BE COMPLETE WITH A 38mm THICK WALKER TO ACCOMMODATE FLUSH MOUNT HANGERS.
- ALL FIFTH FLOOR & TERRACE JOISTS & TRUSSES SHALL BEAR ON CONTINUOUS DOUBLE TOP PLATE TO MATCH STUD SIZE.
- HOLD DOWN ANCHORS SHALL BE CONTINUOUS AT ALL FLOOR LEVELS FROM ROOF TO GROUND/BASEMENT WHERE SPECIFIED. SEE ALSO TYPICAL DETAILS.

**1** FIFTH FLOOR/ TERRACE FRAMING PLAN  
 S203 1:100

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**PROJECT:**  
**MIXED-USE BUILDING DEVELOPMENT (BLDG.#3) PHASE 1**  
 1697 HIGHWAY#2 COURTICE, ON  
 R.H. Gay Holdings Co.

**DRAWING:**  
 FIFTH FLOOR & ROOF FRAMING PLANS

**BARRY BRYAN ARCHITECTS**  
 Architects  
 Engineers  
 Project Managers

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DESIGN BY: MF  
 DRAWN BY: CM  
 CHECKED BY: BK  
 DATE: FEB. 2024  
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 % COMPLETE: INITIAL:

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PROJECT NO: **21046** DRAWING NO: **S203**

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PROJECT:  
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**PHASE 1**  
 1697 HIGHWAY#2  
 COURTCICE, ON

R.H. Gay Holdings Co.

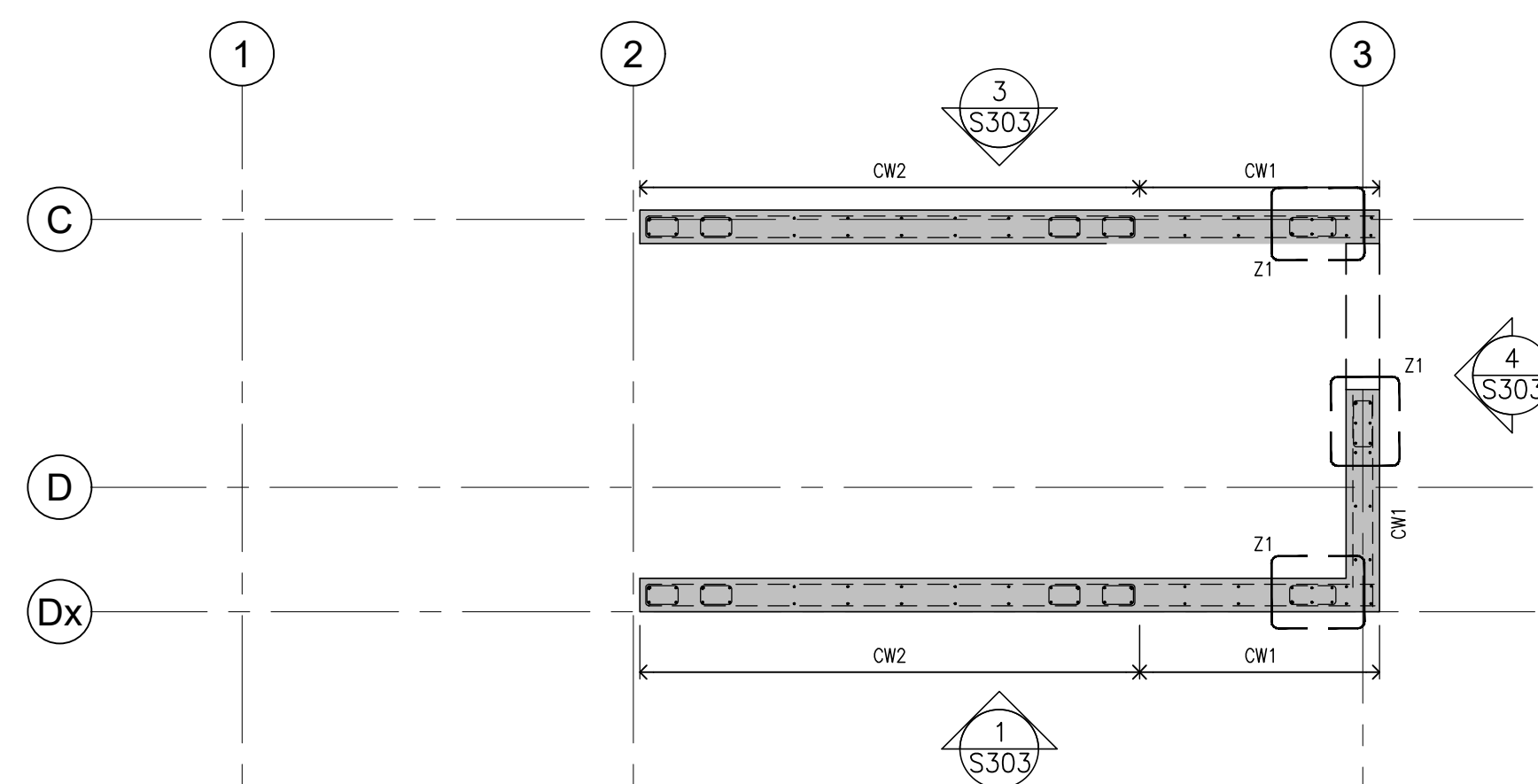
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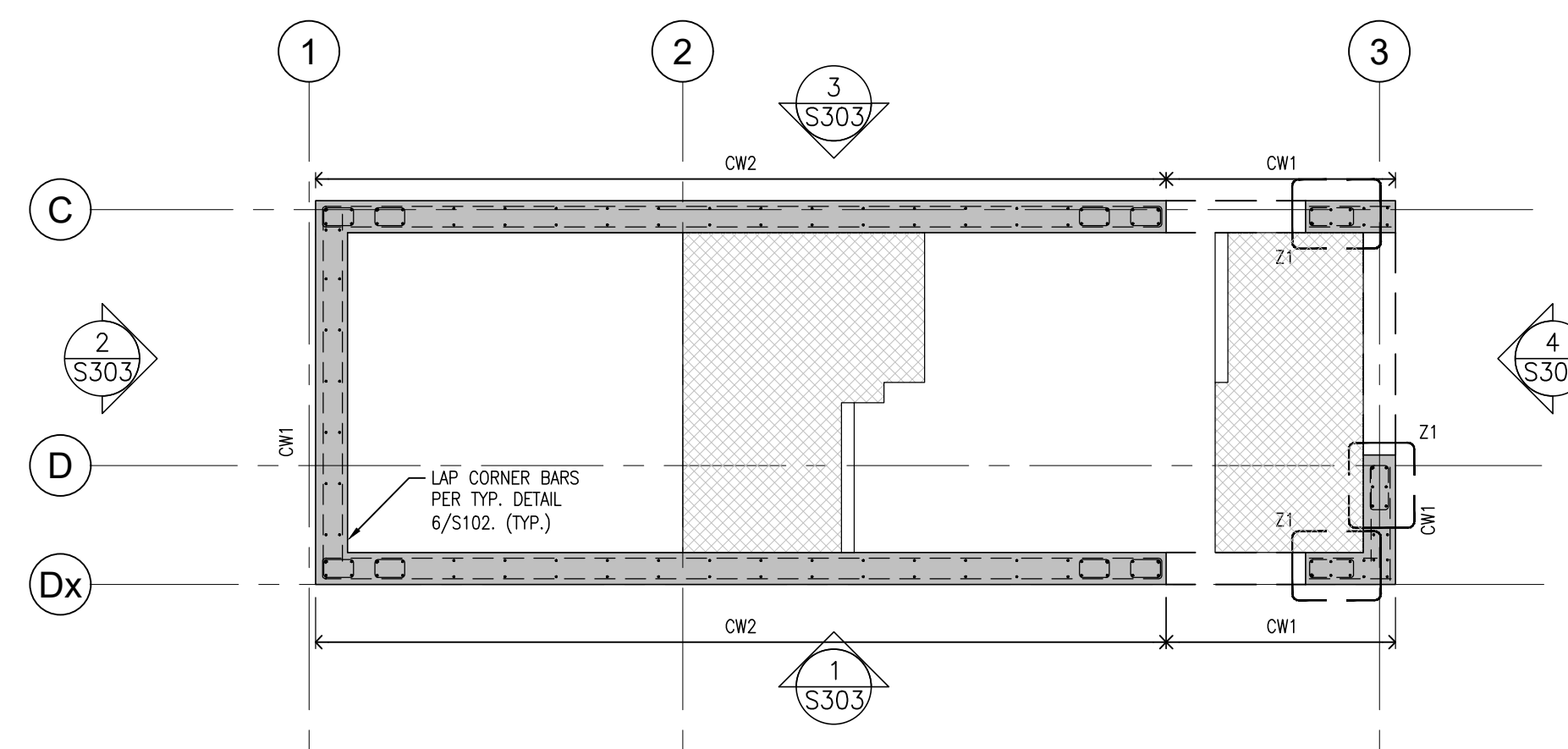
**B B A**  
**BARRY BRYAN ASSOCIATES**  
 Architects  
 Engineers  
 Project Managers  
 250 Water Street  
 Suite 201  
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 L1N 0G5  
 Tel: (905) 966-5252  
 Fax: (905) 966-5250  
 e-mail: bba@bba-archeng.com

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CHECKED BY: BK	INITIAL:
DATE: FEB. 2024	
SCALE: 1:50 U.N.O.	
FILE:	

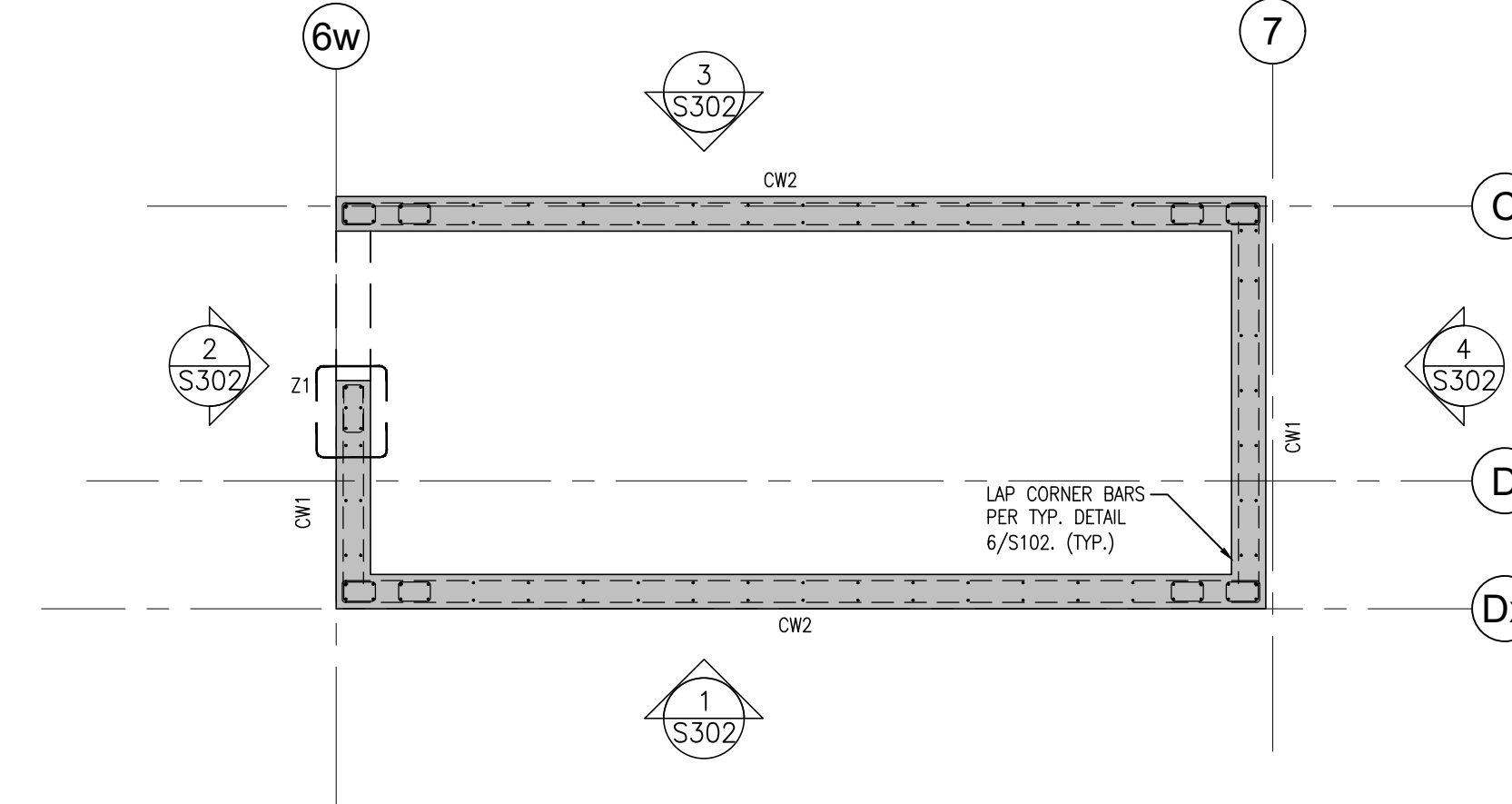
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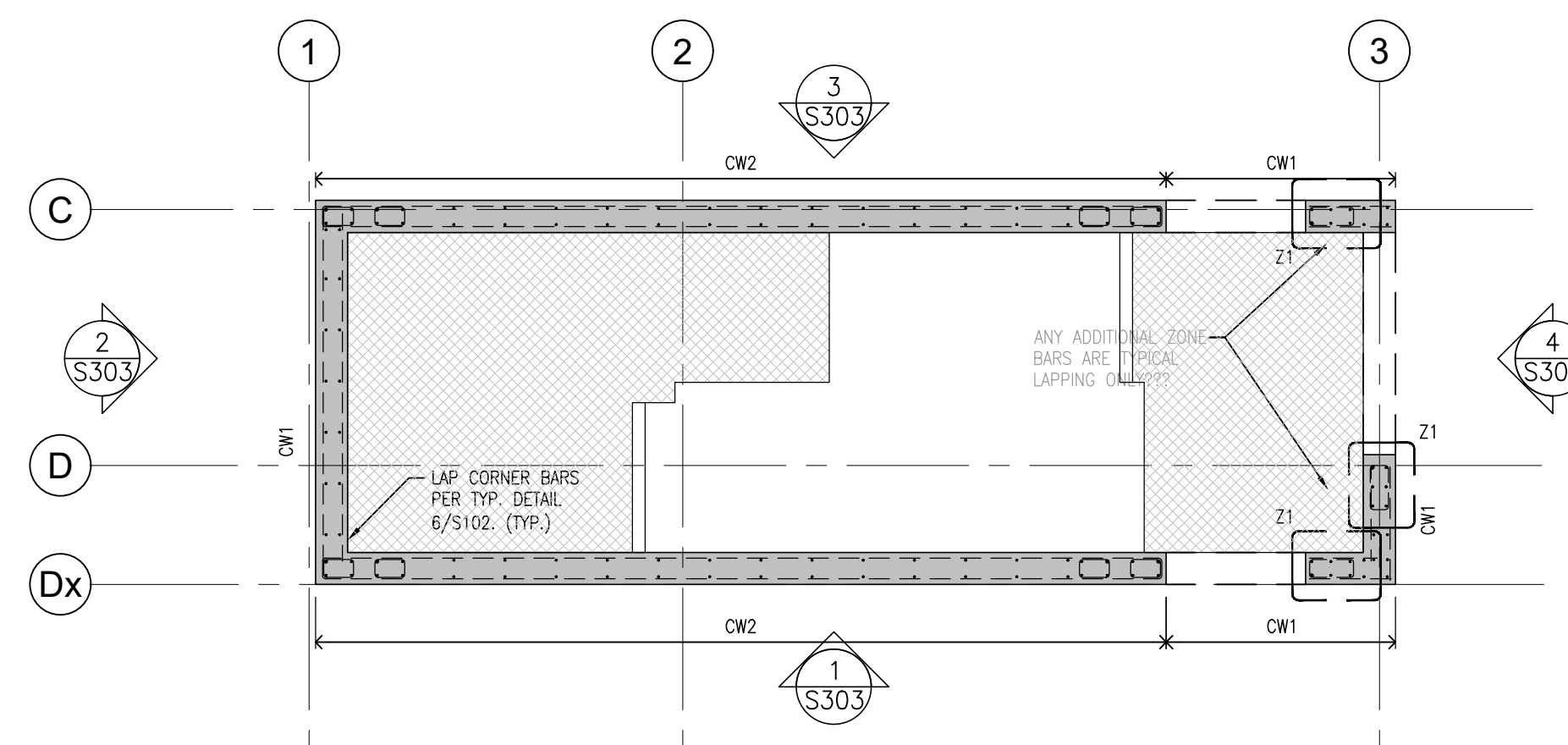
**10**  
**A301** STAIR 2- 5TH FLOOR UP TO ROOF  
 1:50



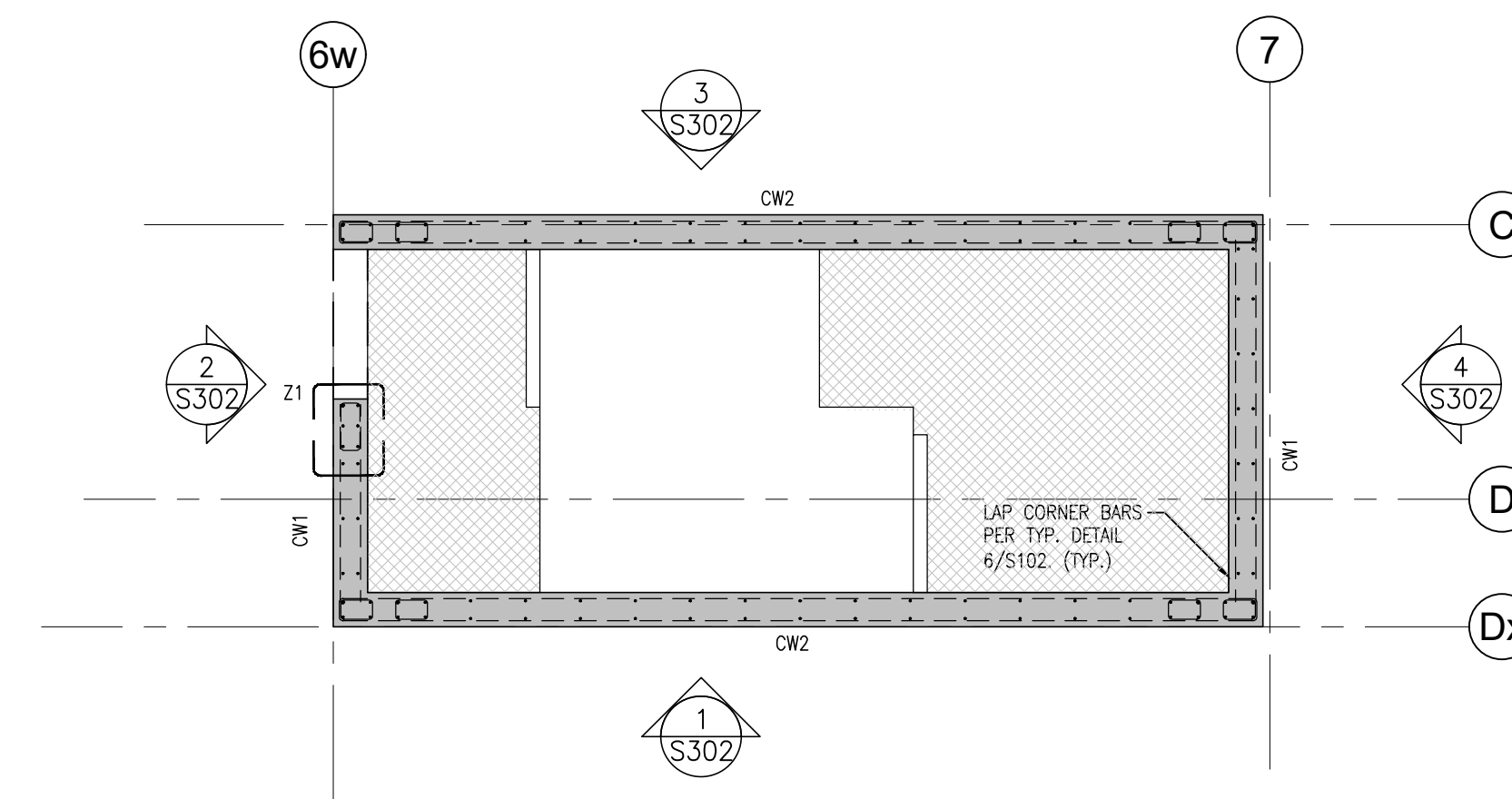
**8**  
**A301** STAIR 2- 4TH FLOOR UP TO 5TH  
 1:50



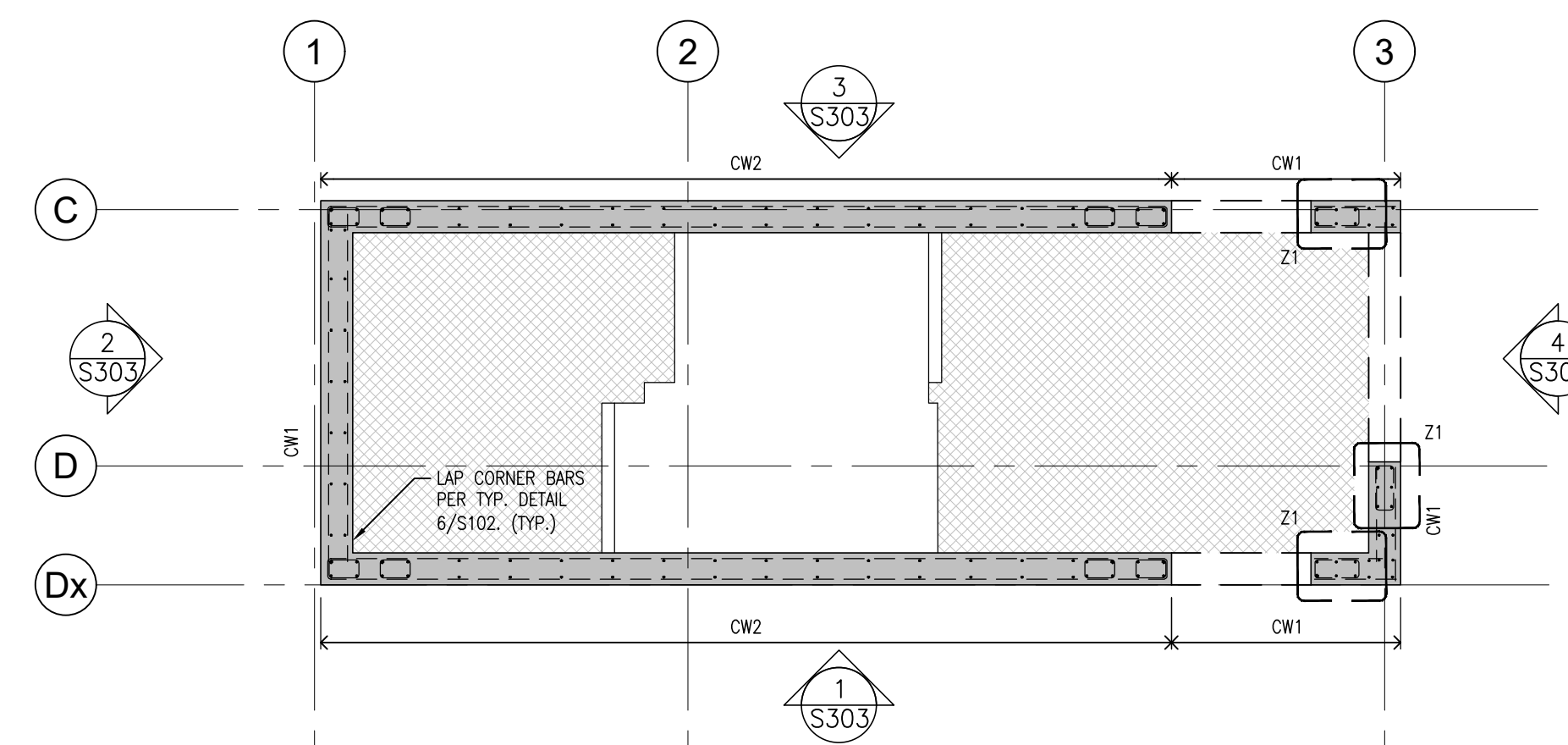
**4**  
**A301** STAIR 1- 5TH FLOOR UP TO ROOF  
 1:50



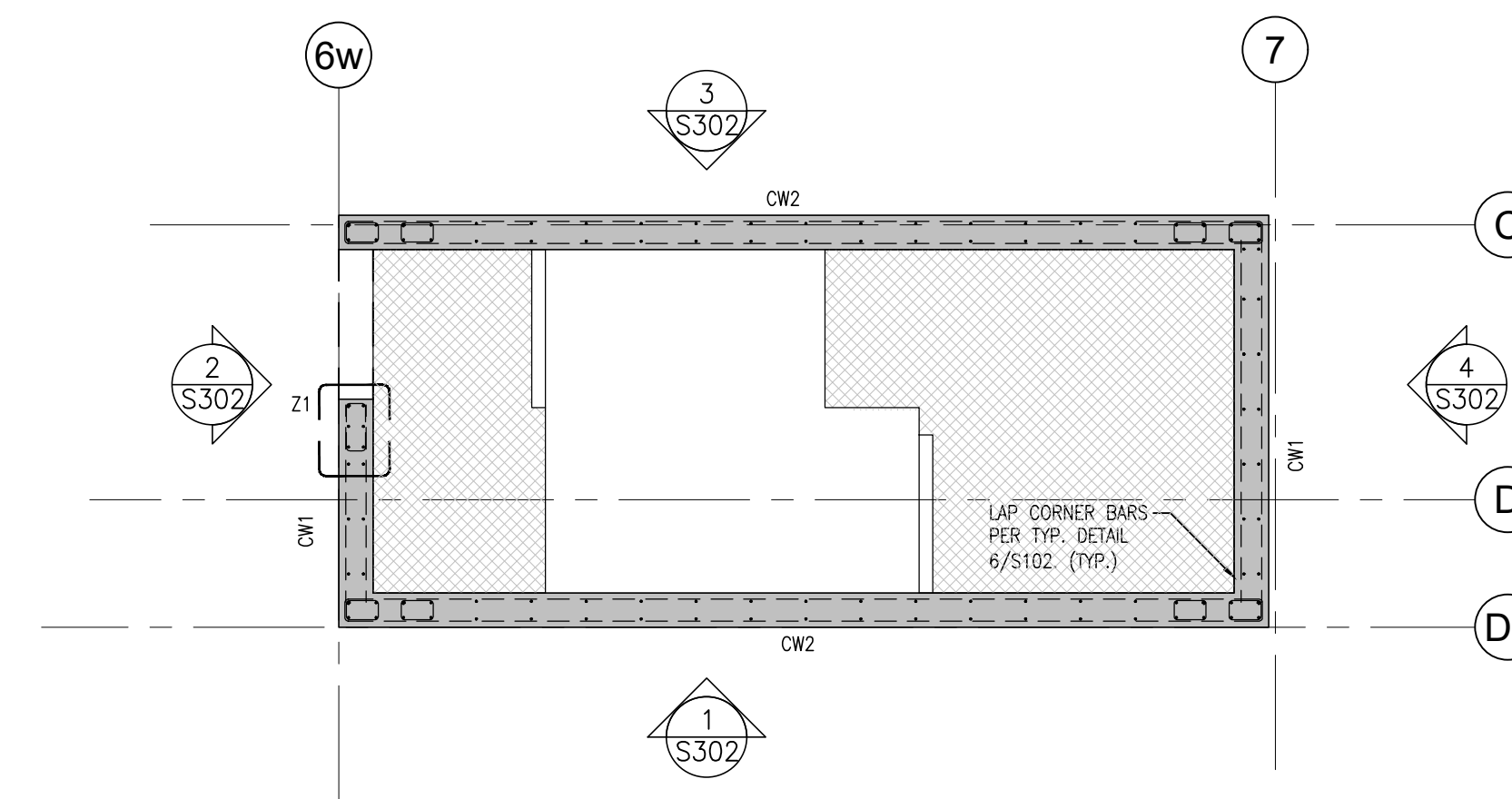
**7**  
**A301** STAIR 2- 3RD FLOOR UP TO 5TH FLOOR  
 1:50



**3**  
**A301** STAIR 1- 3RD FLOOR UP TO 5TH FLOOR  
 1:50



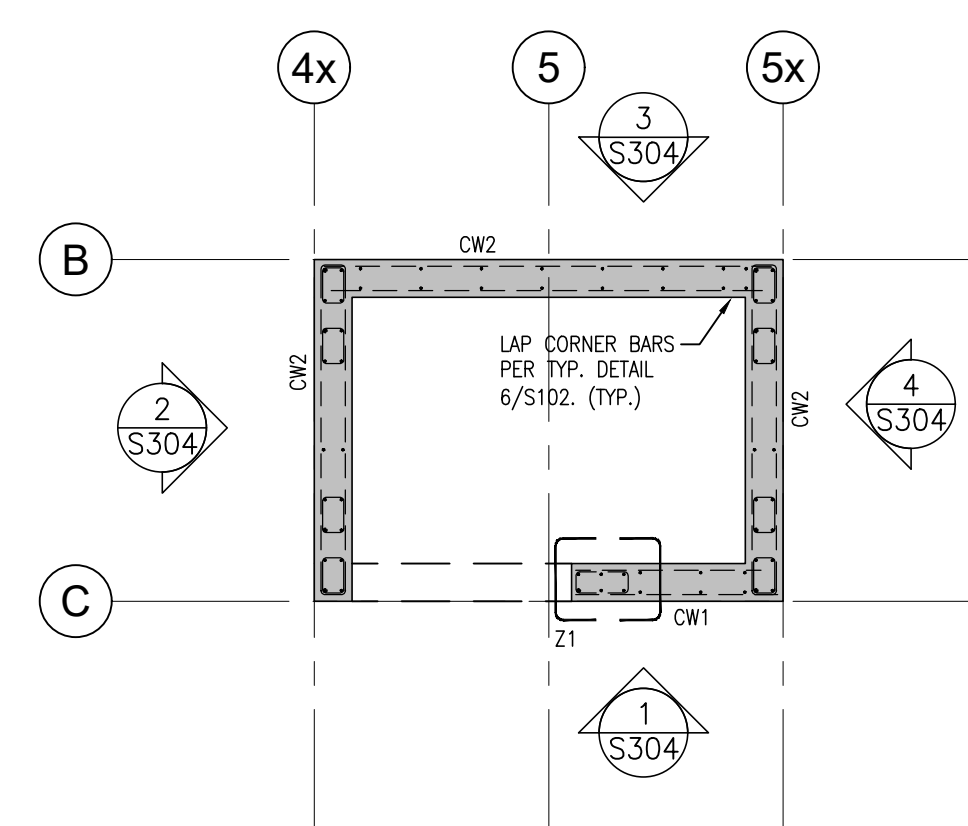
**6**  
**A301** STAIR 2- 2ND FLOOR UP TO 3RD FLOOR  
 1:50



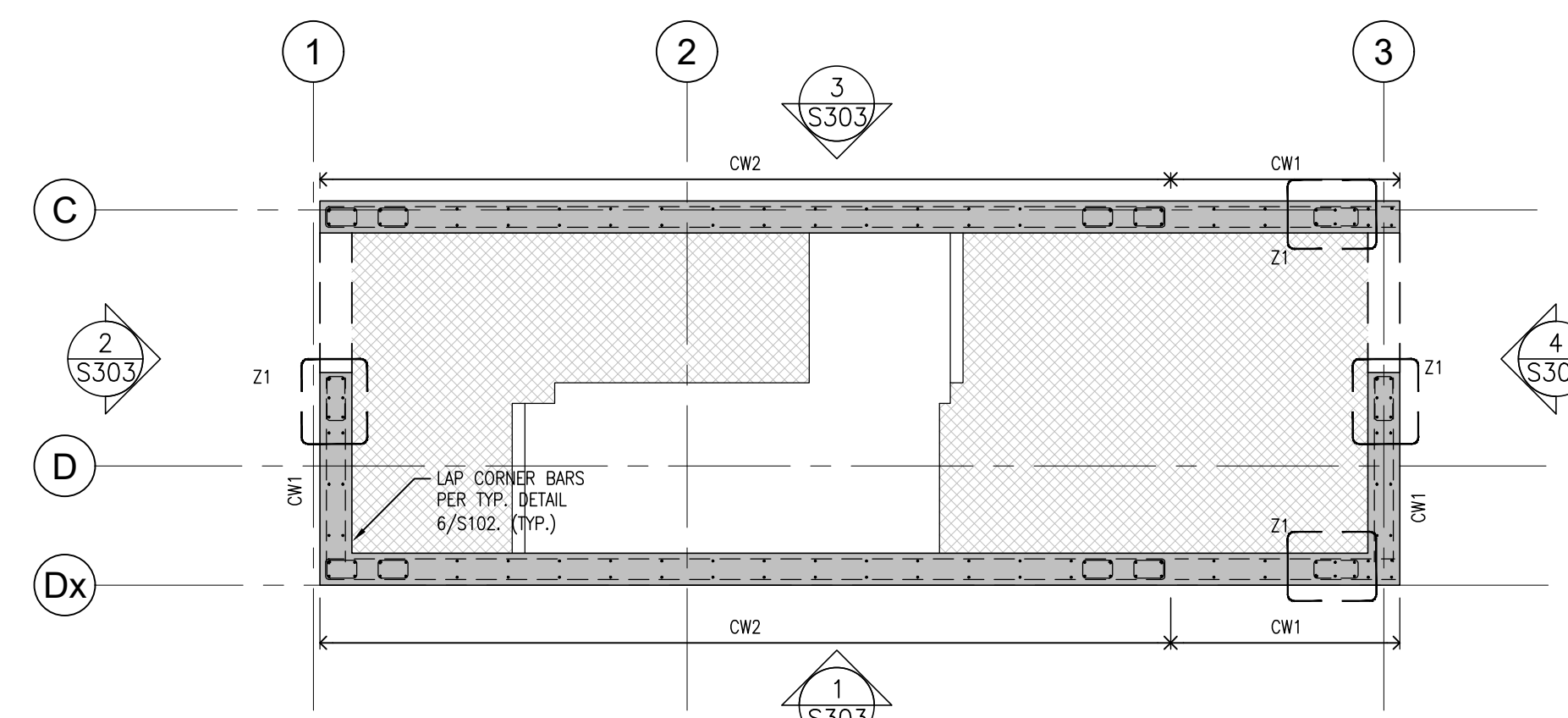
**2**  
**A301** STAIR 1- 2ND FLOOR UP TO 3RD FLOOR  
 1:50

ZONE REINFORCEMENT SCHEDULE				
MARK	VERT. REINF.	ZONE STIRRUPS	REMARKS	DETAIL
Z1	6-25M VERT.	10M AT 250 C/C		DETAIL 1

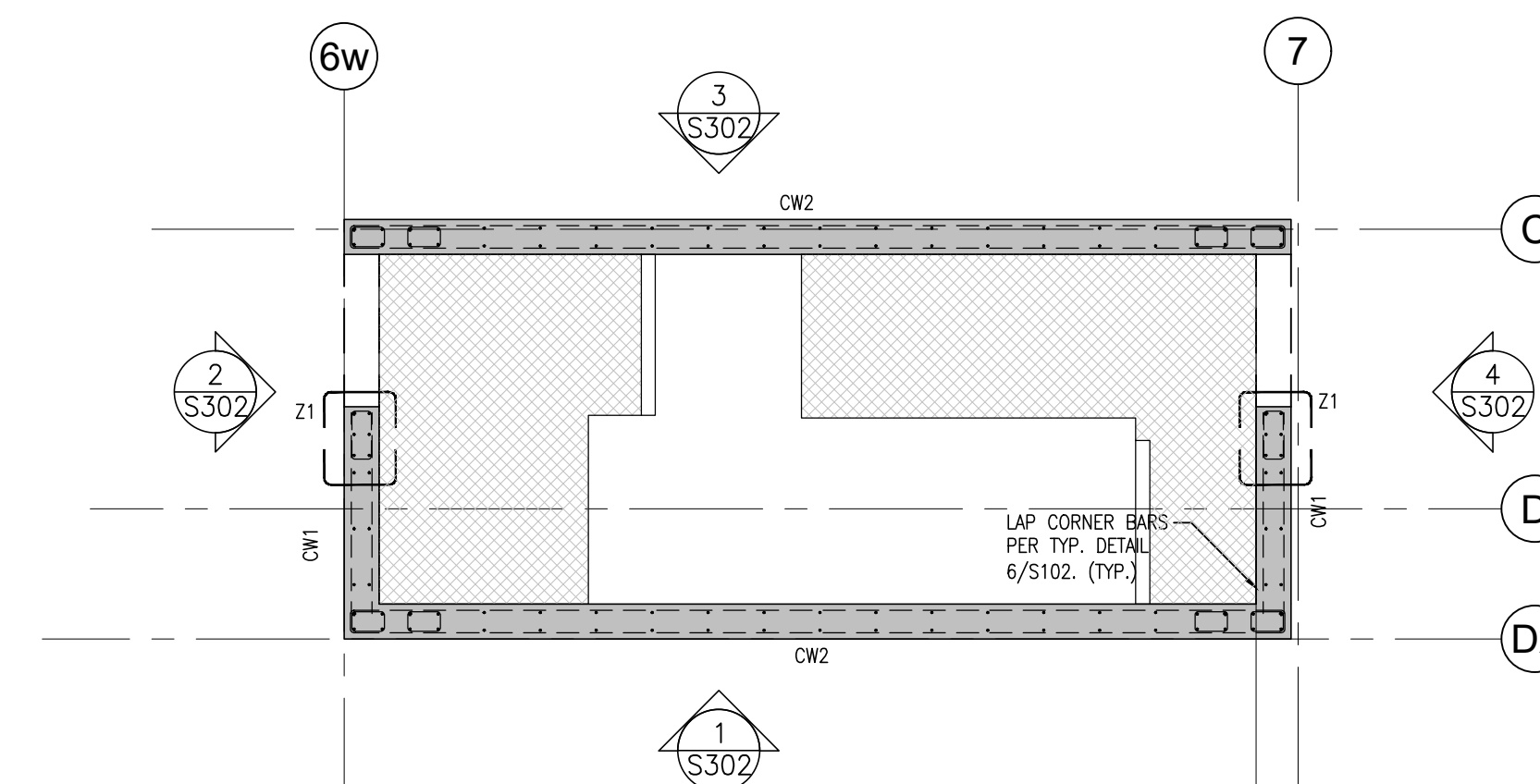
NOTE:  
 1. ALL ZONE STIRRUPS SHALL BE 10M AT 250 C/C.  
 2. ALL SPLICES SHALL BE CLASS 'B' TENSION LAP U.N.O.



**9**  
**A301** ELEVATOR - 1ST FLOOR UP TO ROOF  
 1:50



**5**  
**A301** STAIR 2- 1ST FLOOR UP TO 2ND FLOOR  
 1:50



**1**  
**A301** STAIR 1- 1ST FLOOR UP TO 2ND FLOOR  
 1:50

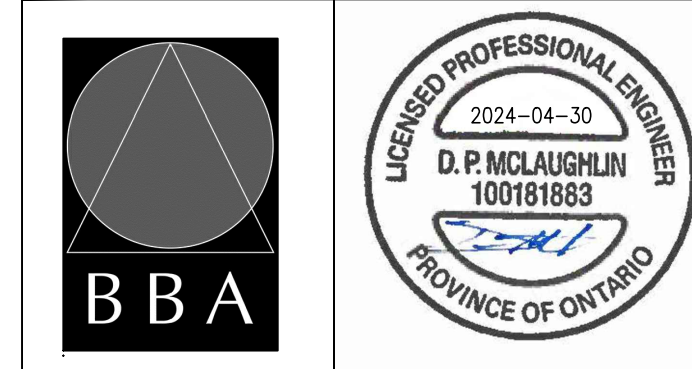
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PROJECT:  
**MIXED-USE BUILDING DEVELOPMENT (BLDG.#3) PHASE 1**  
 1697 HIGHWAY#2 COURTICE, ON  
 R.H. Gay Holdings Co.

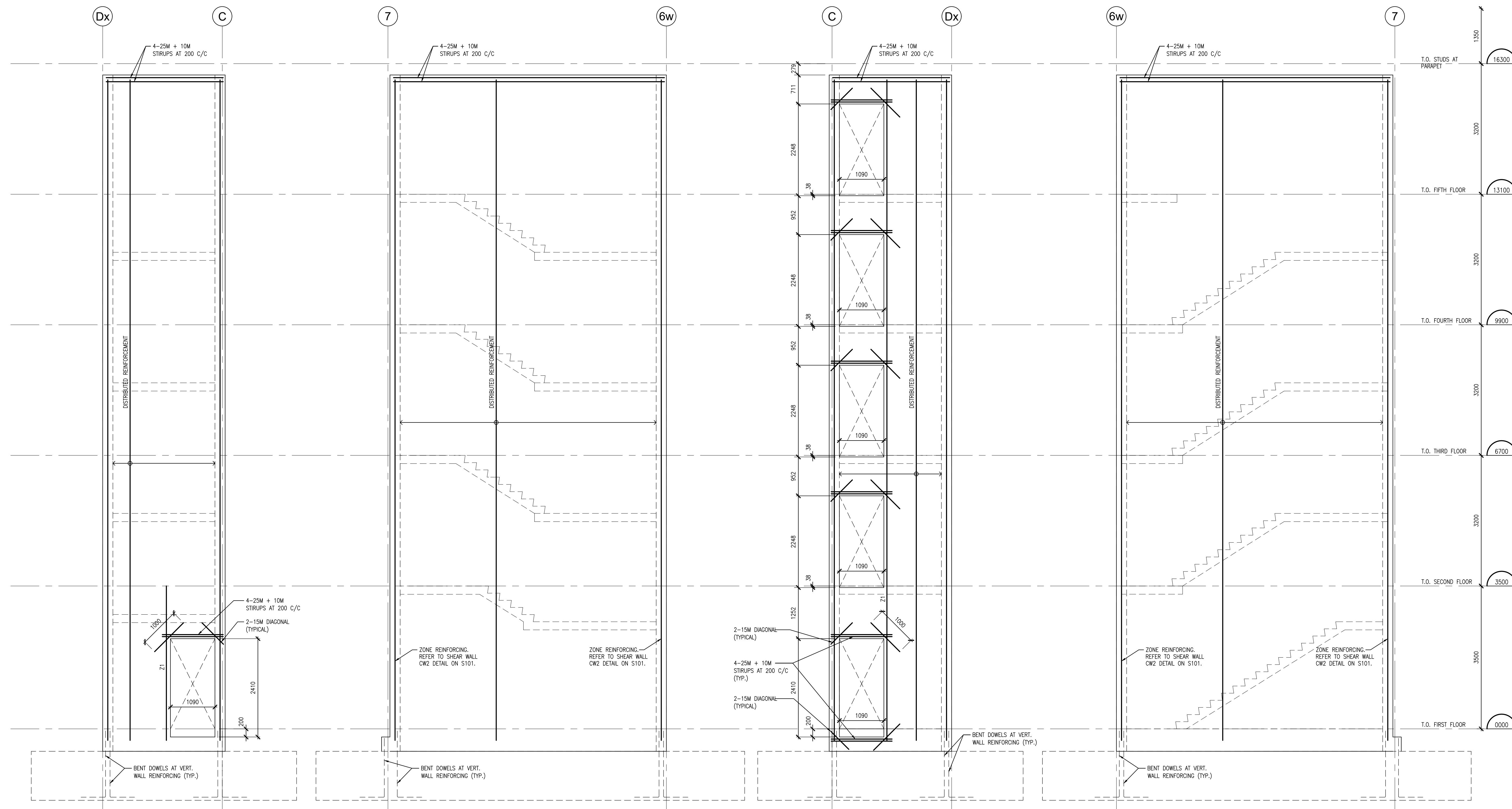
DRAWING:  
**CONCRETE SHEAR WALL ELEVATIONS - STAIR #1**



**BARRY BRYAN ASSOCIATES**  
 Architects  
 Engineers  
 Project Managers  
 250 Water Street  
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 Whitby, Ontario  
 L1N 0G5  
 Tel: (905) 666-5252  
 Fax: (905) 666-5250  
 e-mail: bba@bba-archeng.com

DESIGN BY: MF	DOC. CONTROL: DATE:
DRAWN BY: CM	% COMPLETE:
CHECKED BY: BK	INITIAL:
DATE: FEB. 2024	
SCALE: 1:50 U.N.O.	
FILE:	

PROJECT NO: **21046**  
 DRAWING NO: **S302**



**4** ELEVATION - STAIR #1-EAST (GRID 7)  
 S302 1:50

**3** ELEVATION - STAIR #1 - NORTH (GRID C)  
 S302 1:50

**2** ELEVATION - STAIR #1-WEST (GRID 6w)  
 S302 1:50

**1** ELEVATION - STAIR #1 - SOUTH (GRID Dx)  
 S302 1:50

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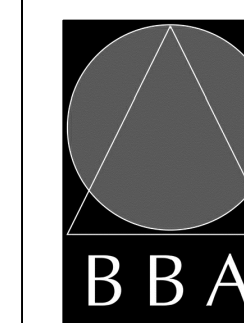
NO.	REVISIONS	DATE	BY

NO.	REVISIONS	DATE	BY

PROJECT:  
**MIXED-USE BUILDING DEVELOPMENT (BLDG.#3) PHASE 1**  
 1697 HIGHWAY#2 COURTICE, ON

R.H. Gay Holdings Co.

DRAWING:  
**CONCRETE SHEAR WALL ELEVATIONS - STAIR # 2**



**BARRY BRYAN ASSOCIATES**

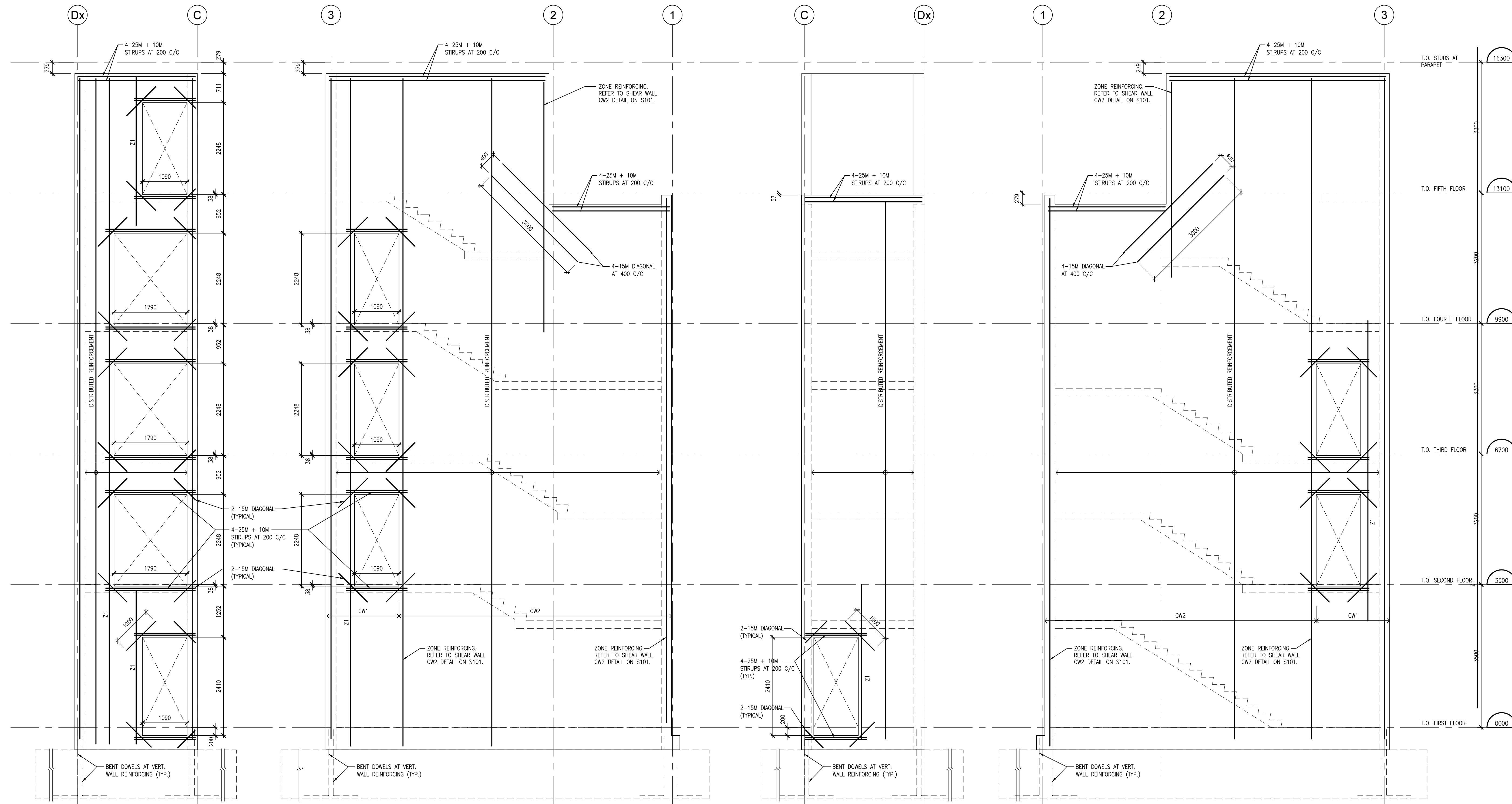
Architects  
 Engineers  
 Project Managers  
 250 Water Street  
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 Whitby, Ontario  
 L1N 0G5  
 Tel: (905) 666-5252  
 Fax: (905) 666-5256  
 e-mail: bba@bba-archeng.com



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DRAWN BY: CM	% COMPLETE:
CHECKED BY: BK	INITIAL:
DATE: FEB. 2024	
SCALE: 1:50 U.N.O.	
FILE:	

PROJECT NO:  
**21046**

DRAWING NO:  
**S303**



**4** ELEVATION - STAIR #2-EAST(GRID 3)  
 S303 1:50

**3** ELEVATION - STAIR #2 - NORTH(GRID C)  
 S303 1:50

**2** ELEVATION - STAIR #2-WEST(GRID 1)  
 S303 1:50

**1** ELEVATION - STAIR #2 - SOUTH(GRID Dx)  
 S303 1:50

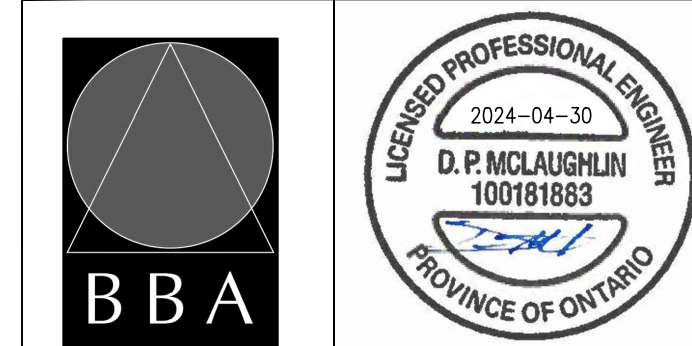
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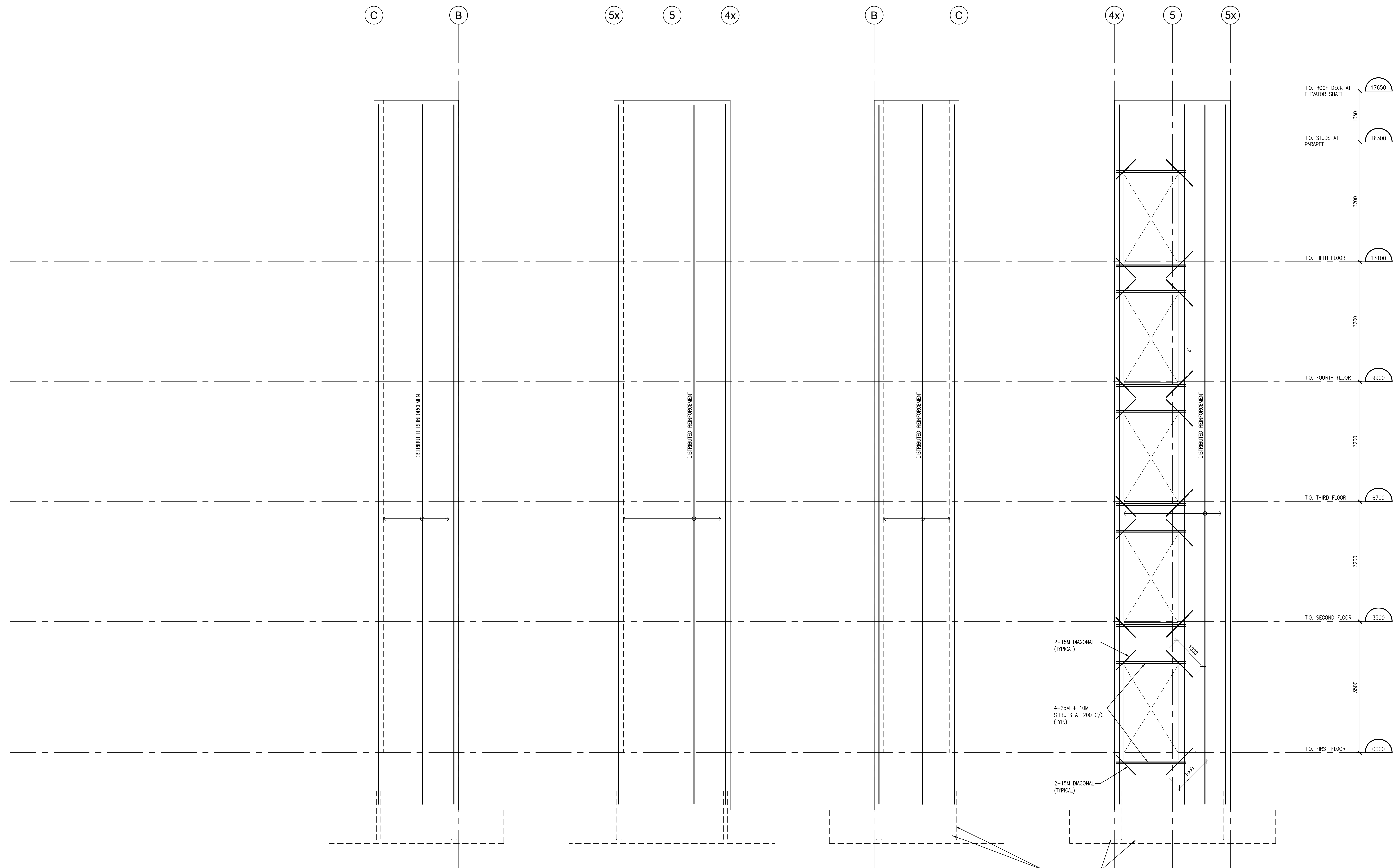
PROJECT:  
**MIXED-USE BUILDING DEVELOPMENT (BLDG.#3) PHASE 1**  
 1697 HIGHWAY#2  
 COURTYCE, ON  
 R.H. Gay Holdings Co.

DRAWING:  
**CONCRETE SHEAR WALL ELEVATIONS - ELEVATOR**



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PROJECT NO: **21046**  
 DRAWING NO: **S304**



4 **ELEVATOR - EAST (GRID 5x)** 1:50  
3 **ELEVATOR - NORTH (GRID B)** 1:50  
2 **ELEVATOR - WEST (GRID 4x)** 1:50  
1 **ELEVATOR - SOUTH (GRID C)** 1:50

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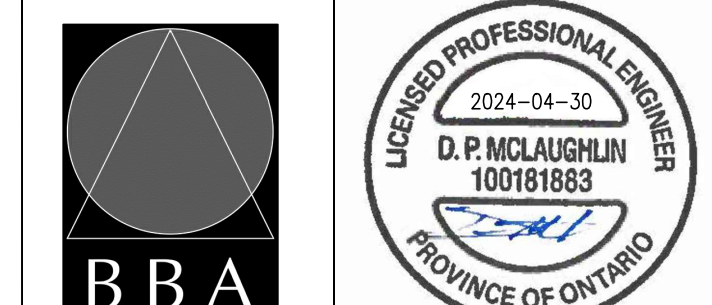
NO.	ISSUES	DATE	BY
1	ISSUED FOR PERMIT	APRIL 30, 2024	BBA

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PROJECT:  
**MIXED-USE BUILDING  
 DEVELOPMENT (BLDG.#3)  
 PHASE 1**  
 1697 HIGHWAY#2  
 COURTCICE, ON

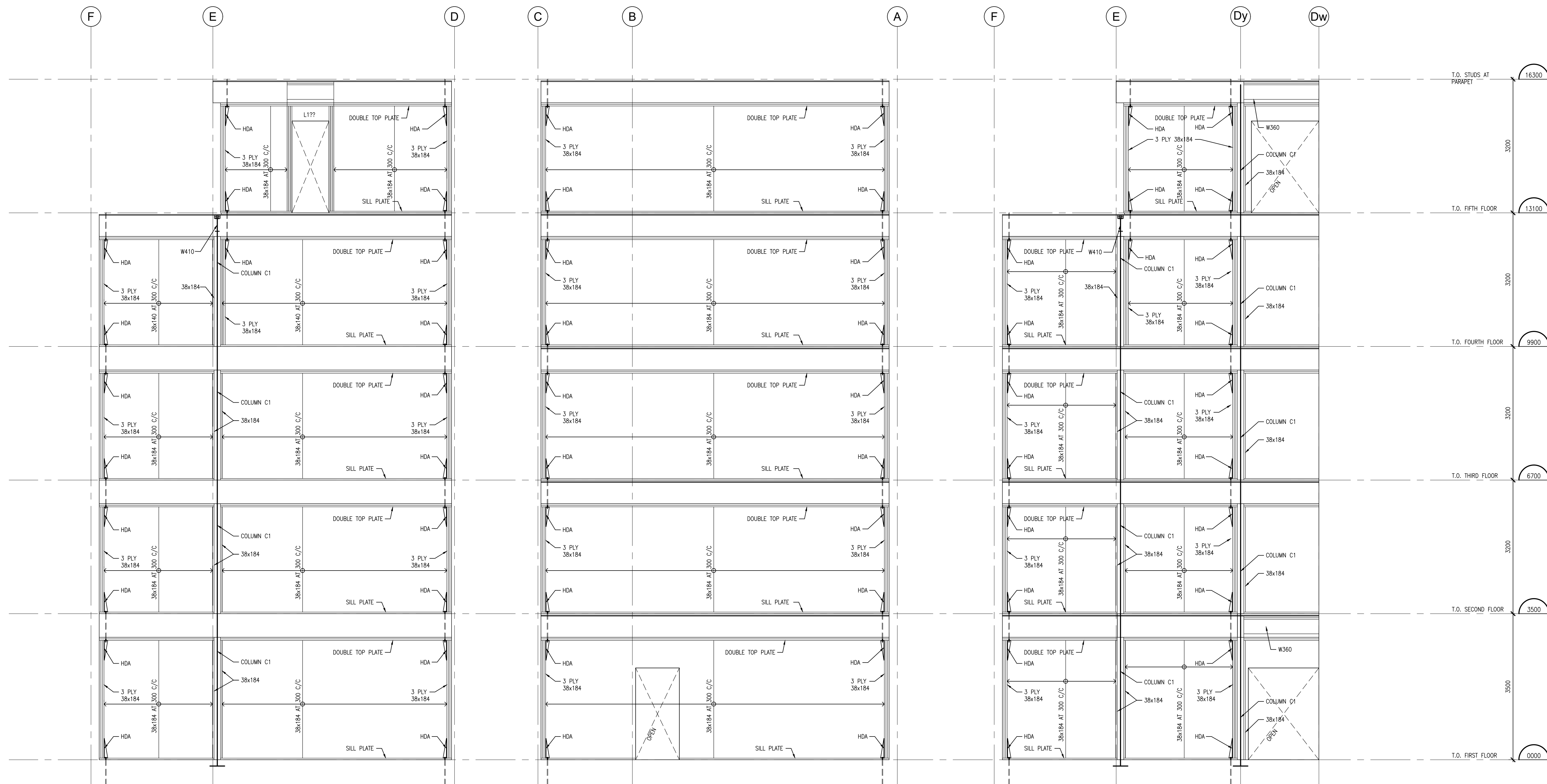
R.H. Gay Holdings Co.

DRAWING:  
**WOOD STUD SHEAR WALL  
 ELEVATIONS**



**BARRY BRYAN  
 ASSOCIATES**  
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 Engineers  
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PROJECT NO: **21046**  
 DRAWING NO: **S305**



**1**  
**S305**  
 SHEARWALL ELEVATION ON GRID 4  
 1:50

**1**  
**S305**  
 SHEARWALL ELEVATION ON GRID 4  
 1:50

**1**  
**S305**  
 SHEARWALL ELEVATION ON GRID 3  
 1:50



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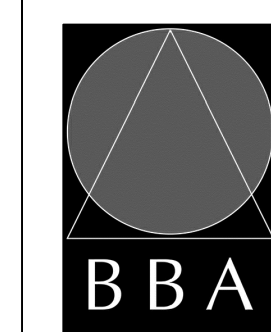
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PROJECT:  
**MIXED-USE BUILDING DEVELOPMENT (BLDG.#3) PHASE 1**  
 1697 HIGHWAY#2  
 COURTCICE, ON

R.H. Gay Holdings Co.

DRAWING:  
**WOOD STUD SHEAR WALL ELEVATIONS**



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 L1N 0G5  
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DESIGN BY: MF  
 DATE: APRIL 2024  
 DRAWN BY: CM  
 CHECKED BY: BK  
 DATE: APRIL 2024  
 SCALE: 1:50 U.N.O.  
 FILE:

PROJECT NO:  
**21046**

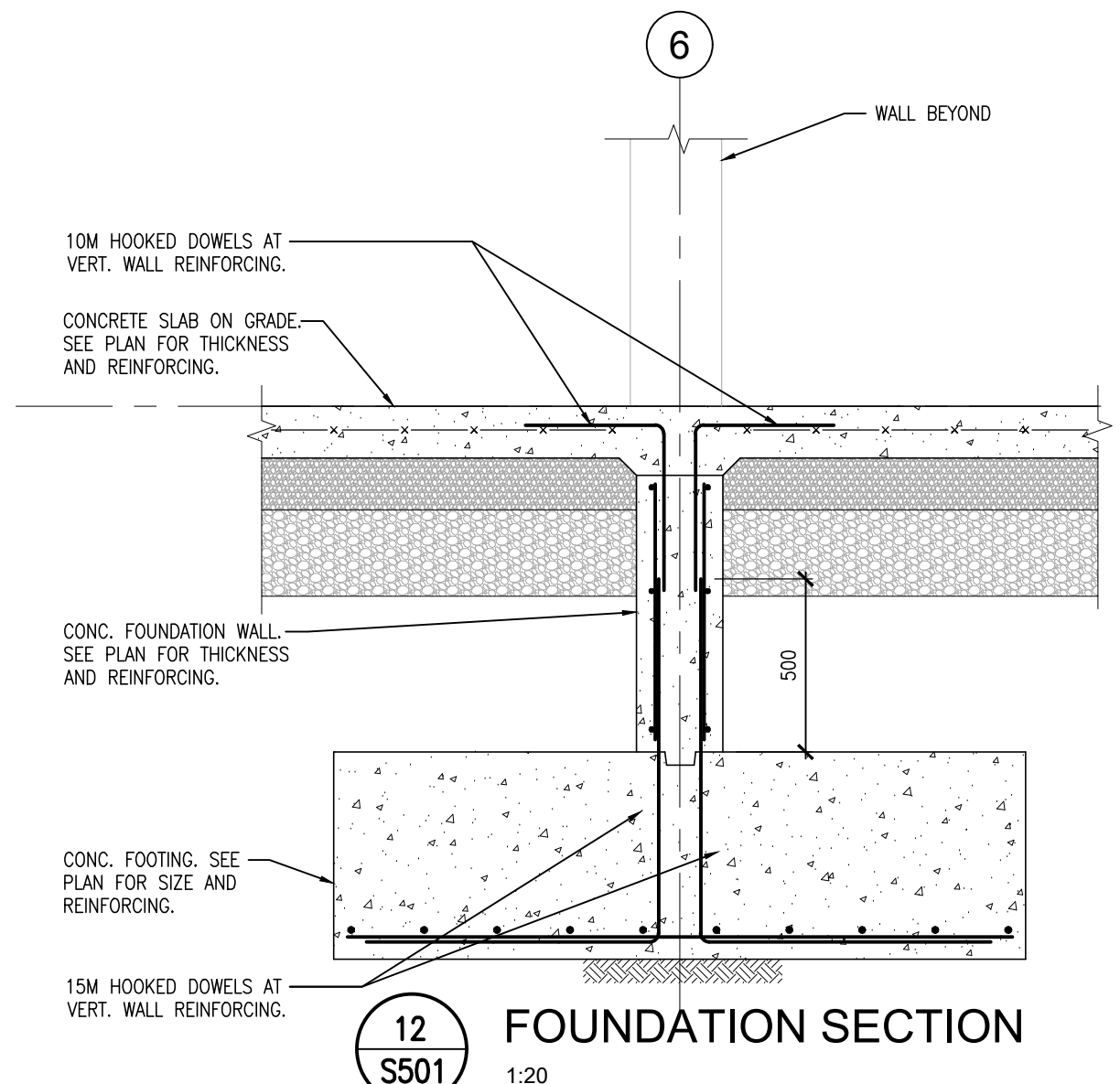
DRAWING NO:  
**S306**



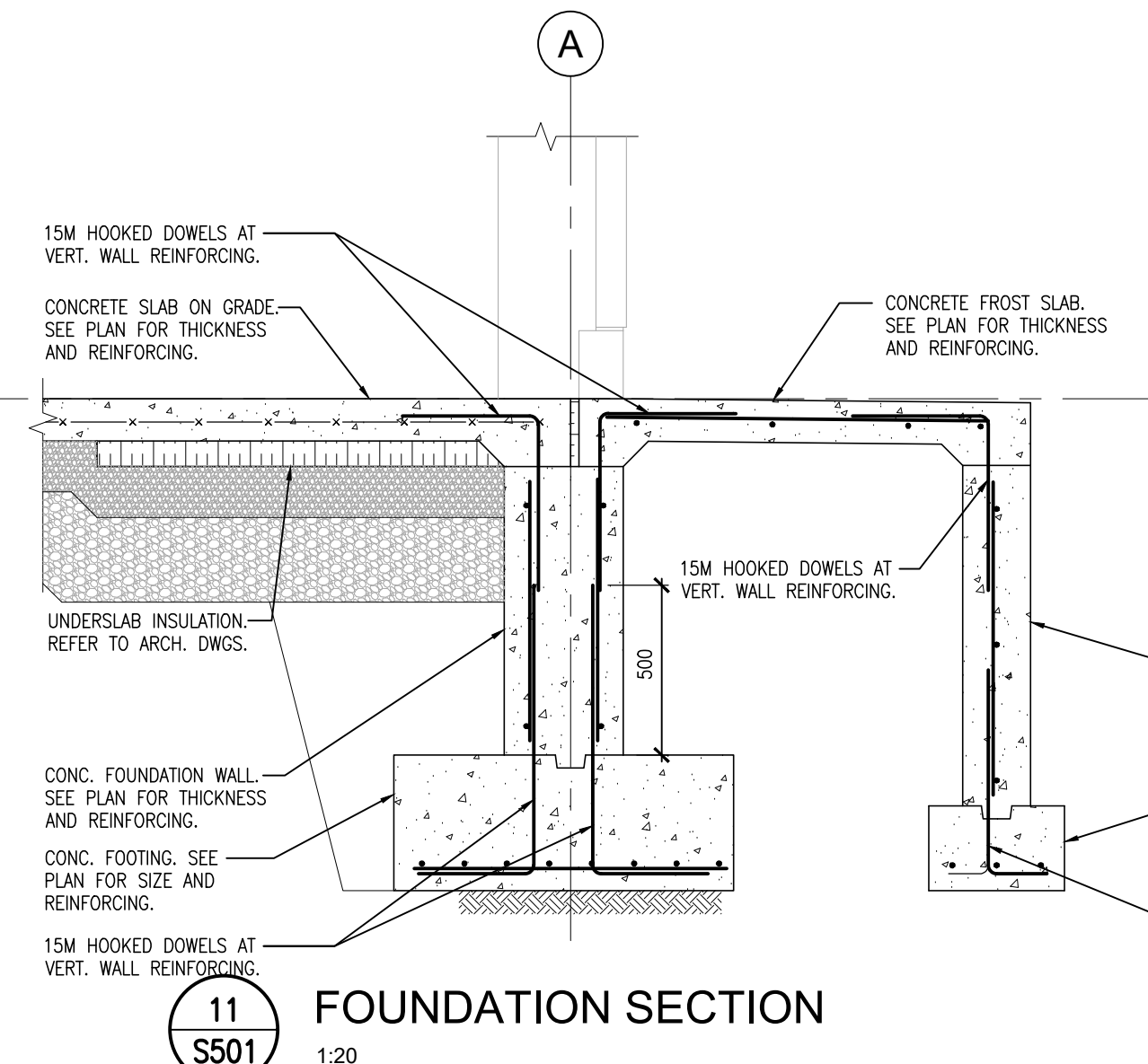
**3** SHEARWALL ELEVATION ON GRID 6  
 S306 1:50

**2** SHEARWALL ELEVATION ON GRID 5  
 S306 1:50

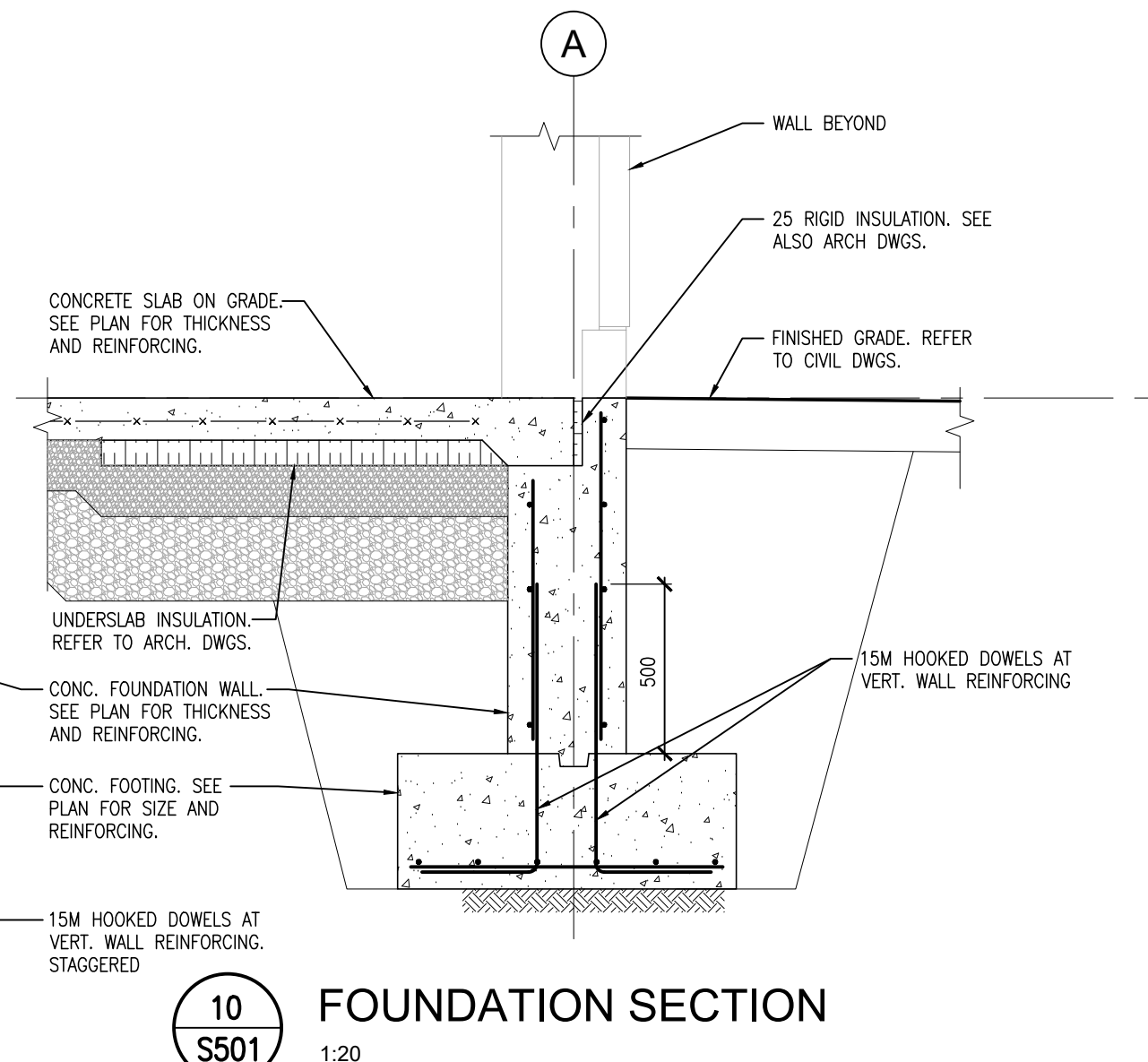
**1** SHEARWALL ELEVATION ON GRID 3  
 S306 1:50



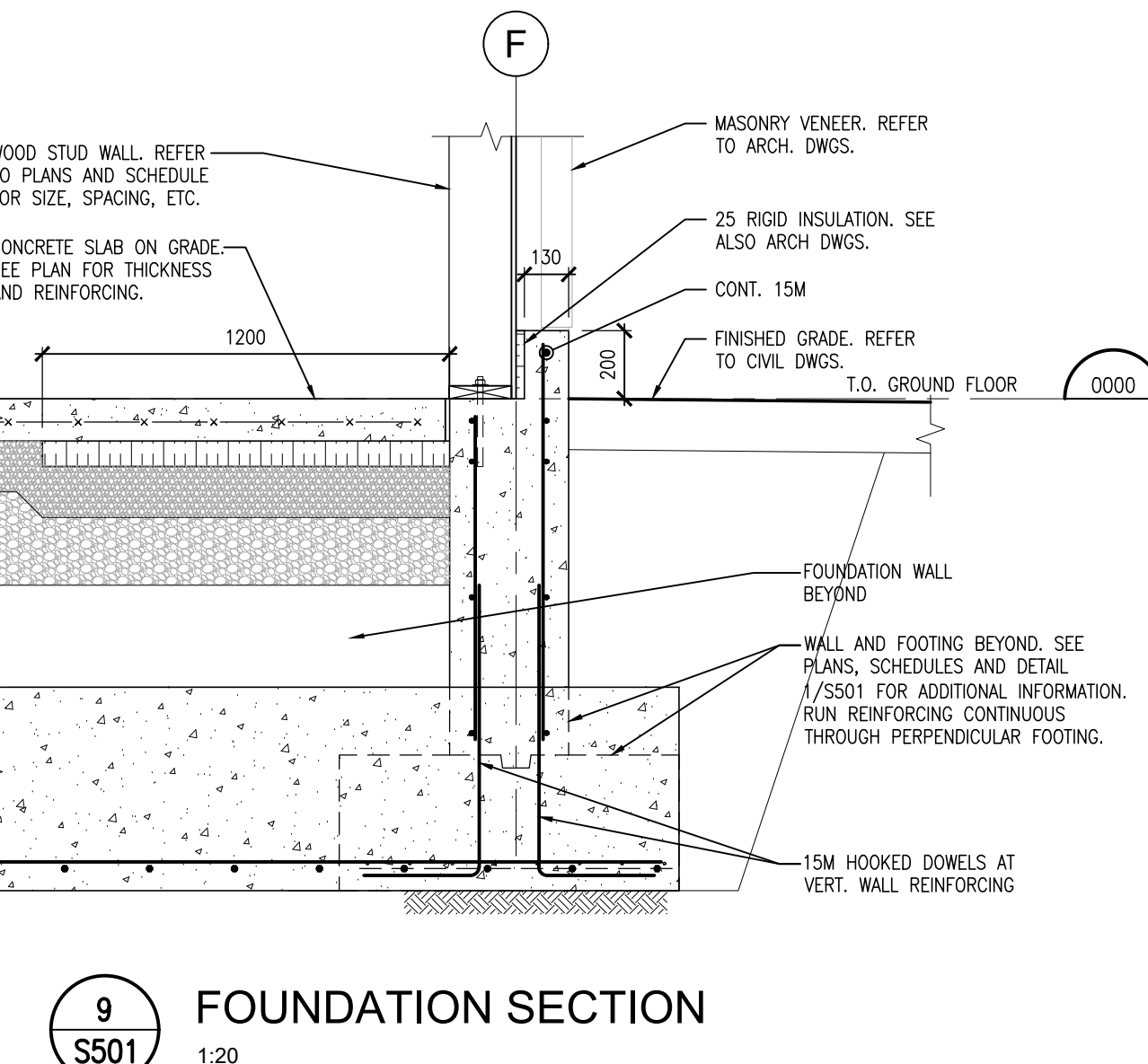
12 FOUNDATION SECTION  
S501 1:20



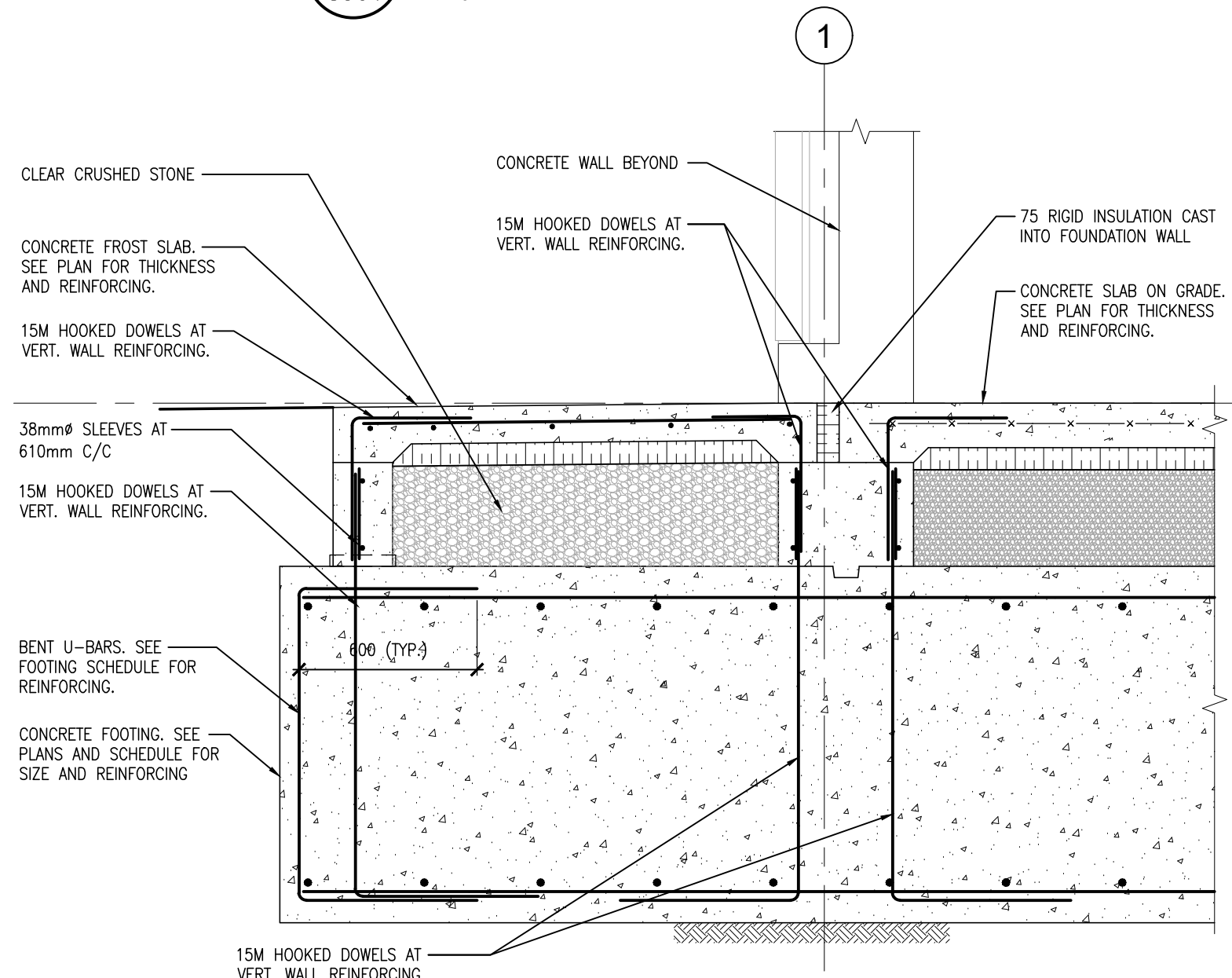
11 FOUNDATION SECTION  
S501 1:20



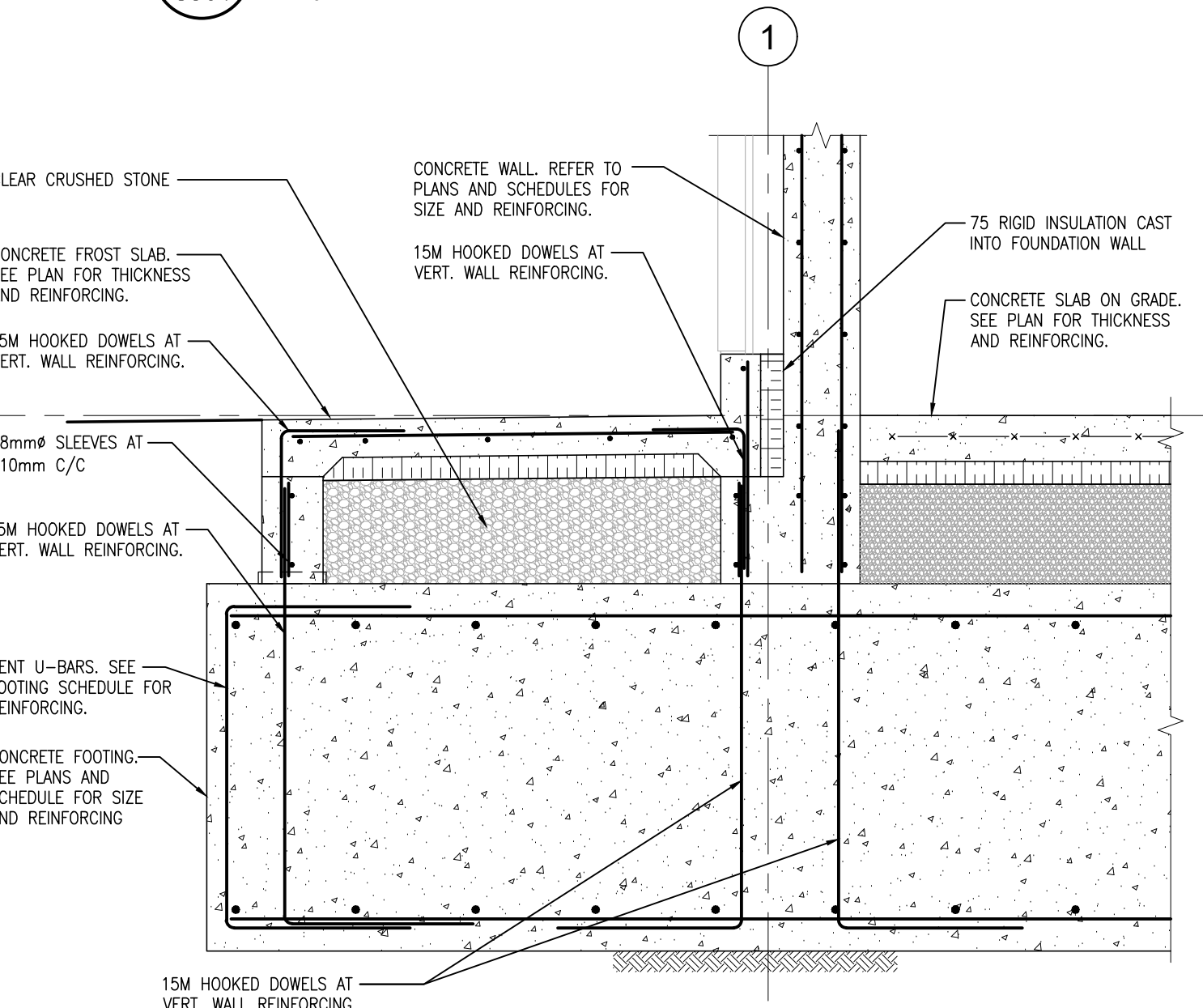
10 FOUNDATION SECTION  
S501 1:20



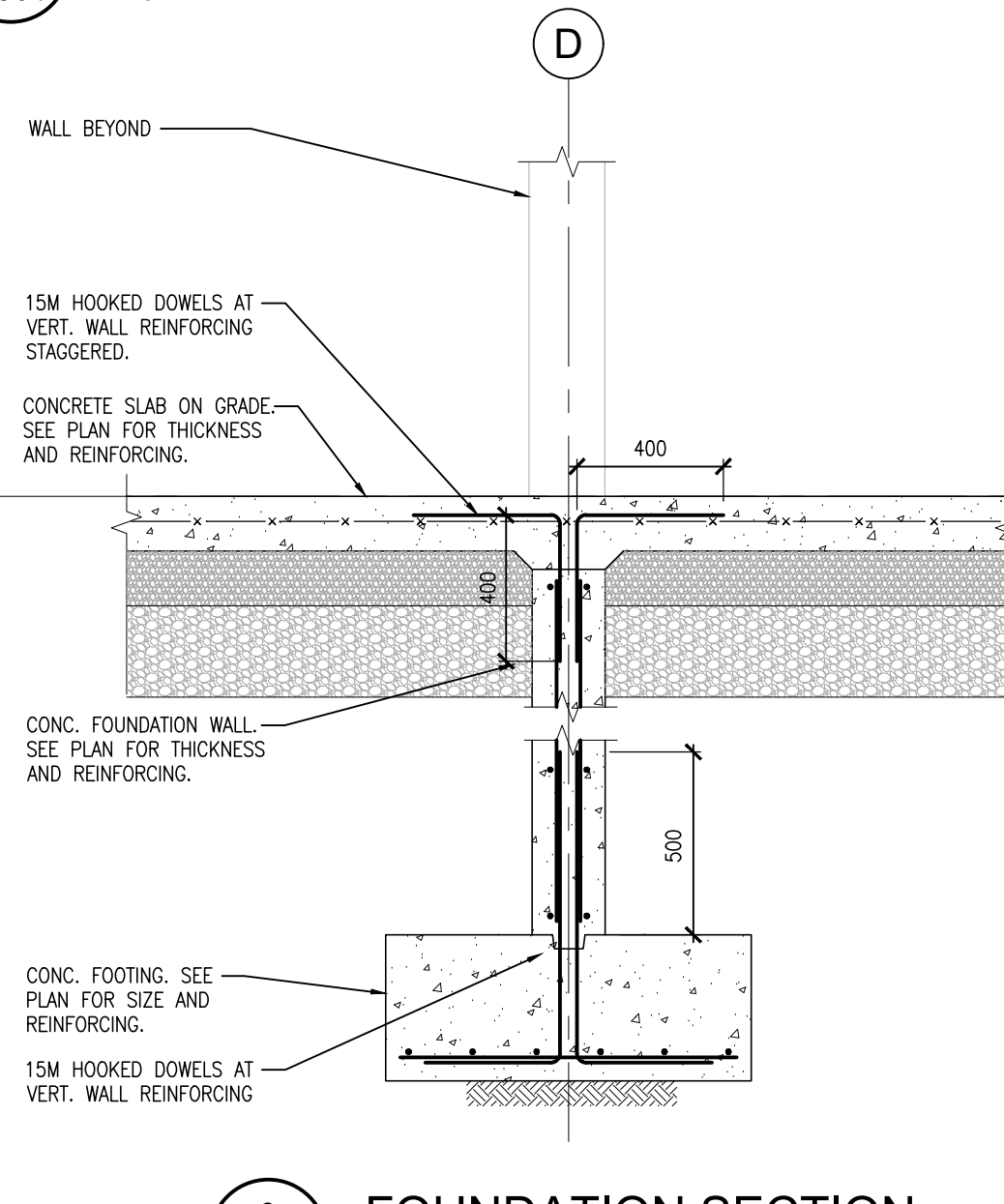
9 FOUNDATION SECTION  
S501 1:20



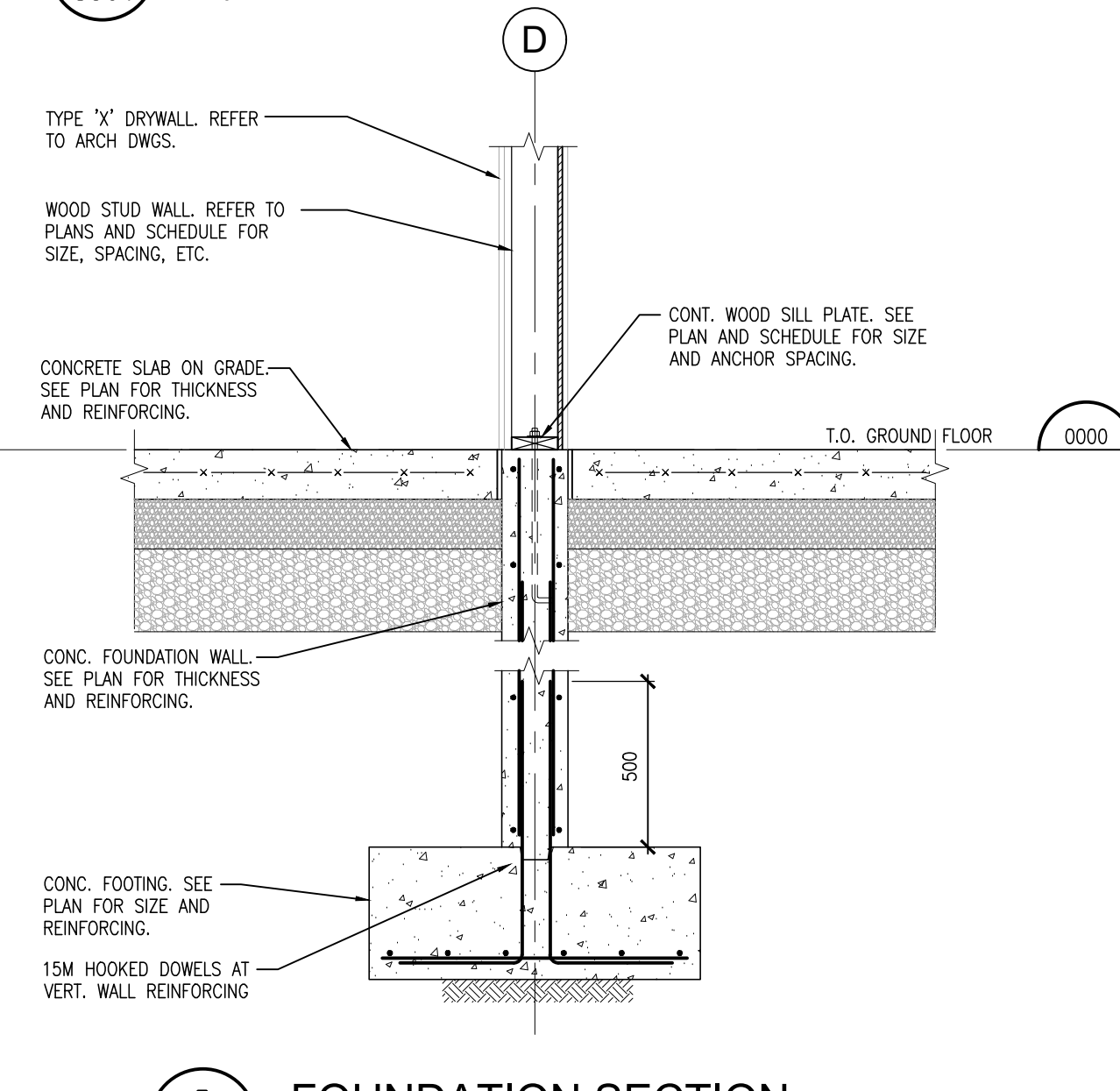
8 FOUNDATION SECTION  
S501 1:20



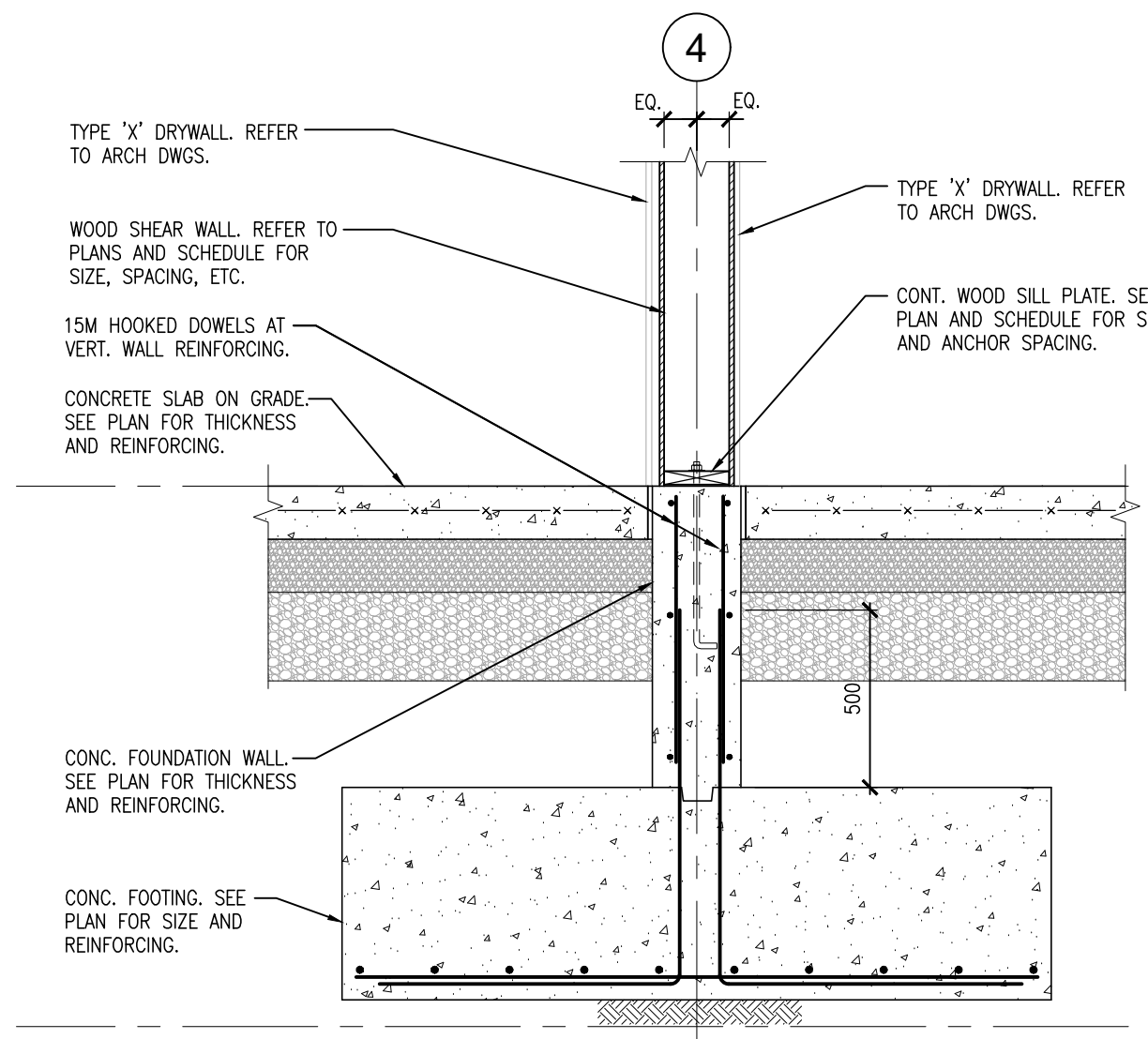
7 FOUNDATION SECTION  
S501 1:20



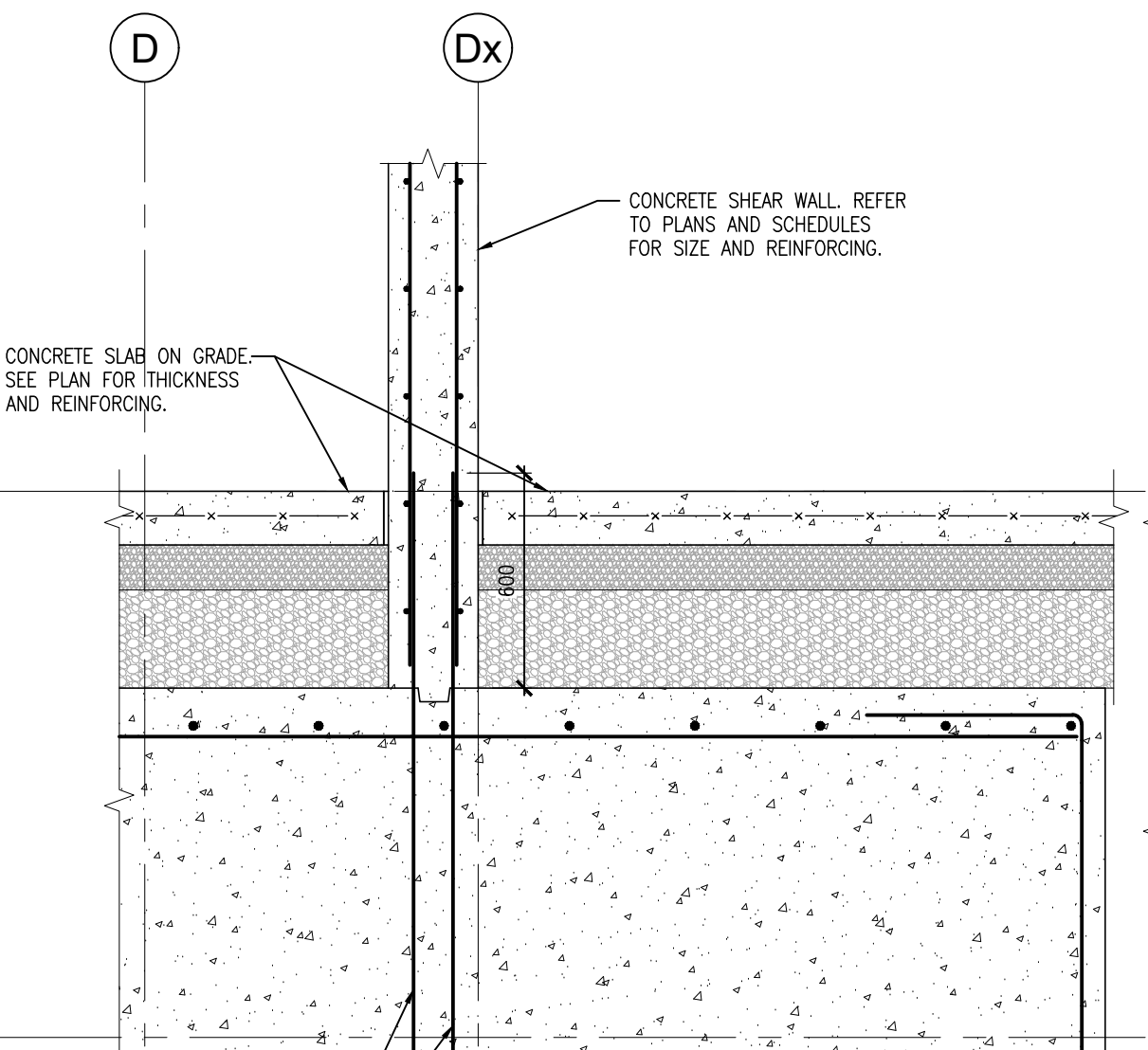
6 FOUNDATION SECTION  
S501 1:20



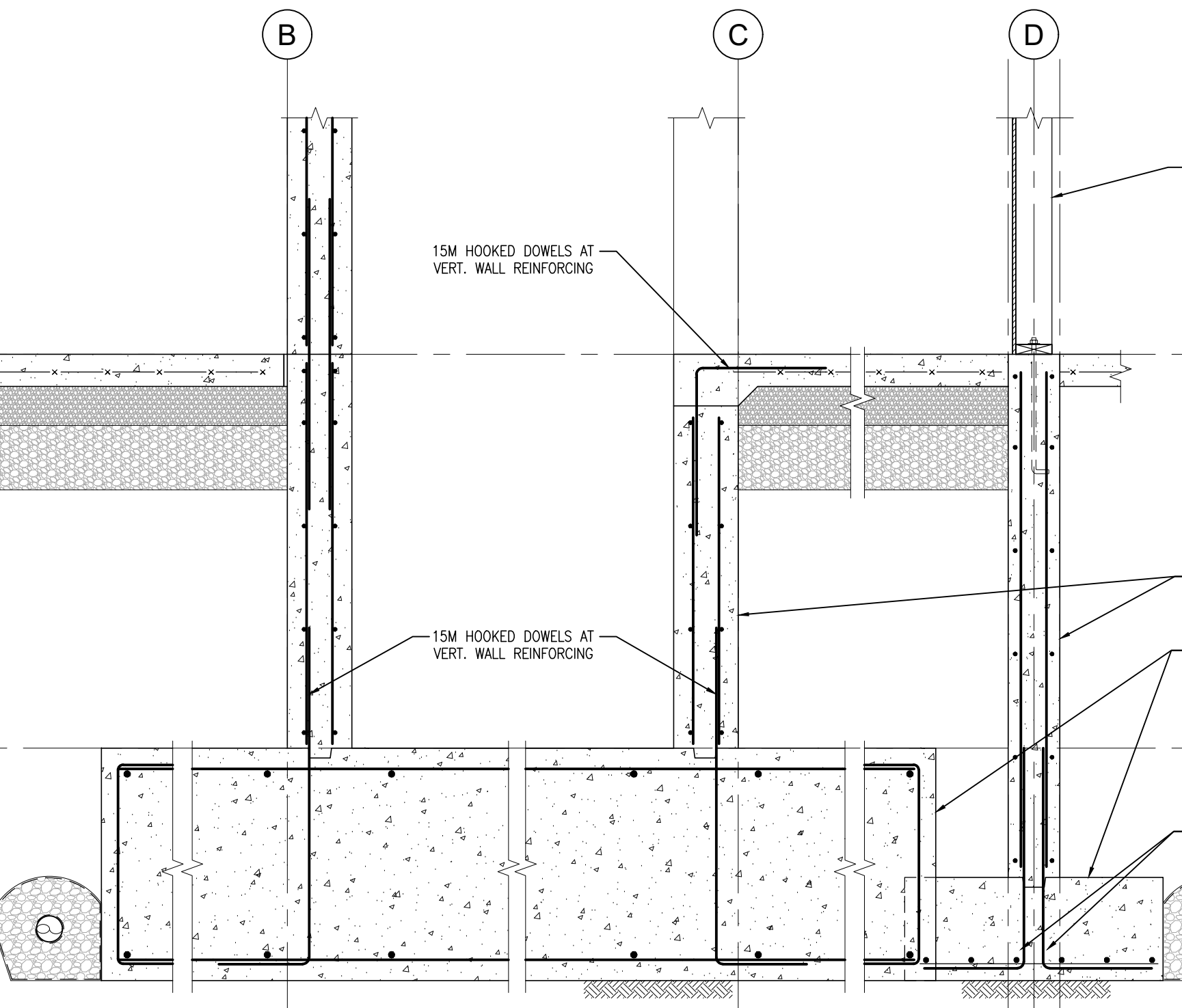
5 FOUNDATION SECTION  
S501 1:20



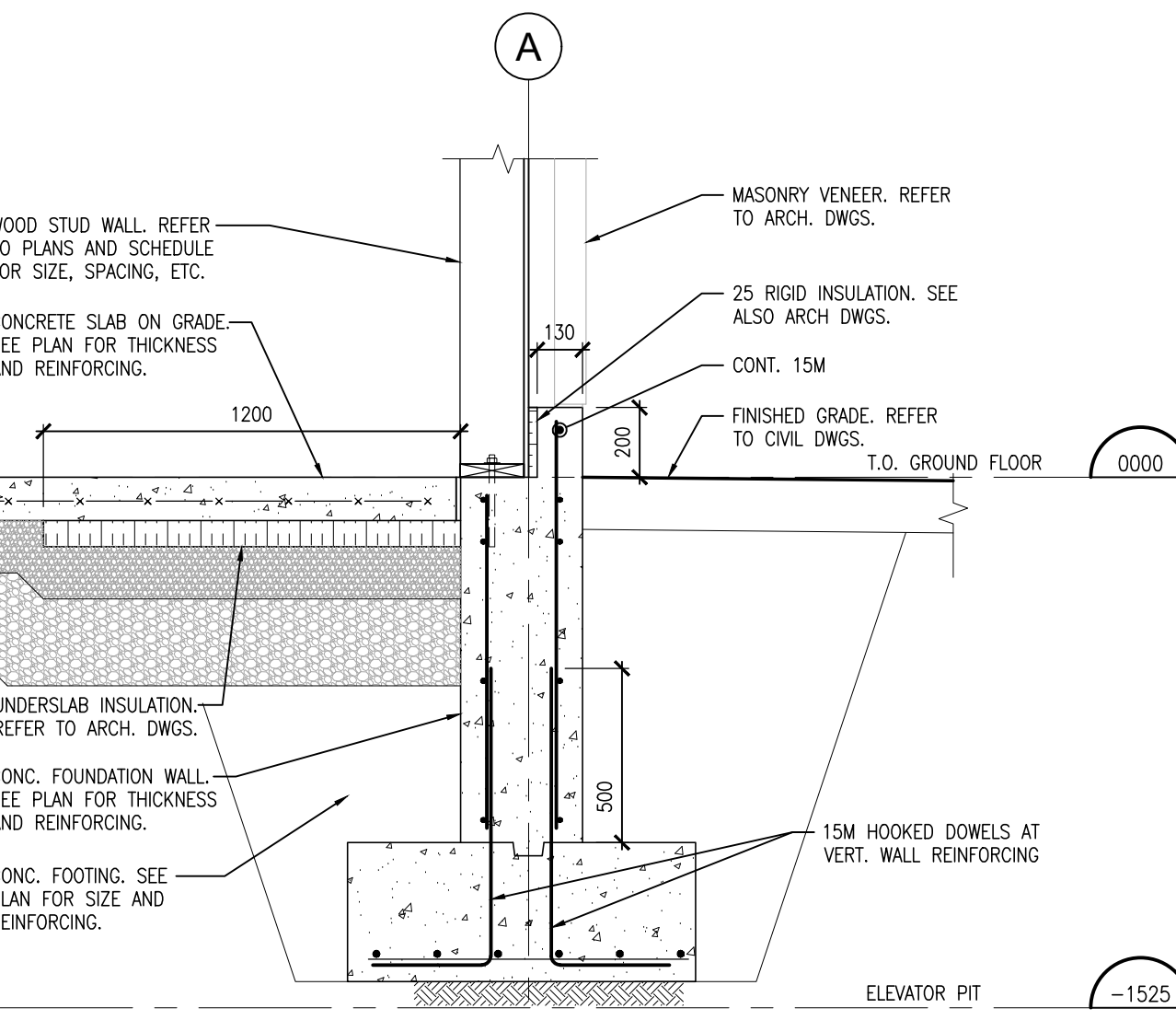
4 FOUNDATION SECTION  
S501 1:20



3 FOUNDATION SECTION  
S501 1:20



2 FOUNDATION SECTION  
S501 1:20



1 FOUNDATION SECTION  
S501 1:20

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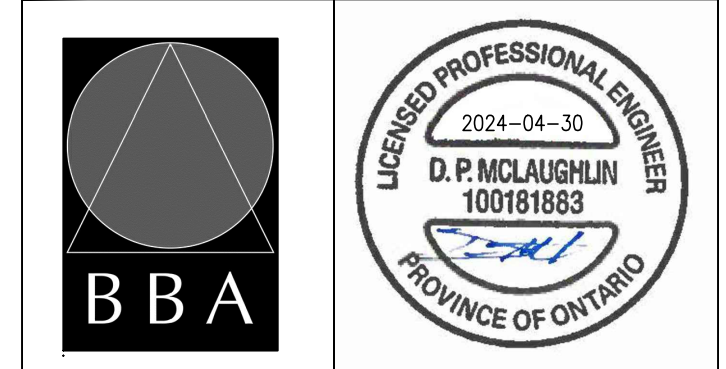
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PROJECT:  
**MIXED-USE BUILDING DEVELOPMENT (BLDG.#3) PHASE 1**  
1697 HIGHWAY#2 COURTICE, ON

R.H. Gay Holdings Co.

DRAWING:  
**FOUNDATION SECTIONS**



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PROJECT NO: **21046**  
DRAWING NO: **S501**

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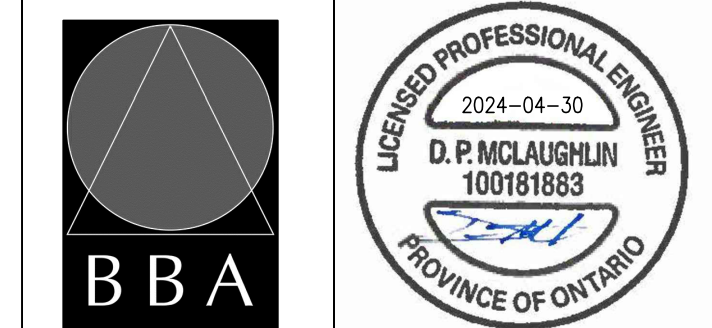
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1	ISSUED FOR PERMIT	APRIL 30, 2024	BBA

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PROJECT:  
**MIXED-USE BUILDING DEVELOPMENT (BLDG.#3)**  
**PHASE 1**  
 1697 HIGHWAY#2  
 COURTCICE, ON

R.H. Gay Holdings Co.

DRAWING:  
**SECTIONS**



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DESIGN BY: MF  
 DRAWN BY: CM  
 CHECKED BY: BK

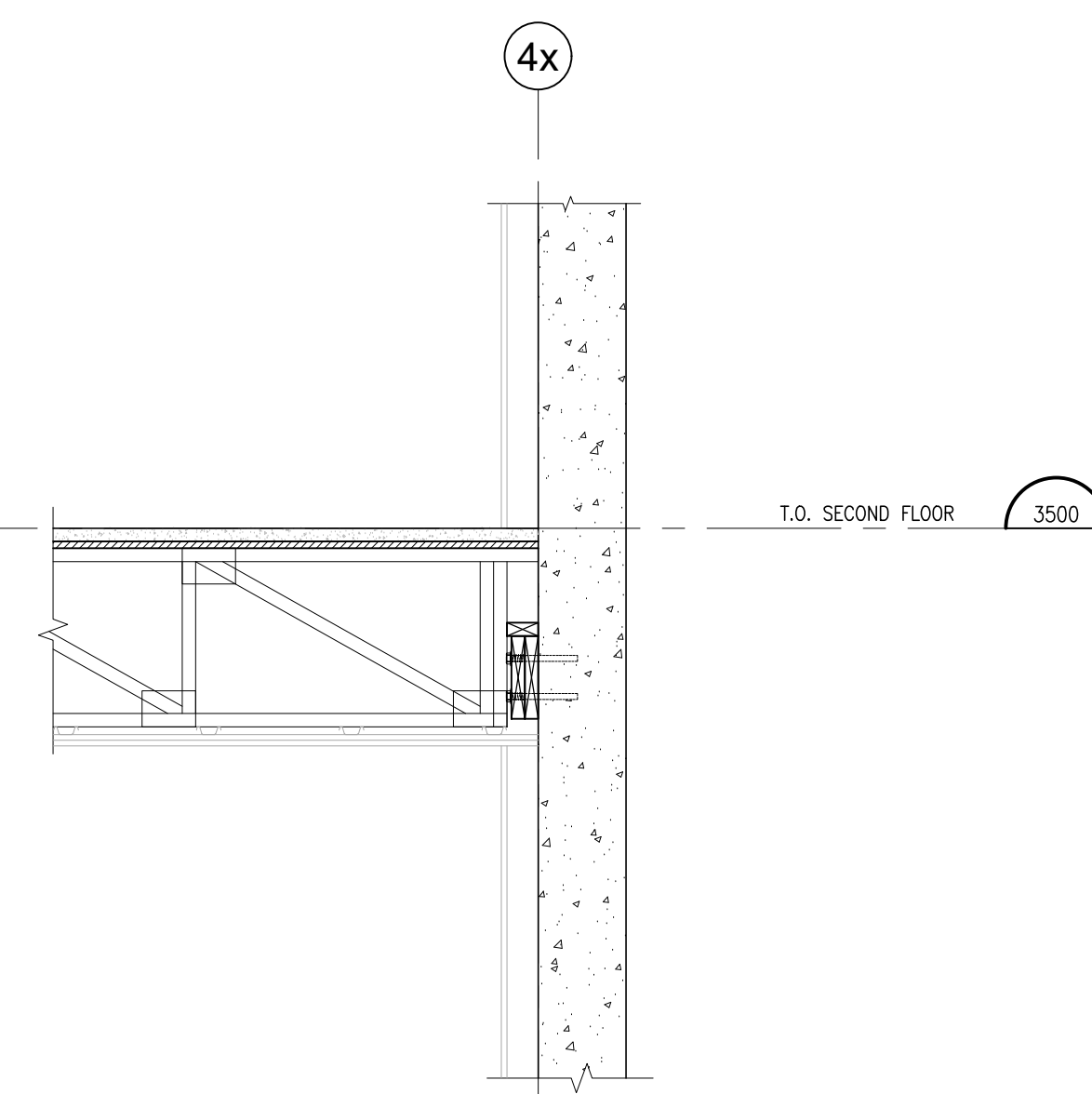
DATE: FEB. 2024

SCALE: 1:20

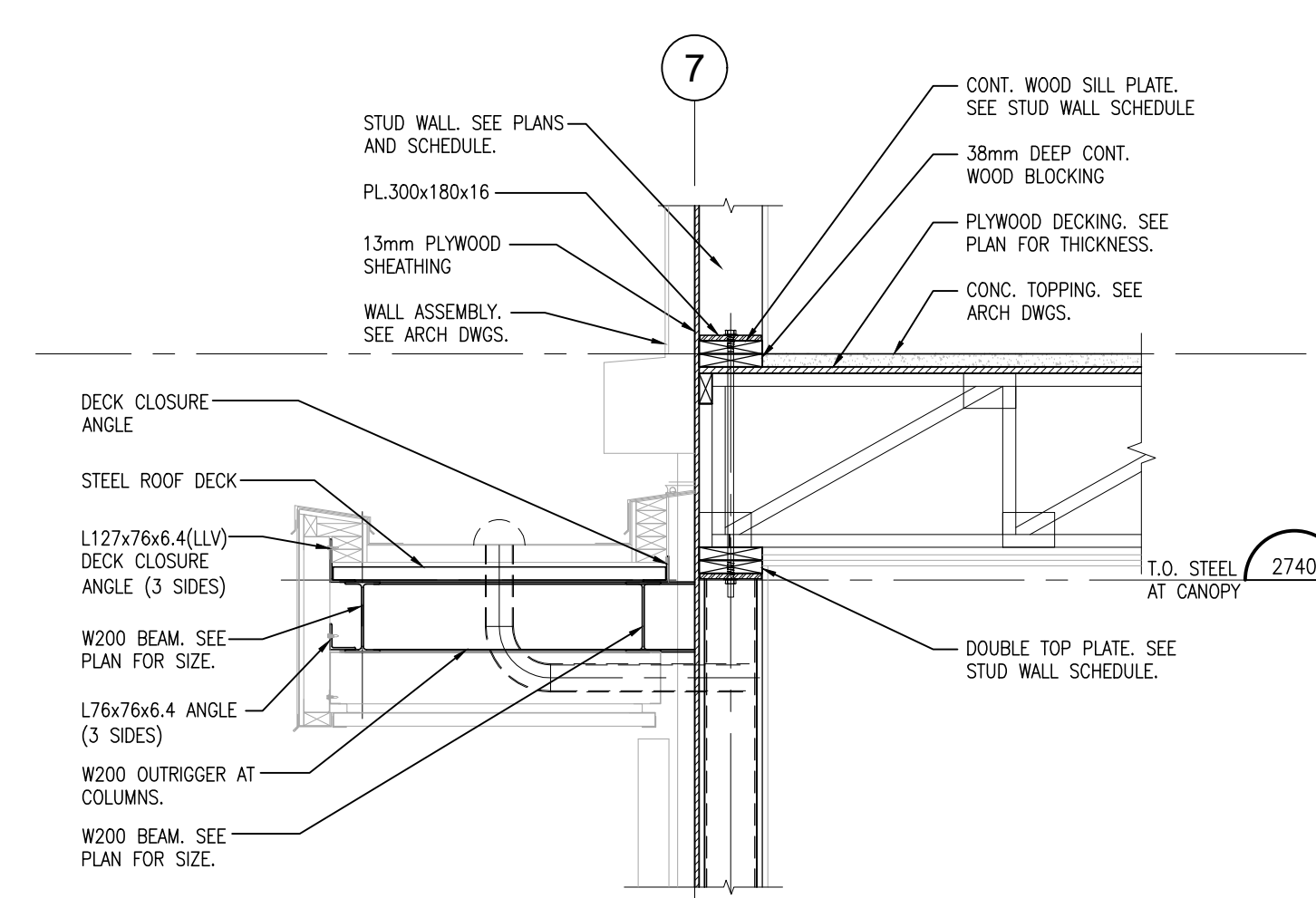
FILE:

PROJECT NO:  
**21046**

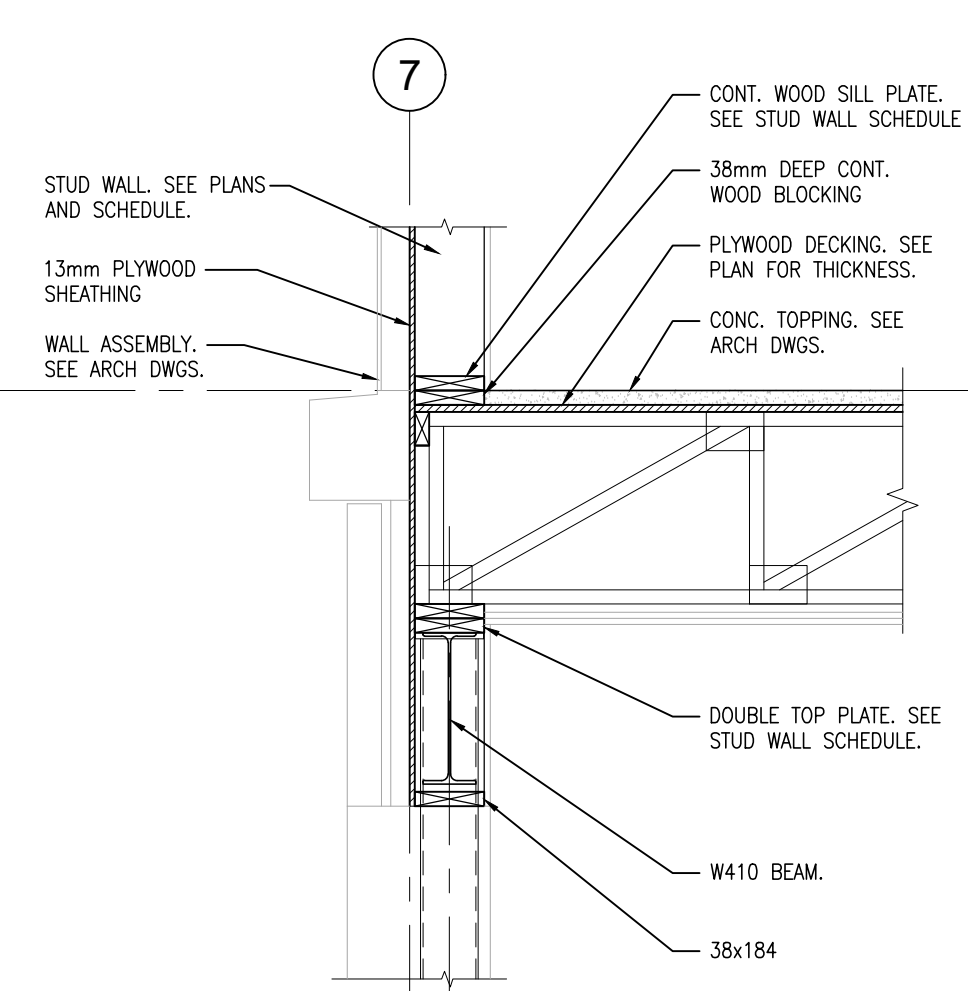
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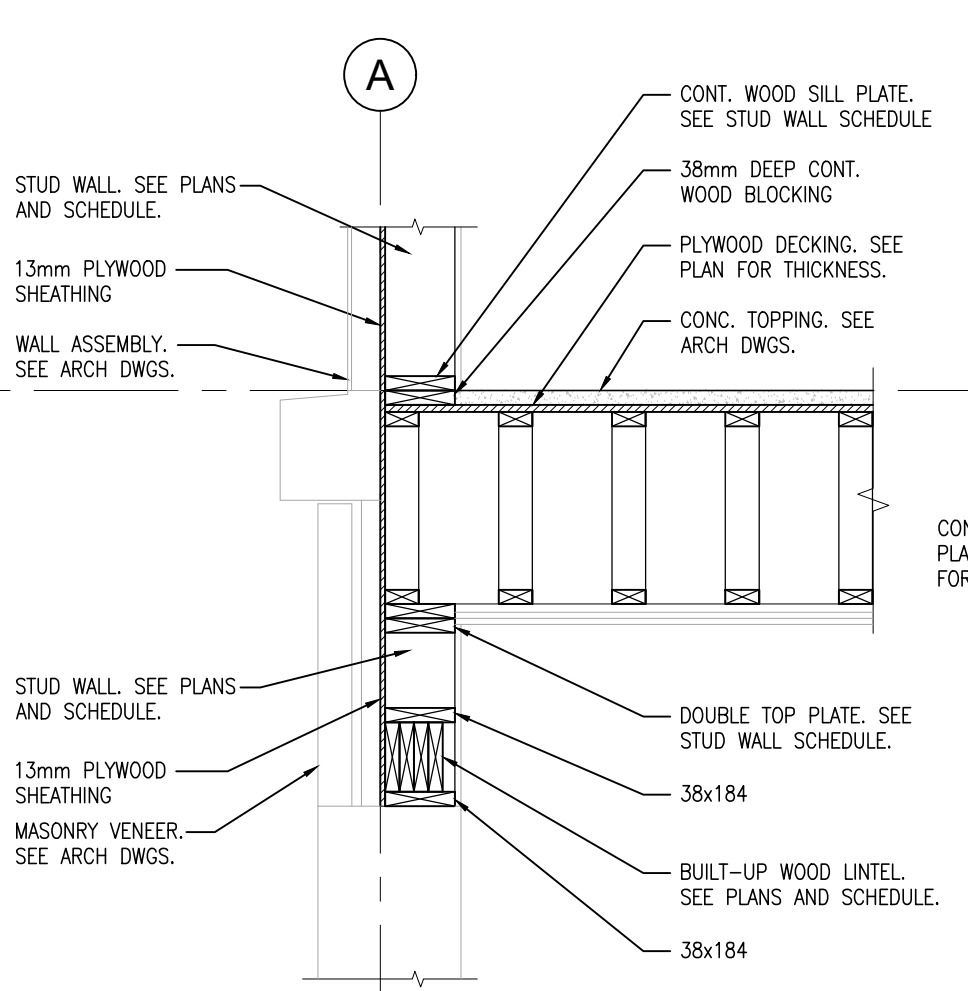
**11 SECTION**  
 S502 1:20



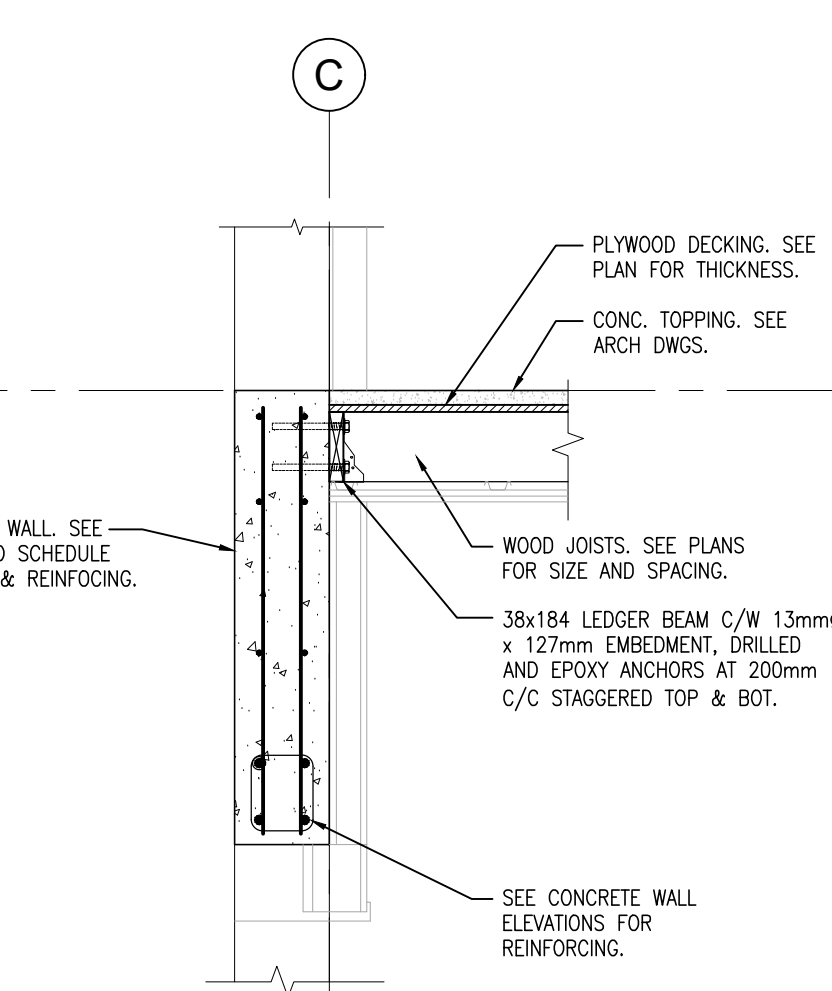
**10 SECTION**  
 S502 1:20



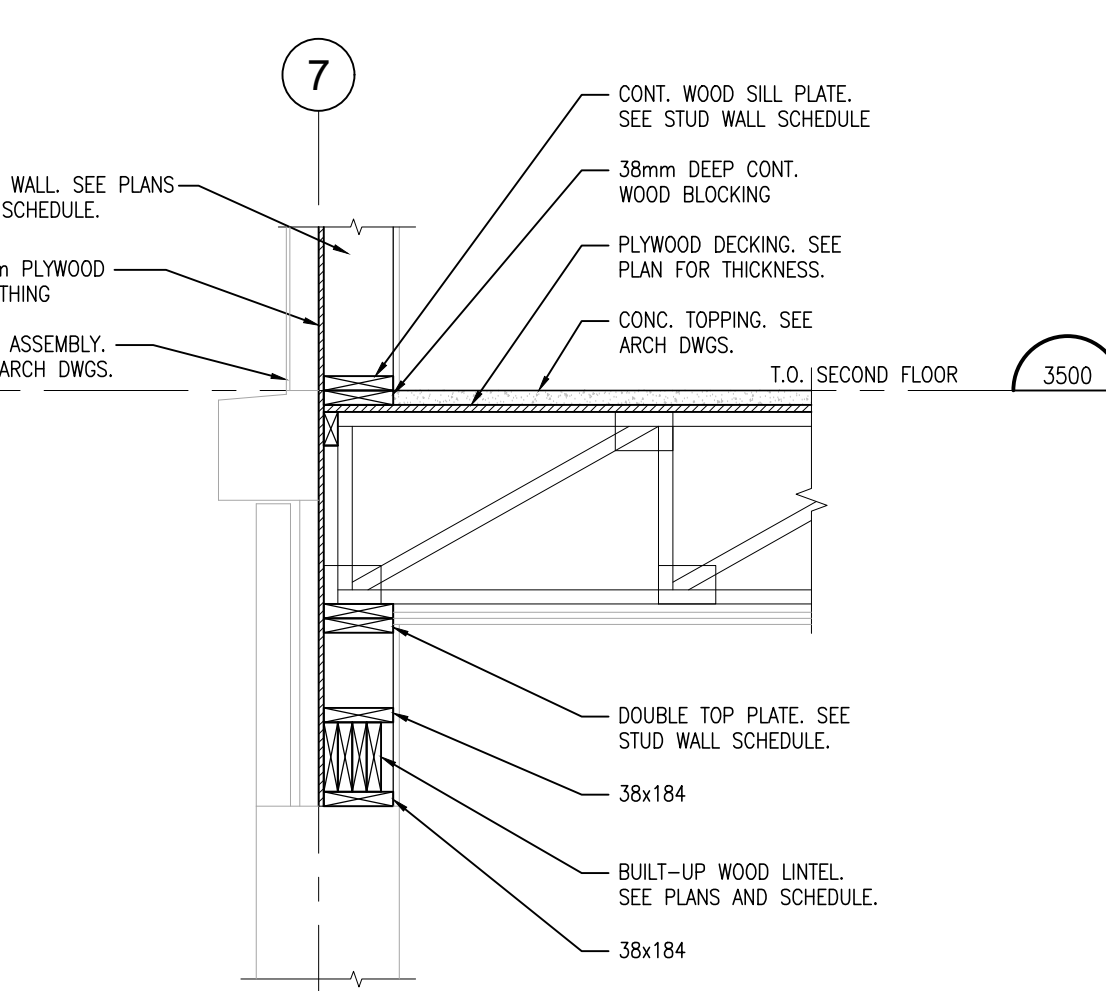
**8 SECTION**  
 S502 1:20



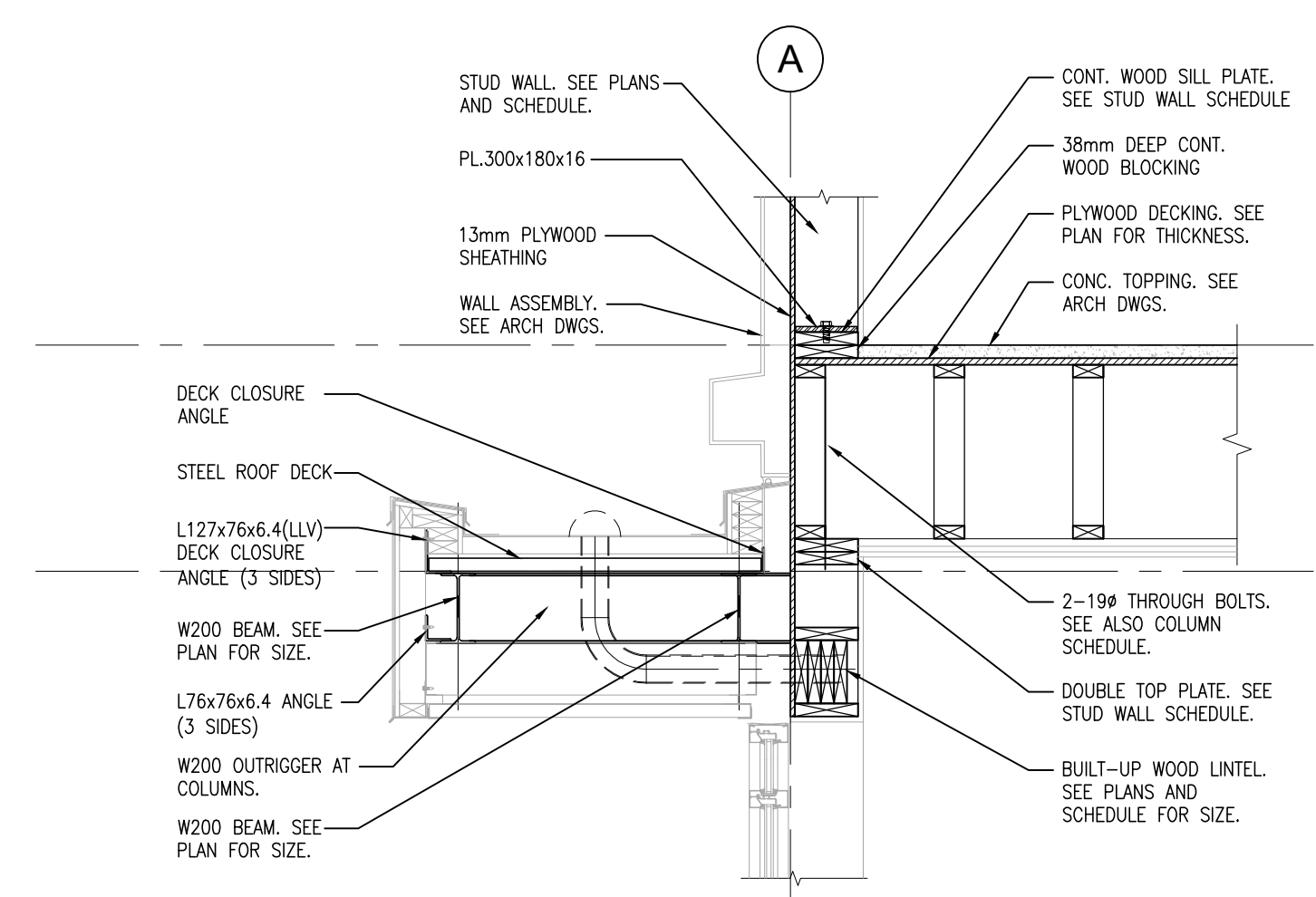
**7 SECTION**  
 S502 1:20



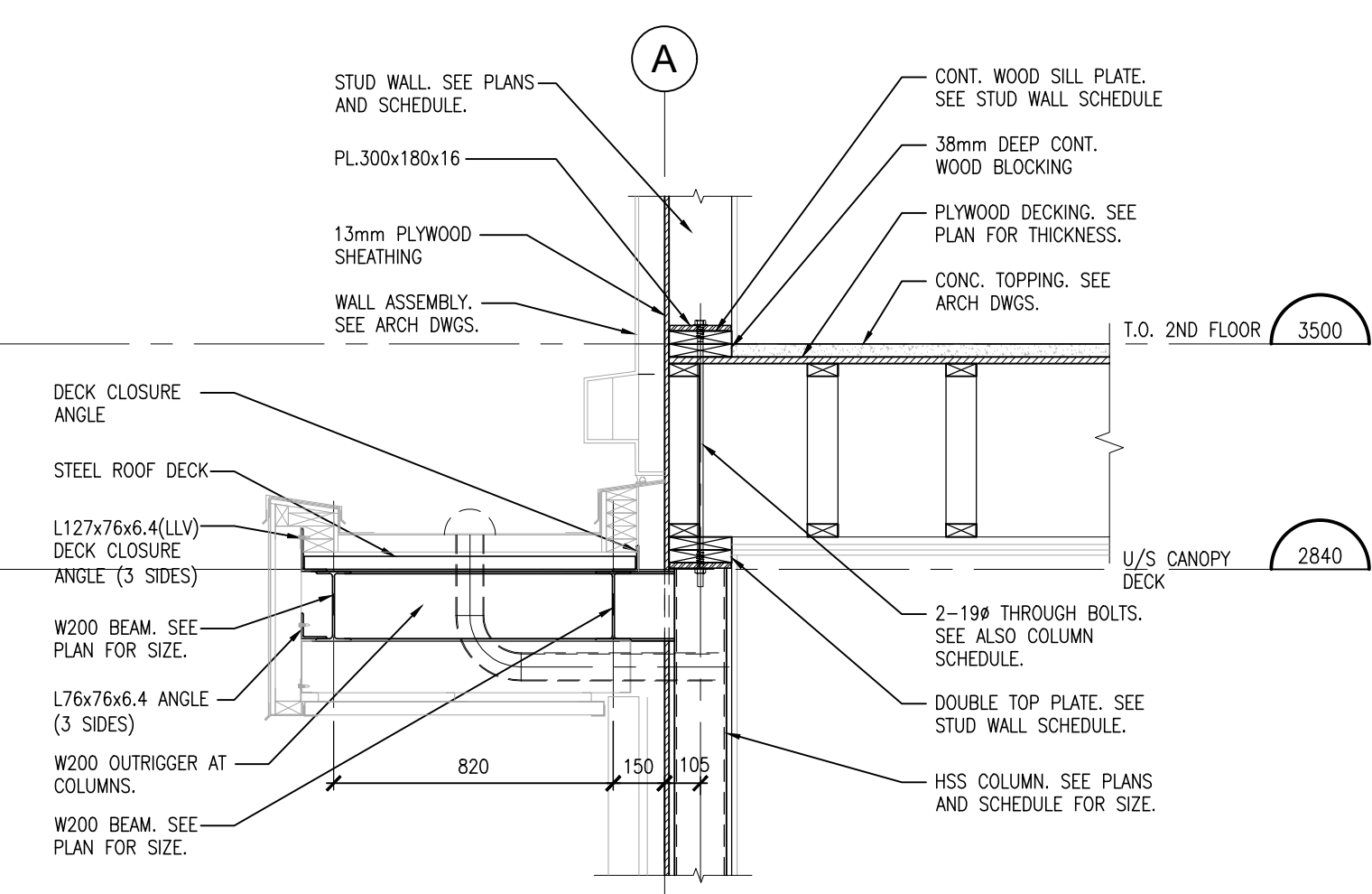
**6 SECTION**  
 S502 1:20



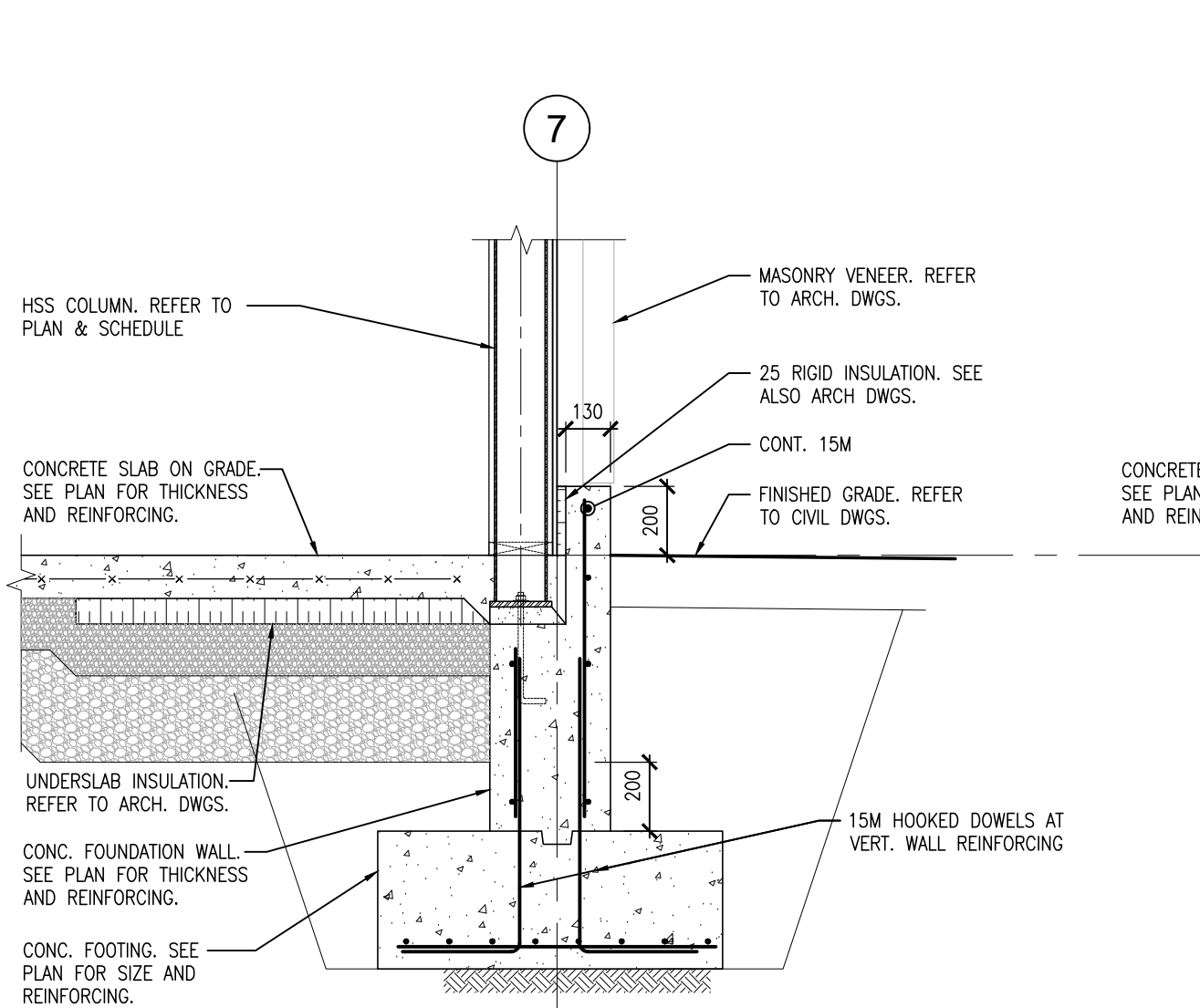
**5 SECTION**  
 S502 1:20



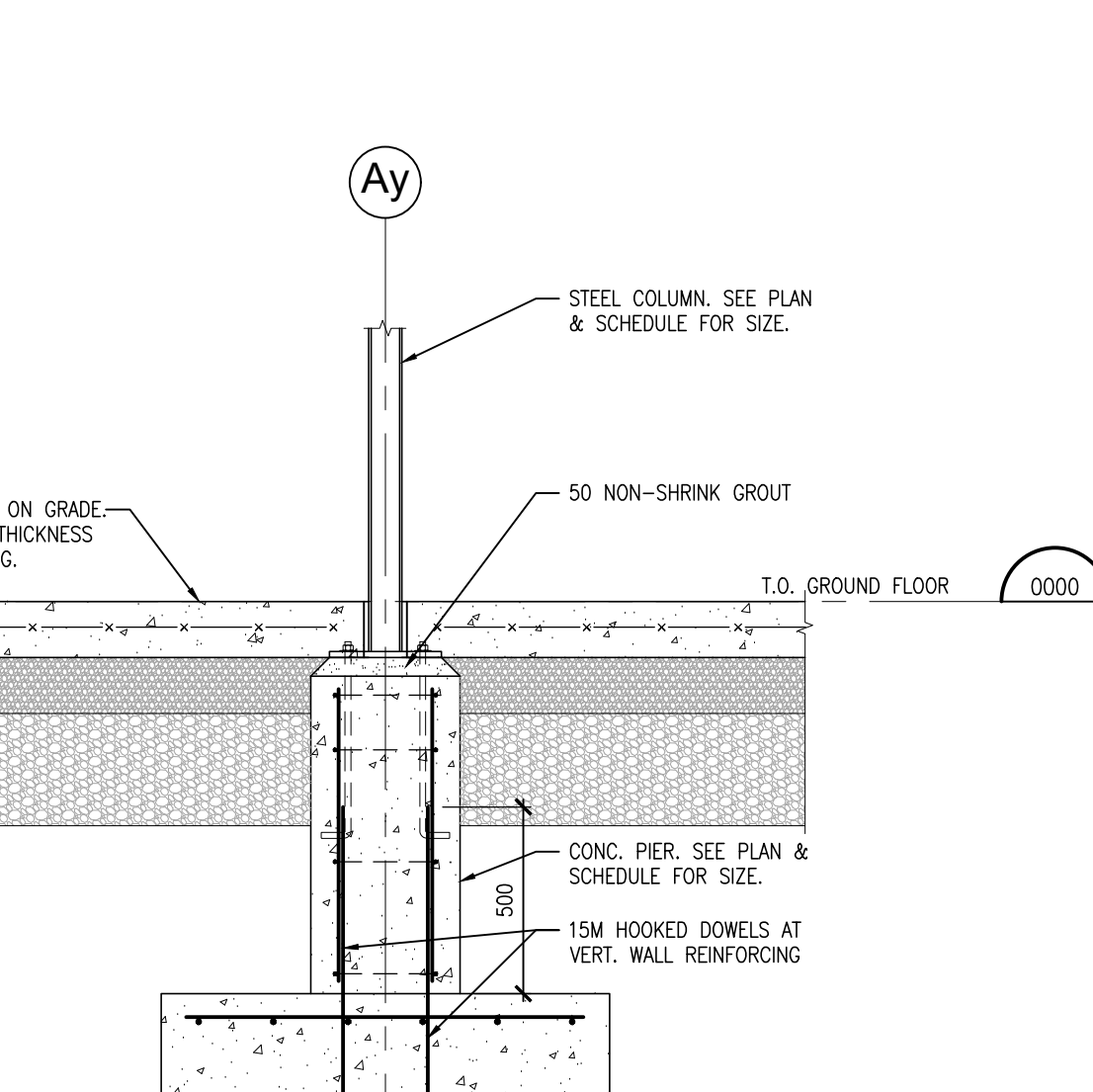
**4 CANOPY SECTION**  
 S502 1:20



**3 CANOPY SECTION**  
 S502 1:20



**2 FOUNDATION SECTION**  
 S502 1:20

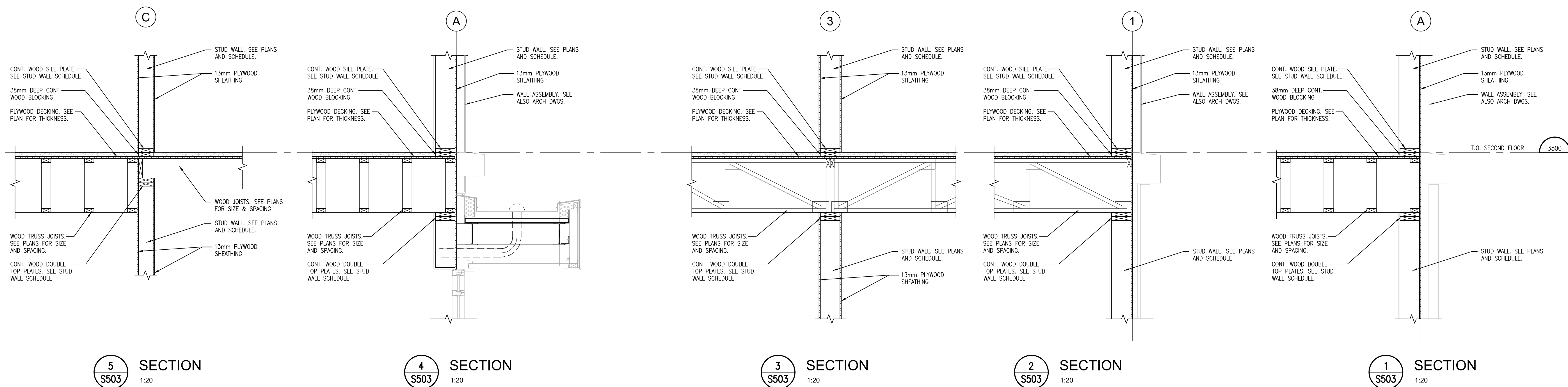
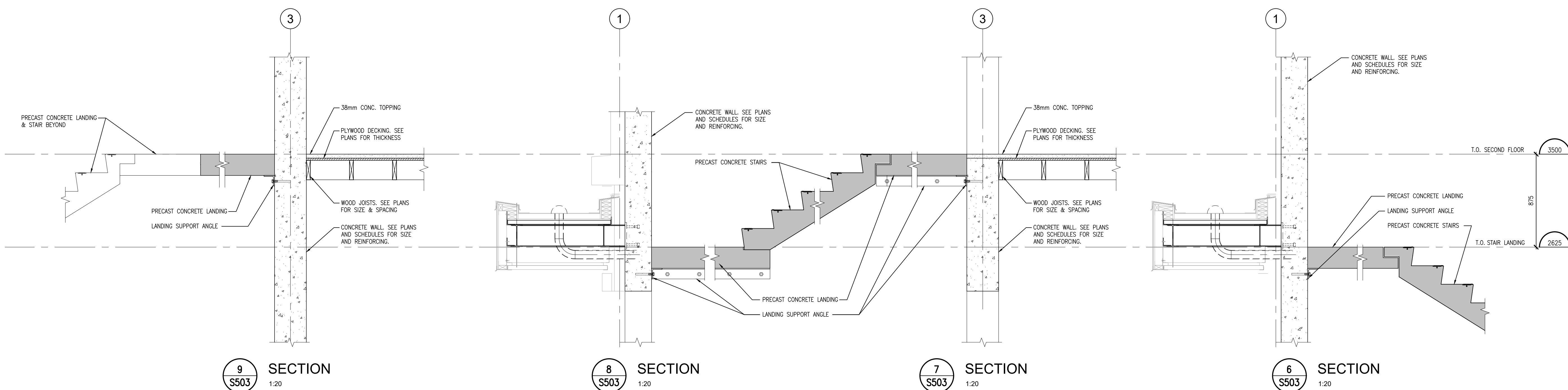


**1 FOUNDATION SECTION**  
 S502 1:20

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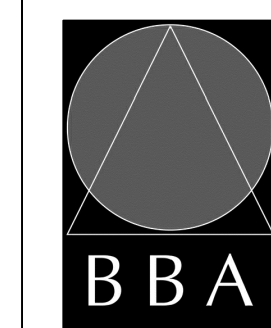
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PROJECT:  
**MIXED-USE BUILDING DEVELOPMENT (BLDG.#3) PHASE 1**  
 1697 HIGHWAY#2  
 COURTYCE, ON

R.H. Gay Holdings Co.

DRAWING:  
**SECTIONS**



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 Fax: (905) 666-5250  
 e-mail: bba@bba-archeng.com

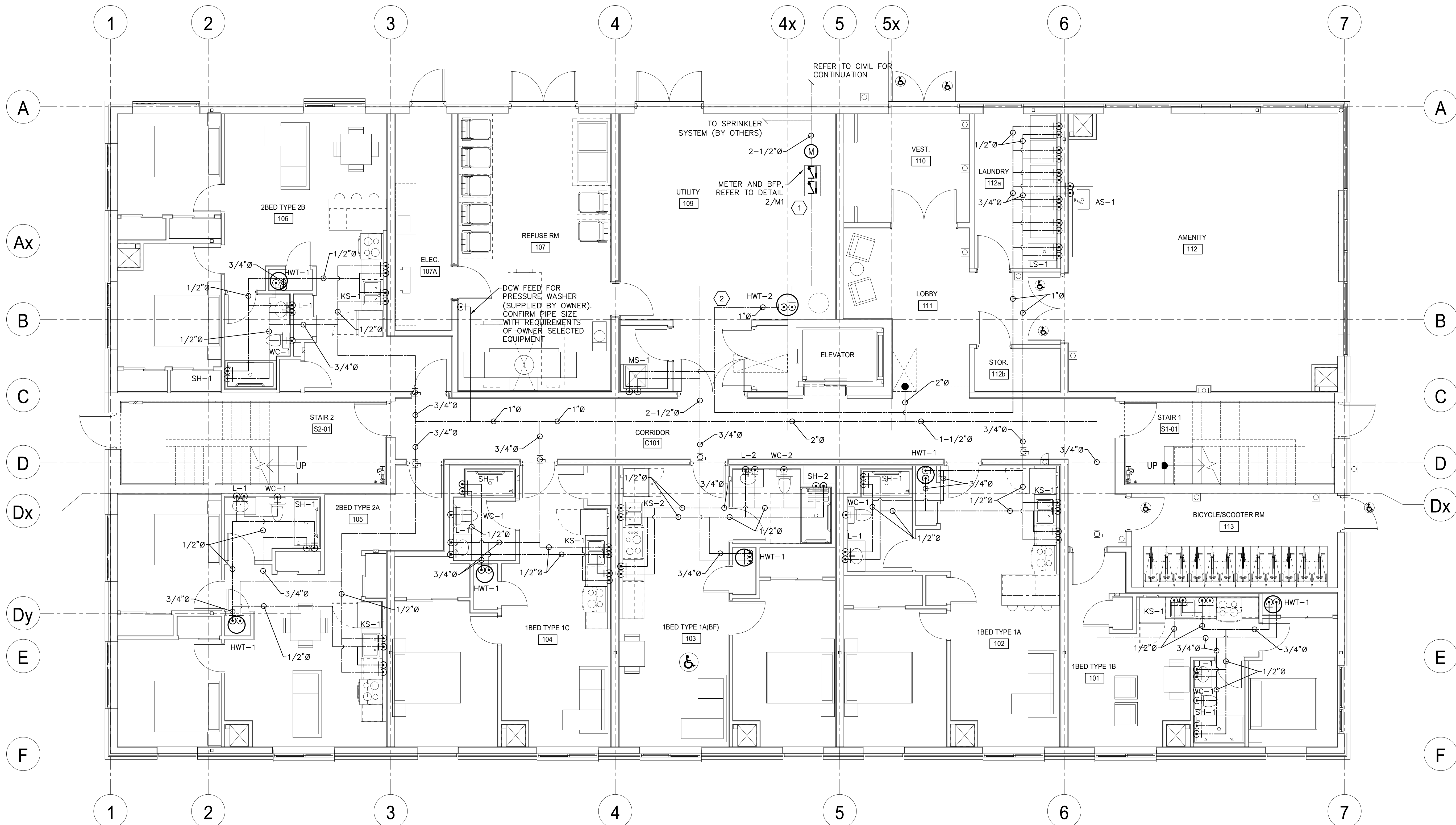


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DRAWN BY: CM	% COMPLETE:
CHECKED BY: BK	INITIAL:
DATE: FEB. 2024	SCALE:
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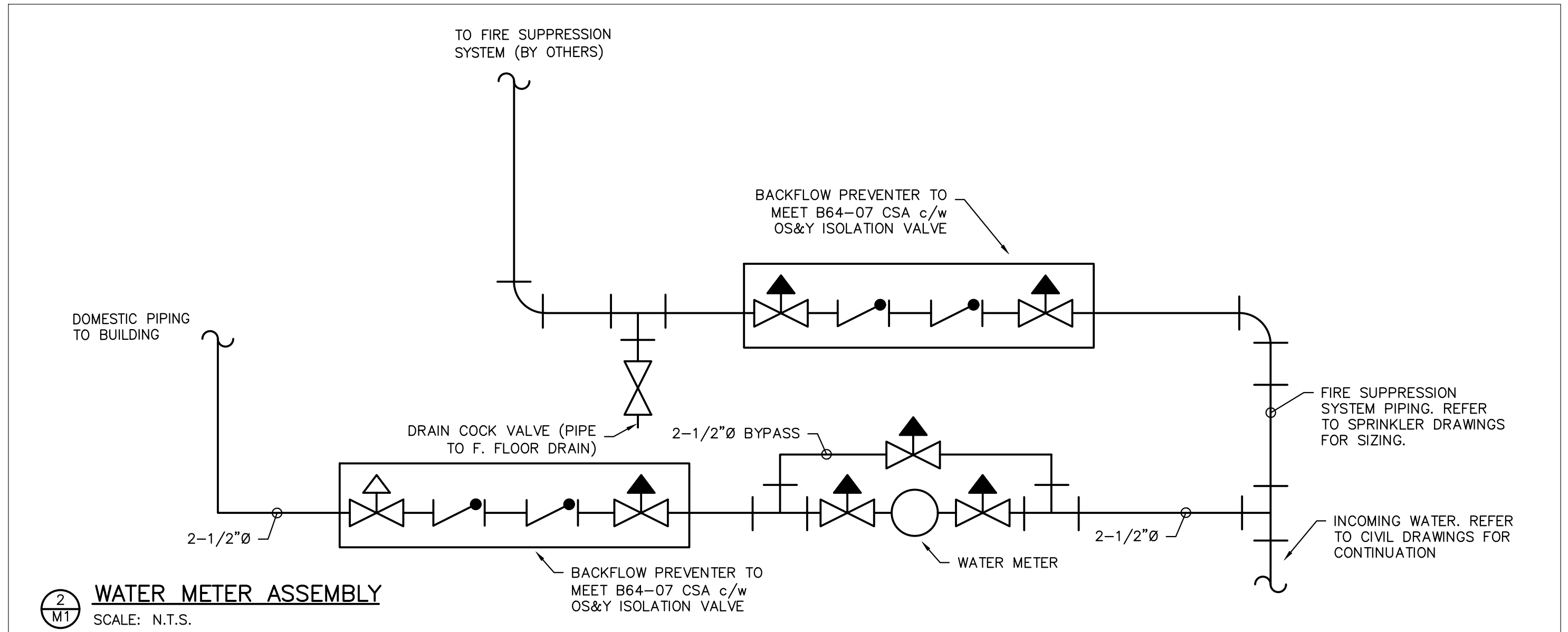
PROJECT NO:  
**21046**

DRAWING NO:  
**S503**





**DOMESTIC LAYOUT GROUND FLOOR**  
SCALE: 1:60



**WATER METER ASSEMBLY**  
SCALE: N.T.S.

**GENERAL NOTES**

1. DCW AND DHW CONNECTION TO ALL PLUMBING FIXTURES TO BE 1/2"Ø.
2. PROVIDE ISOLATION VALVE FOR EACH FIXTURE.
3. PROVIDE FIRE RATED SEAL FOR ANY PENETRATION THROUGH A FIRE RATED ASSEMBLY, INCLUDING ALL FLOORS AND PERIMETER WALLS OF UNITS. REFER TO ARCHITECTURAL DRAWINGS FOR FIRE SEPARATIONS.

4. PLUMBING FIXTURE LABELS. ALL NON-ACCESSIBLE SUITES ARE TYPICAL AND LABELED AS FOLLOWS:
  - KS-1 (KITCHEN SINK)
  - L-1 (LAV)
  - WC-1 (WATER CLOSET)
  - SH-1 (BATH/SHOWER)

- ALL ACCESSIBLE SUITES ARE TYPICAL AND LABELED AS FOLLOWS:
- KS-2 (KITCHEN SINK)
  - L-2 (LAV)
  - WC-2 (WATER CLOSET)
  - SH-2 (SHOWER)

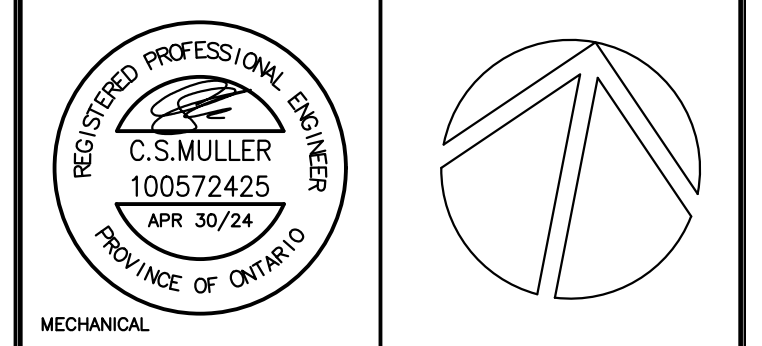
**DRAWING NOTES**

- ① COORDINATE EXACT LOCATION OF METER ASSEMBLY WITH SPRINKLER DRAWINGS AND SITE CONDITIONS.
- ② INSULATE DHW PIPE FROM HWT TO FIXTURES.

NO.	DESCRIPTION	DATE	BY
0	ISSUED FOR PERMIT	2024.04.30	CSM

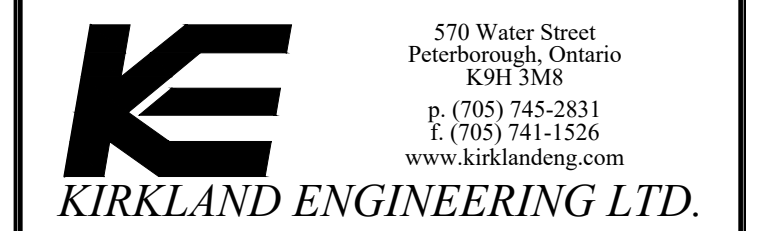
**REVISIONS**

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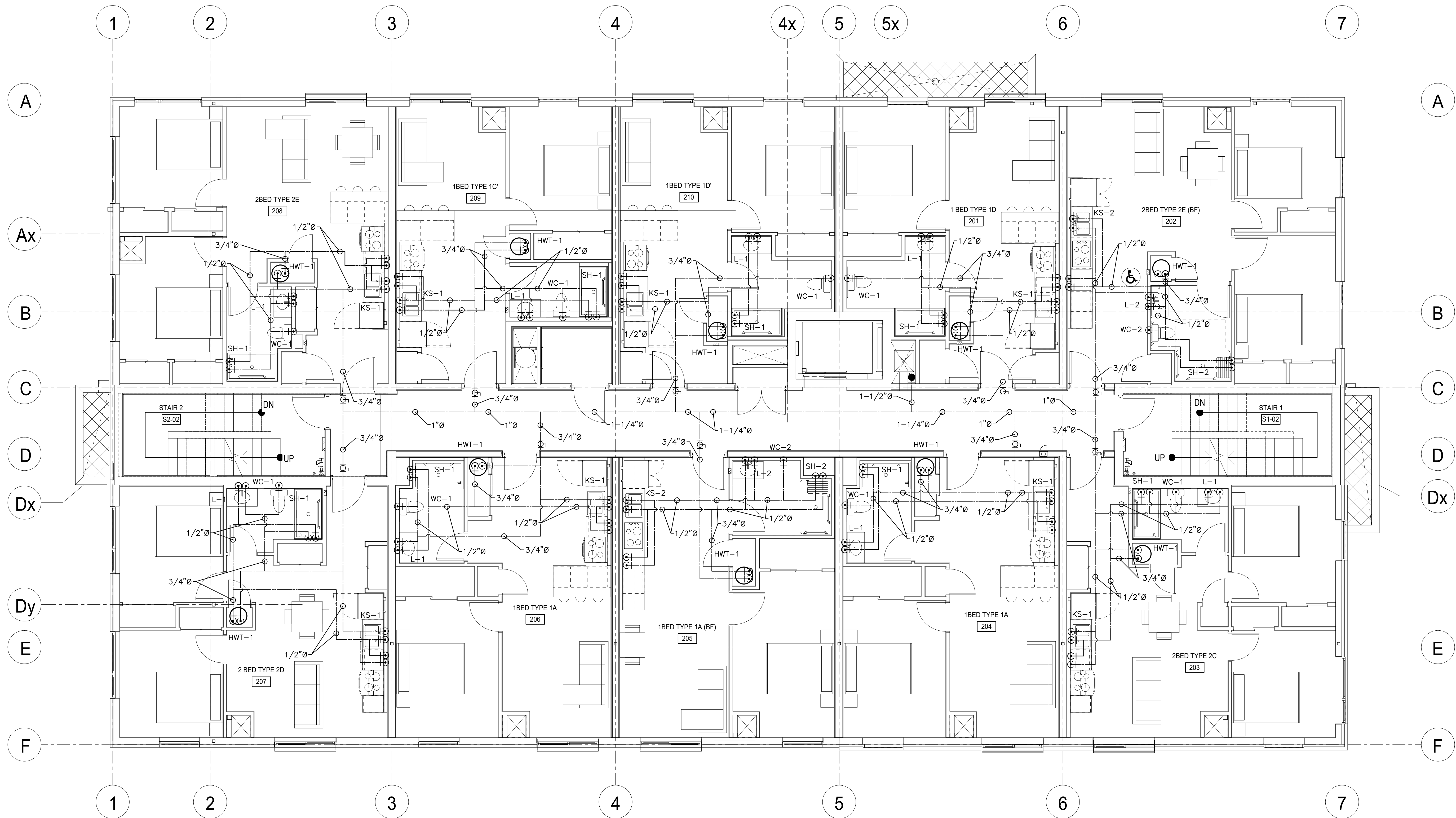
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PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**GROUND FLOOR DOMESTIC WATER**

DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	<b>M1</b>
APPROVED	CSM	
PROJECT	7393	



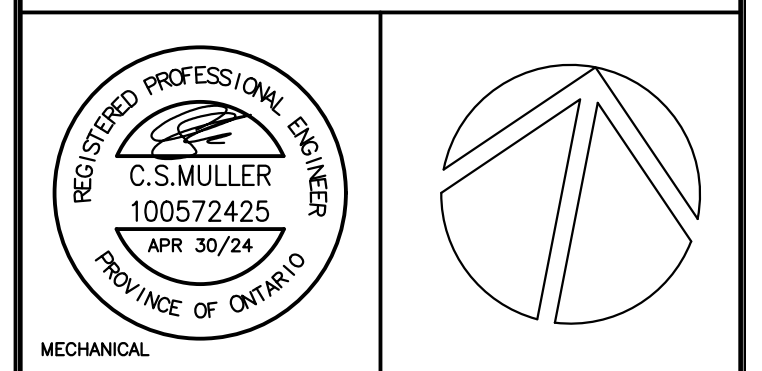
**DOMESTIC LAYOUT SECOND FLOOR**  
SCALE: 1:60

**GENERAL NOTES**

- DCW AND DHW CONNECTION TO ALL PLUMBING FIXTURES TO BE 1/2"Ø.
- PROVIDE ISOLATION VALVE FOR EACH FIXTURE.
- PROVIDE FIRE RATED SEAL FOR ANY PENETRATION THROUGH A FIRE RATED ASSEMBLY, INCLUDING ALL FLOORS AND PERIMETER WALLS OF UNITS. REFER TO ARCHITECTURAL DRAWINGS FOR FIRE SEPARATIONS.
- PLUMBING FIXTURE LABELS. ALL NON-ACCESSIBLE SUITES ARE TYPICAL AND LABELED AS FOLLOWS:
  - KS-1 (KITCHEN SINK)
  - L-1 (LAV)
  - WC-1 (WATER CLOSET)
  - SH-1 (BATH/SHOWER)
 ALL ACCESSIBLE SUITES ARE TYPICAL AND LABELED AS FOLLOWS:
  - KS-2 (KITCHEN SINK)
  - L-2 (LAV)
  - WC-2 (WATER CLOSET)
  - SH-2 (SHOWER)

NO.	DESCRIPTION	DATE	BY
0	ISSUED FOR PERMIT	2024.04.30	CSM

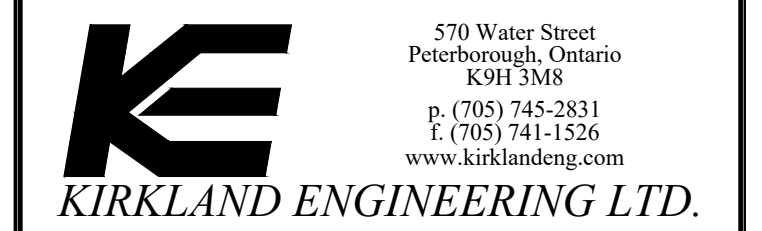
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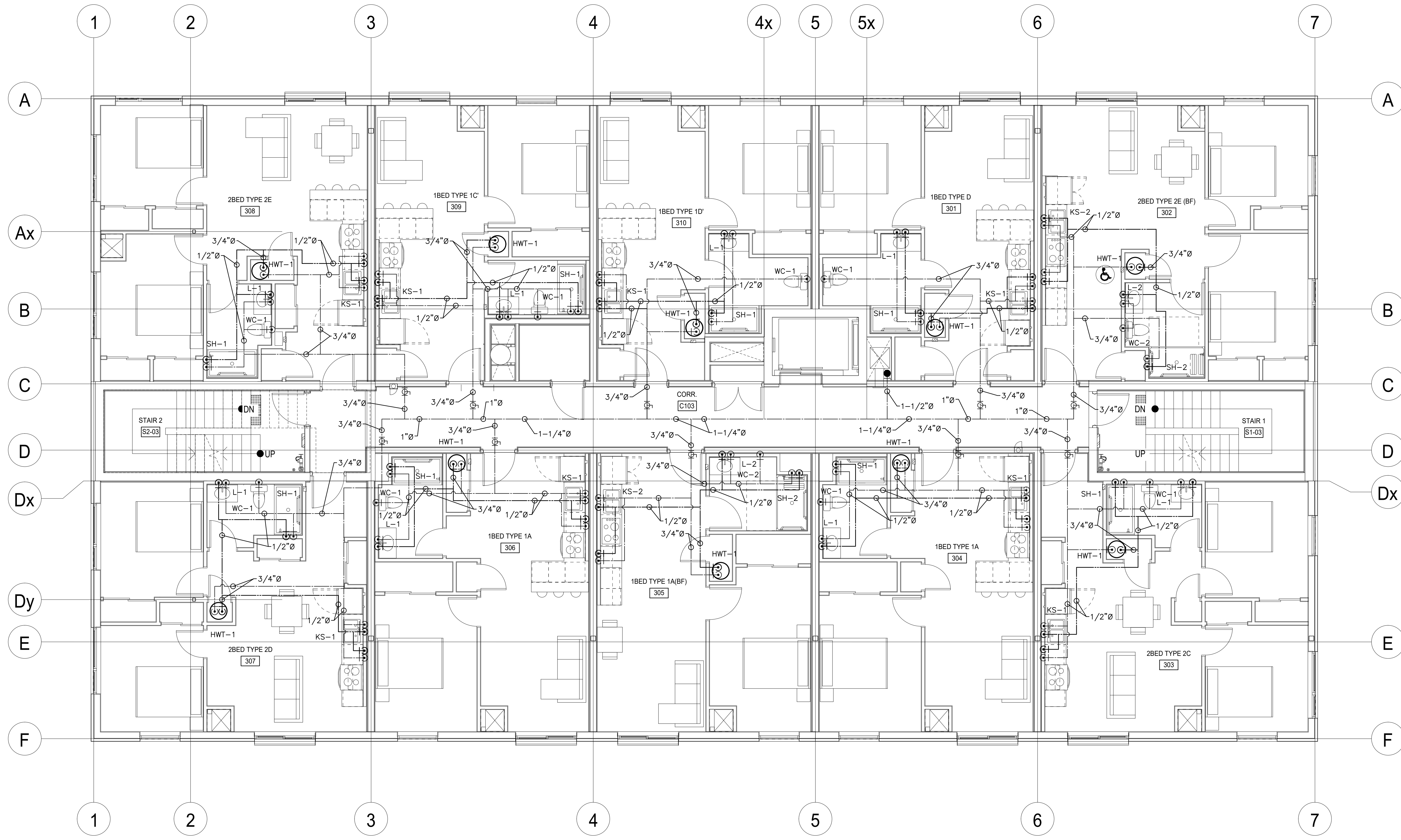
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PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**SECOND FLOOR DOMESTIC WATER**

DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	<b>M2</b>
APPROVED	CSM	
PROJECT	7393	



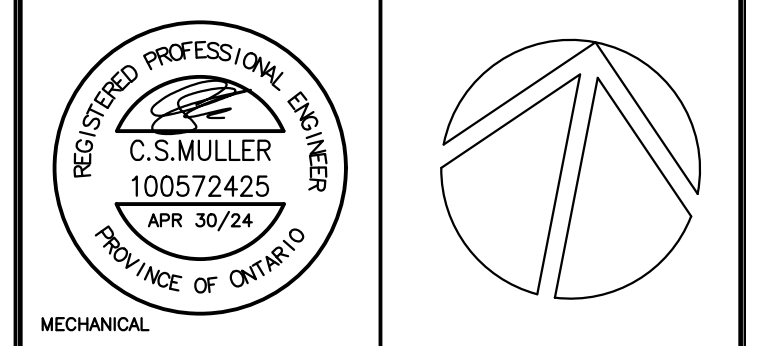
**M3** DOMESTIC LAYOUT THIRD FLOOR  
SCALE: 1:60

**GENERAL NOTES**

- DCW AND DHW CONNECTION TO ALL PLUMBING FIXTURES TO BE 1/2".
- PROVIDE ISOLATION VALVE FOR EACH FIXTURE.
- PROVIDE FIRE RATED SEAL FOR ANY PENETRATION THROUGH A FIRE RATED ASSEMBLY, INCLUDING ALL FLOORS AND PERIMETER WALLS OF UNITS. REFER TO ARCHITECTURAL DRAWINGS FOR FIRE SEPARATIONS.
- PLUMBING FIXTURE LABELS. ALL NON-ACCESSIBLE SUITES ARE TYPICAL AND LABELED AS FOLLOWS:
  - KS-1 (KITCHEN SINK)
  - L-1 (LAV)
  - WC-1 (WATER CLOSET)
  - SH-1 (BATH/SHOWER)
 ALL ACCESSIBLE SUITES ARE TYPICAL AND LABELED AS FOLLOWS:
  - KS-2 (KITCHEN SINK)
  - L-2 (LAV)
  - WC-2 (WATER CLOSET)
  - SH-2 (SHOWER)

NO.	DESCRIPTION	DATE	BY
0	ISSUED FOR PERMIT	2024.04.30	CSM

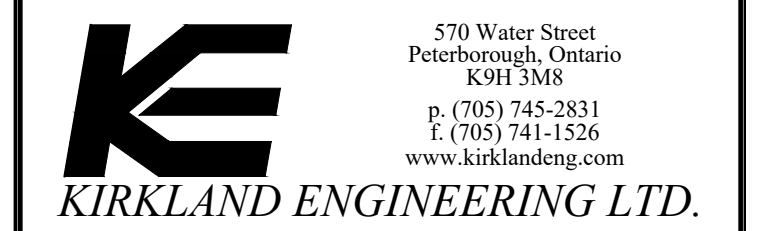
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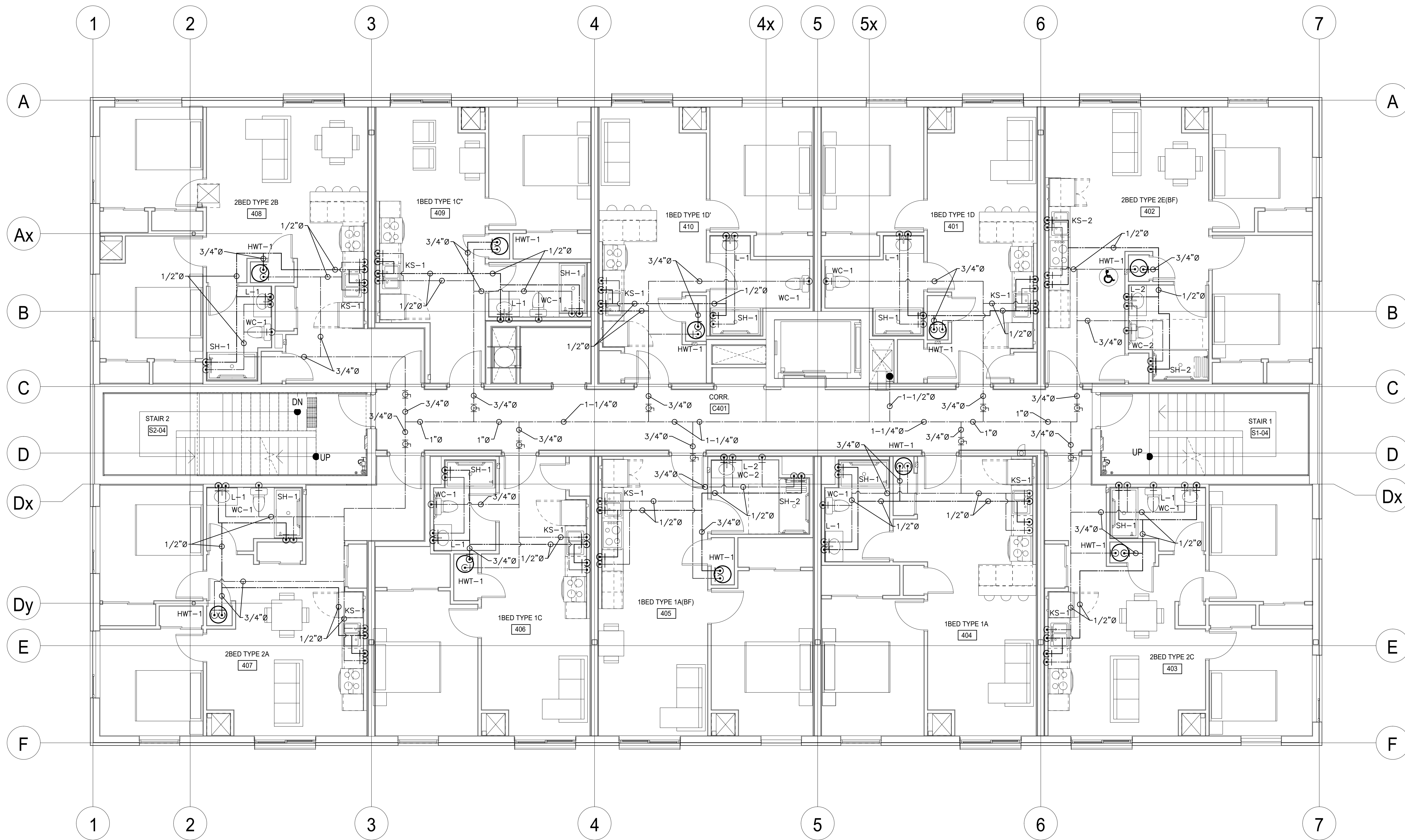


PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**THIRD FLOOR DOMESTIC WATER**

DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	<b>M3</b>
APPROVED	CSM	
PROJECT	7393	



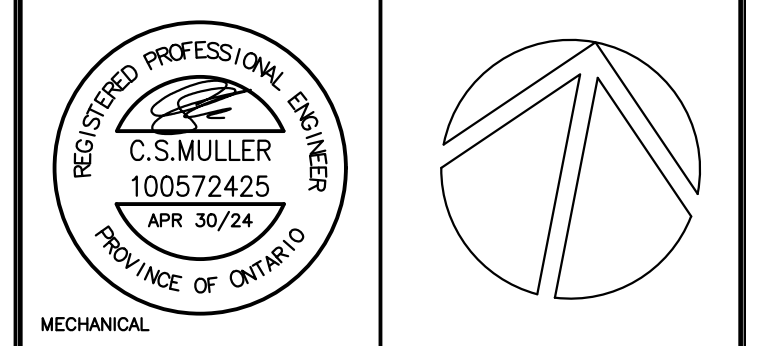


**1** DOMESTIC LAYOUT FOURTH FLOOR  
 SCALE: 1:60

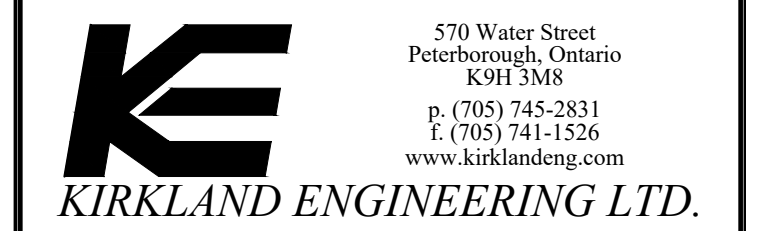
- GENERAL NOTES**
- DCW AND DHW CONNECTION TO ALL PLUMBING FIXTURES TO BE 1/2"Ø.
  - PROVIDE ISOLATION VALVE FOR EACH FIXTURE.
  - PROVIDE FIRE RATED SEAL FOR ANY PENETRATION THROUGH A FIRE RATED ASSEMBLY, INCLUDING ALL FLOORS AND PERIMETER WALLS OF UNITS. REFER TO ARCHITECTURAL DRAWINGS FOR FIRE SEPARATIONS.
  - PLUMBING FIXTURE LABELS. ALL NON-ACCESSIBLE SUITES ARE TYPICAL AND LABELED AS FOLLOWS:
    - KS-1 (KITCHEN SINK)
    - L-1 (LAV)
    - WC-1 (WATER CLOSET)
    - SH-1 (BATH/SHOWER)
 ALL ACCESSIBLE SUITES ARE TYPICAL AND LABELED AS FOLLOWS:
    - KS-2 (KITCHEN SINK)
    - L-2 (LAV)
    - WC-2 (WATER CLOSET)
    - SH-2 (SHOWER)

NO.	DESCRIPTION	DATE	BY
0	ISSUED FOR PERMIT	2024.04.30	CSM

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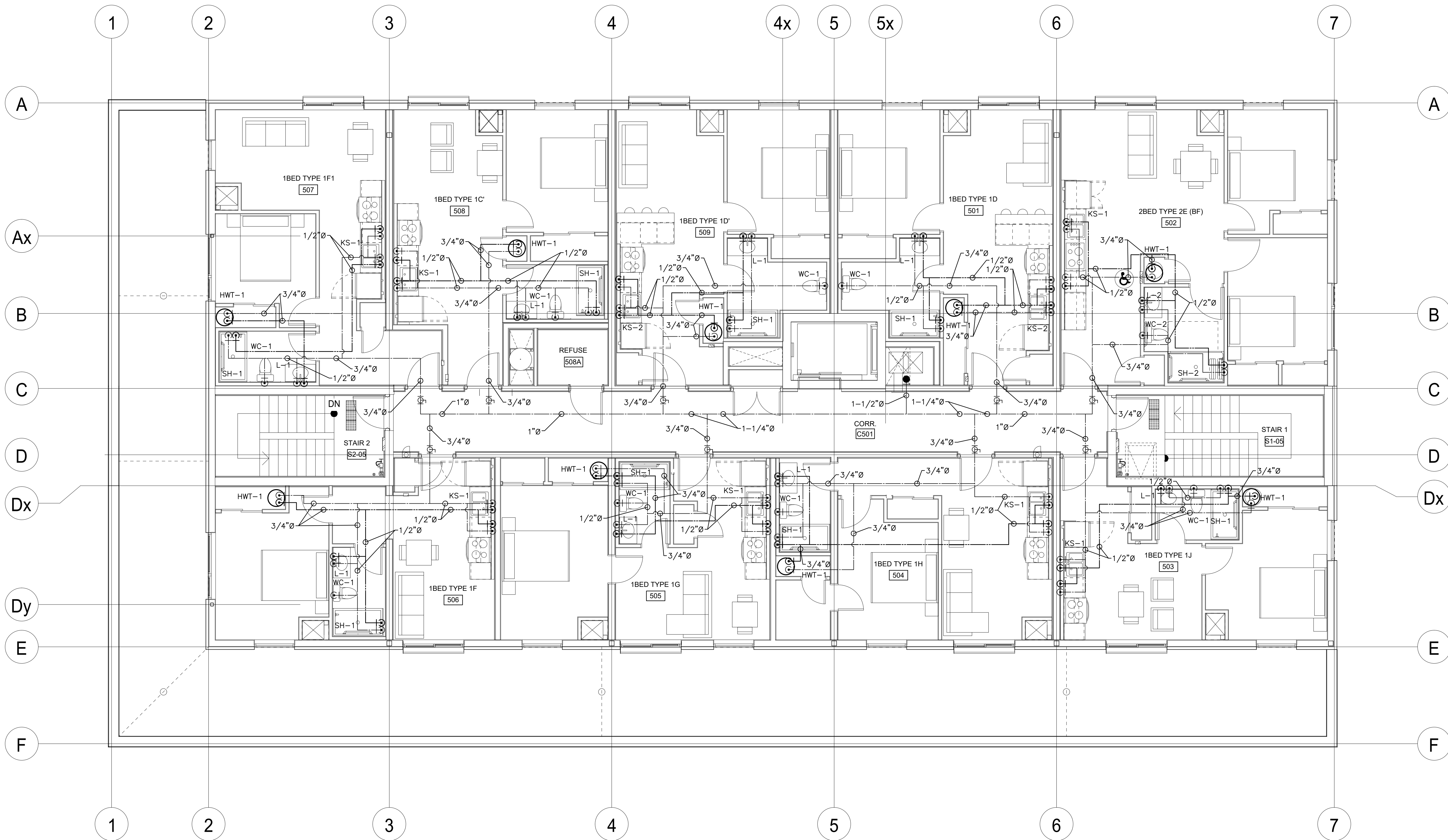
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PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
 1697 HIGHWAY No 2  
 CLARINGTON, ON

TITLE  
**FOURTH FLOOR DOMESTIC WATER**

DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	<b>M4</b>
APPROVED	CSM	
PROJECT	7393	



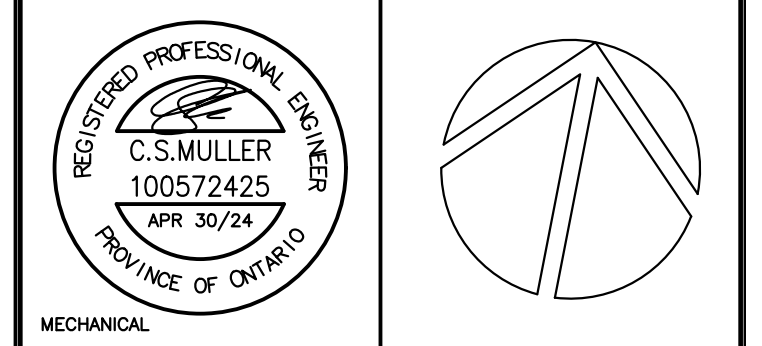
**M5 DOMESTIC LAYOUT FIFTH FLOOR**  
SCALE: 1:60

- GENERAL NOTES**
- DCW AND DHW CONNECTION TO ALL PLUMBING FIXTURES TO BE 1/2"Ø.
  - PROVIDE ISOLATION VALVE FOR EACH FIXTURE.
  - PROVIDE FIRE RATED SEAL FOR ANY PENETRATION THROUGH A FIRE RATED ASSEMBLY, INCLUDING ALL FLOORS AND PERIMETER WALLS OF UNITS. REFER TO ARCHITECTURAL DRAWINGS FOR FIRE SEPARATIONS.
  - PLUMBING FIXTURE LABELS. ALL NON-ACCESSIBLE SUITES ARE TYPICAL AND LABELED AS FOLLOWS:
    - KS-1 (KITCHEN SINK)
    - L-1 (LAV)
    - WC-1 (WATER CLOSET)
    - SH-1 (BATH/SHOWER)

- ALL ACCESSIBLE SUITES ARE TYPICAL AND LABELED AS FOLLOWS:
- KS-2 (KITCHEN SINK)
  - L-2 (LAV)
  - WC-2 (WATER CLOSET)
  - SH-2 (SHOWER)

NO.	DESCRIPTION	DATE	BY
0	ISSUED FOR PERMIT	2024.04.30	CSM

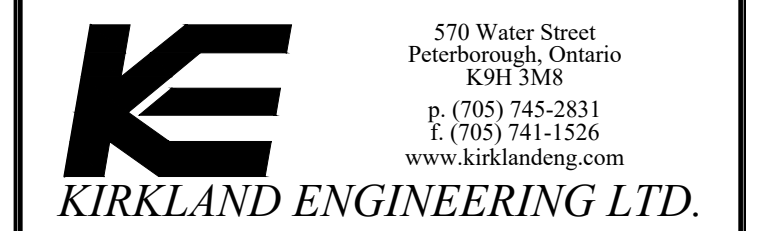
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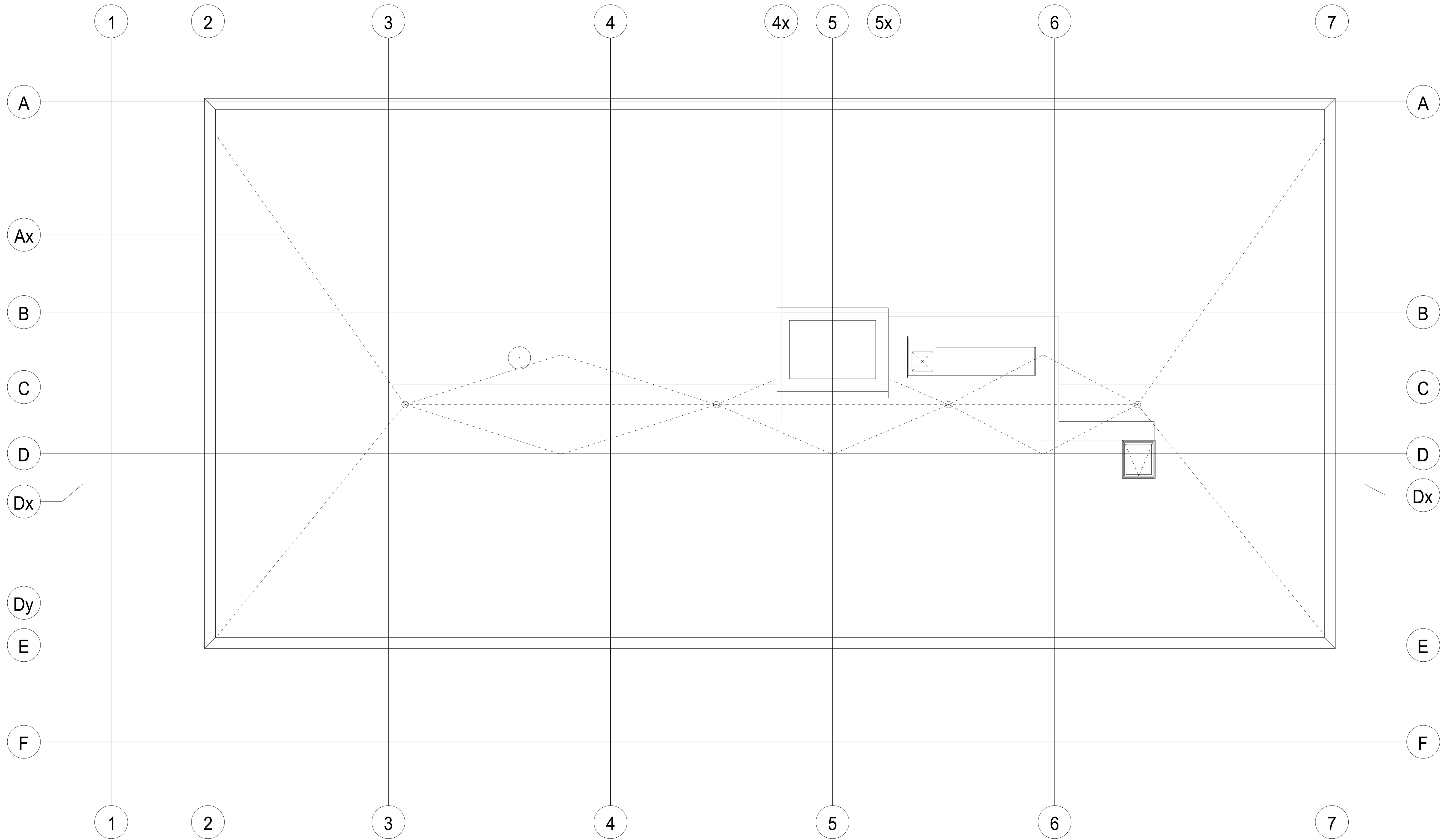
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**COURTICE SENIOR DEVELOPMENT**  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**FIFTH FLOOR DOMESTIC WATER**

DESIGN	CSM	SCALE AS NOTED
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CHECKED	CSM	<b>M5</b>
APPROVED	CSM	
PROJECT	7393	



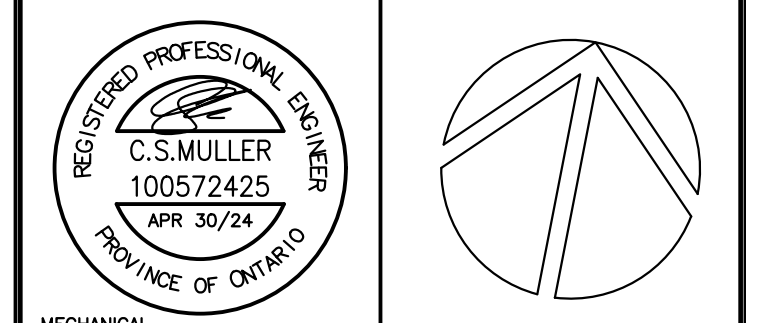
**DOMESTIC LAYOUT ROOF**  
SCALE: 1:60

**GENERAL NOTES**

1. THERE IS NO DOMESTIC WATER ON THE ROOF AT THIS TIME. SHEET HAS BEEN INCLUDED AS A PLACEHOLDER

REVISIONS			
NO.	DESCRIPTION	DATE	BY
0	ISSUED FOR PERMIT	2024.04.30	CSM

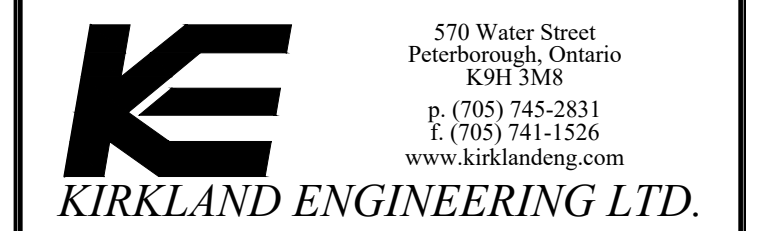
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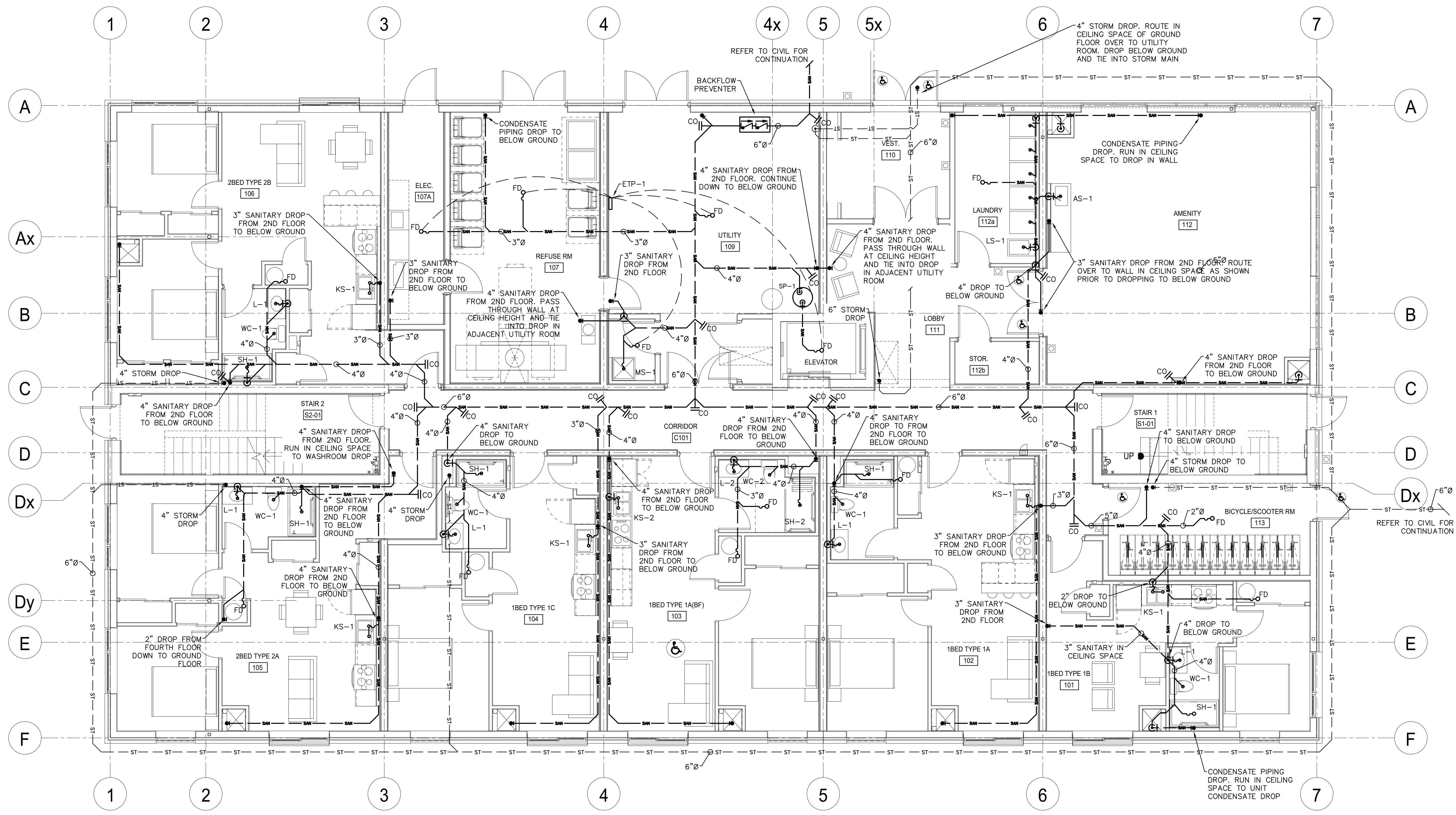
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**COURTICE SENIOR DEVELOPMENT**  
  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**ROOF DOMESTIC WATER**

DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	<b>M6</b>
APPROVED	CSM	
PROJECT	7393	



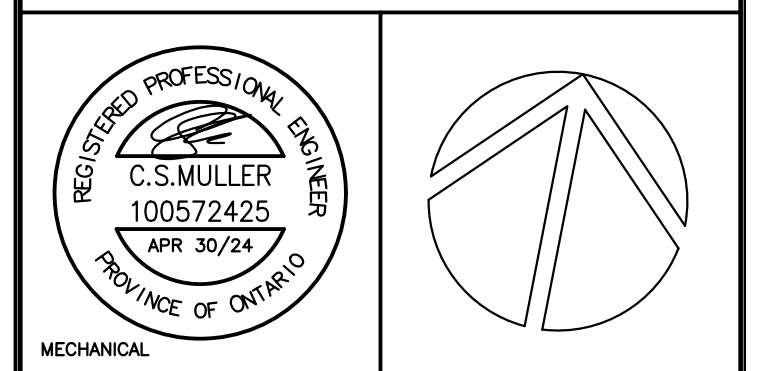
**GENERAL NOTES**

1. FLOOR DRAINS IN SUITE WATER HEATER CLOSETS TO BE INSTALLED COMPLETE WITH MECHANICAL TRAP SEAL PRIMER, SIOUX CHIEF #695, OR EQUIVALENT. CONNECT TO COLD WATER LINE IN ADJACENT WASHROOM.

NO.	DESCRIPTION	DATE	BY
0	ISSUED FOR PERMIT	2024.04.30	CSM

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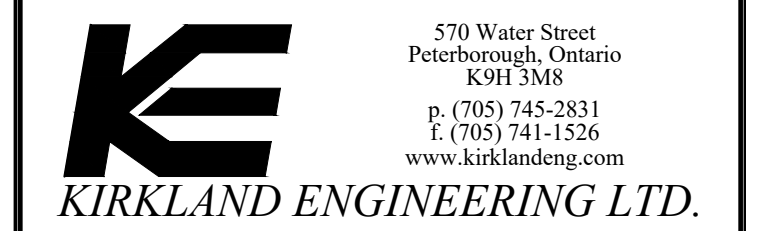


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PROJECT

**COURTICE SENIOR DEVELOPMENT**

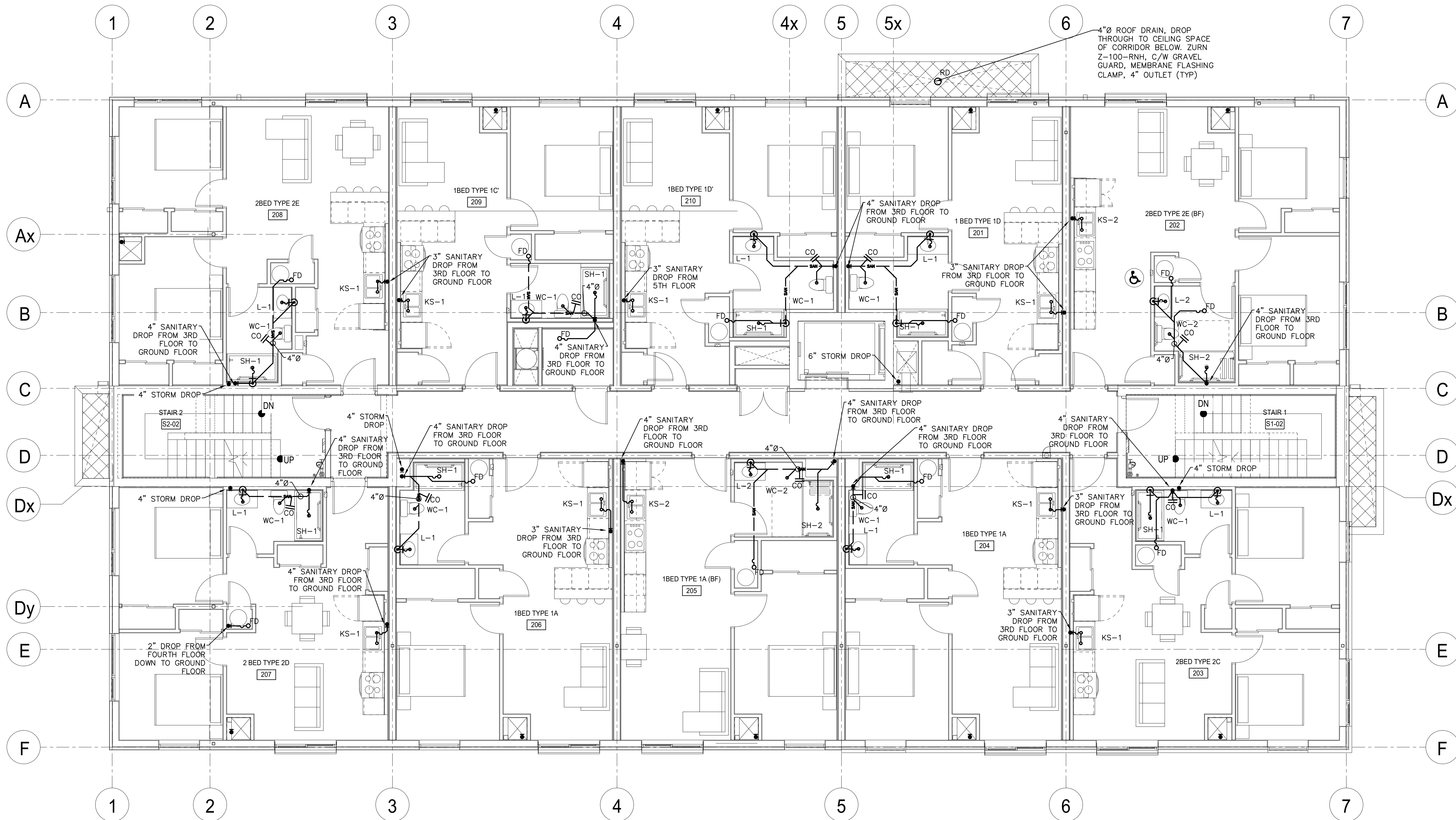
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE

**GROUND FLOOR SANITARY**

DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	<b>M7</b>
APPROVED	CSM	
PROJECT	7393	

**1 SANITARY LAYOUT GROUND FLOOR**  
SCALE: 1:60

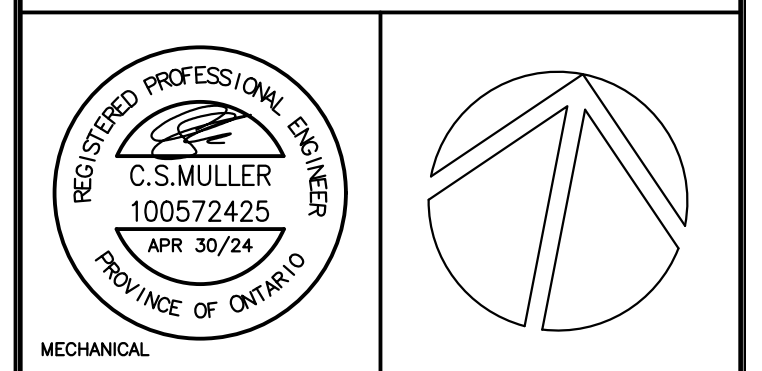


4"Ø ROOF DRAIN DROP THROUGH TO CEILING SPACE OF CORRIDOR BELOW. ZURN Z-100-RNH, C/W GRAVEL GUARD, MEMBRANE FLASHING CLAMP, 4" OUTLET (TYP)

1 SANITARY LAYOUT SECOND FLOOR  
SCALE: 1:60

NO.	DESCRIPTION	DATE	BY
0	ISSUED FOR PERMIT	2024.04.30	CSM

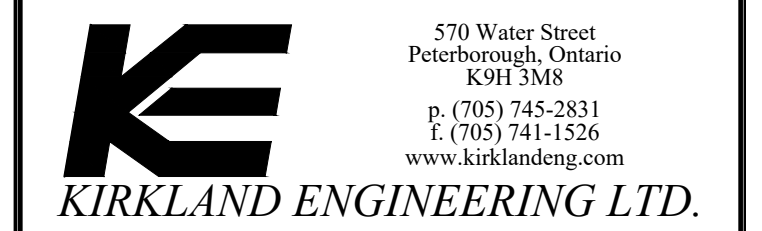
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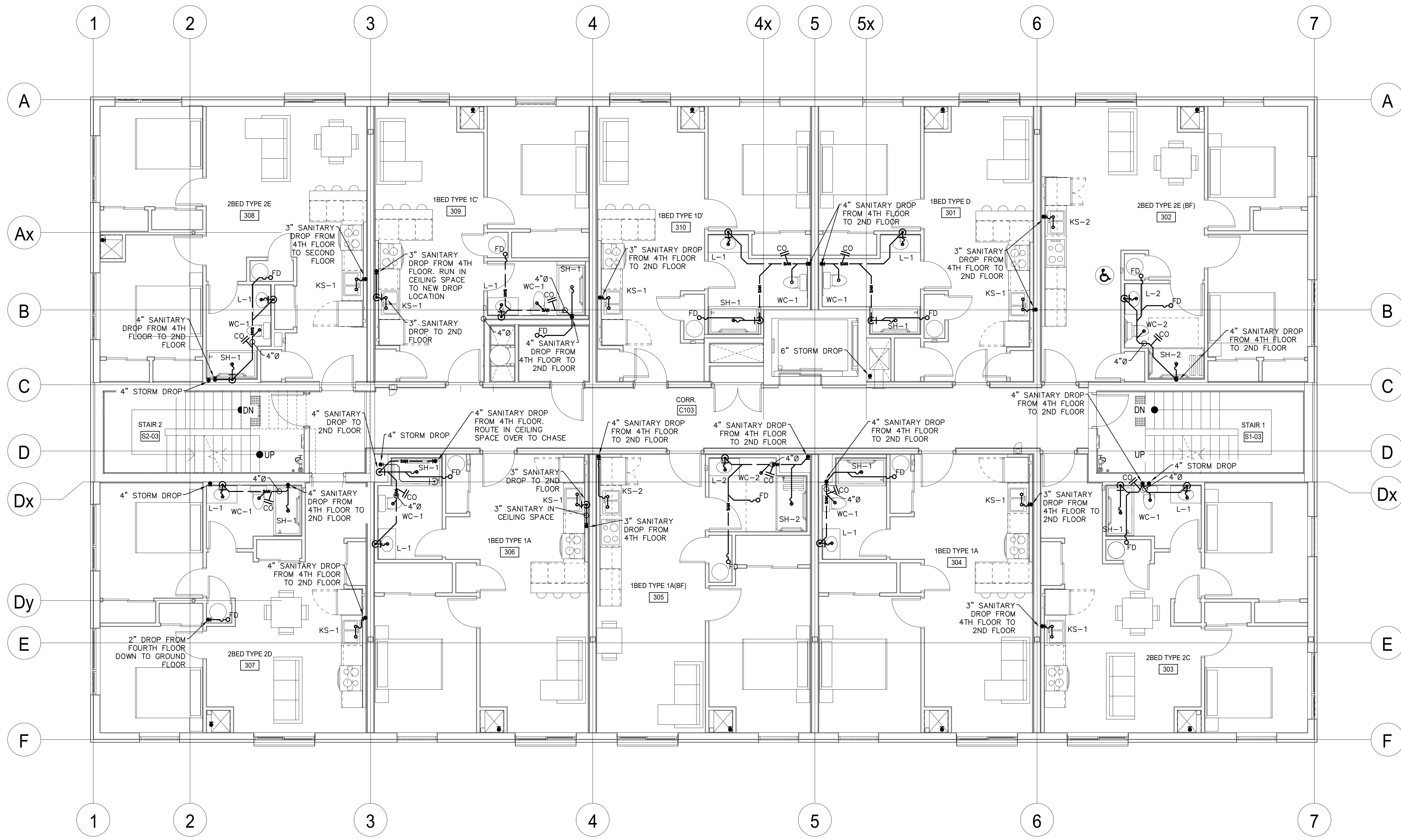
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PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**SECOND FLOOR SANITARY**

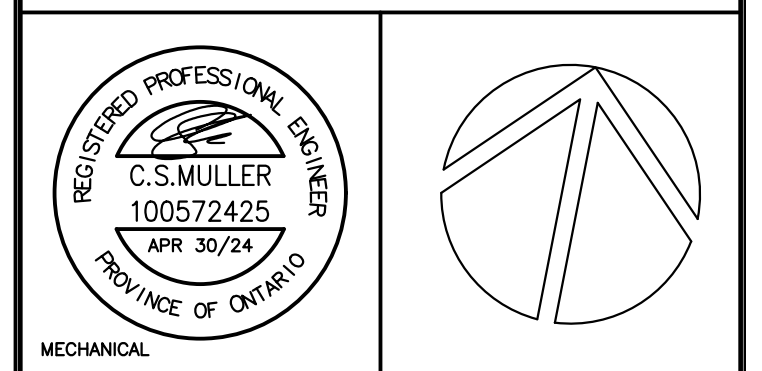
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DRAWN	KCS	DWG NO.
CHECKED	CSM	<b>M8</b>
APPROVED	CSM	
PROJECT	7393	



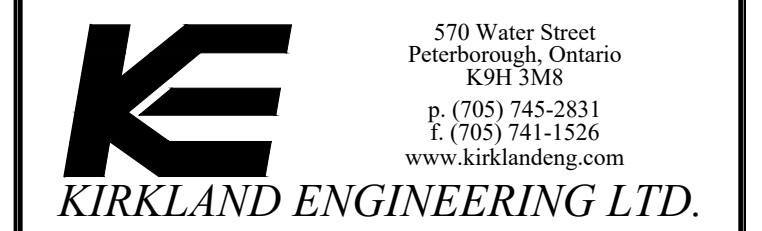
**M9** SANITARY LAYOUT THIRD FLOOR  
SCALE: 1:60

NO.	DESCRIPTION	DATE	BY
0	ISSUED FOR PERMIT	2024.04.30	CSM

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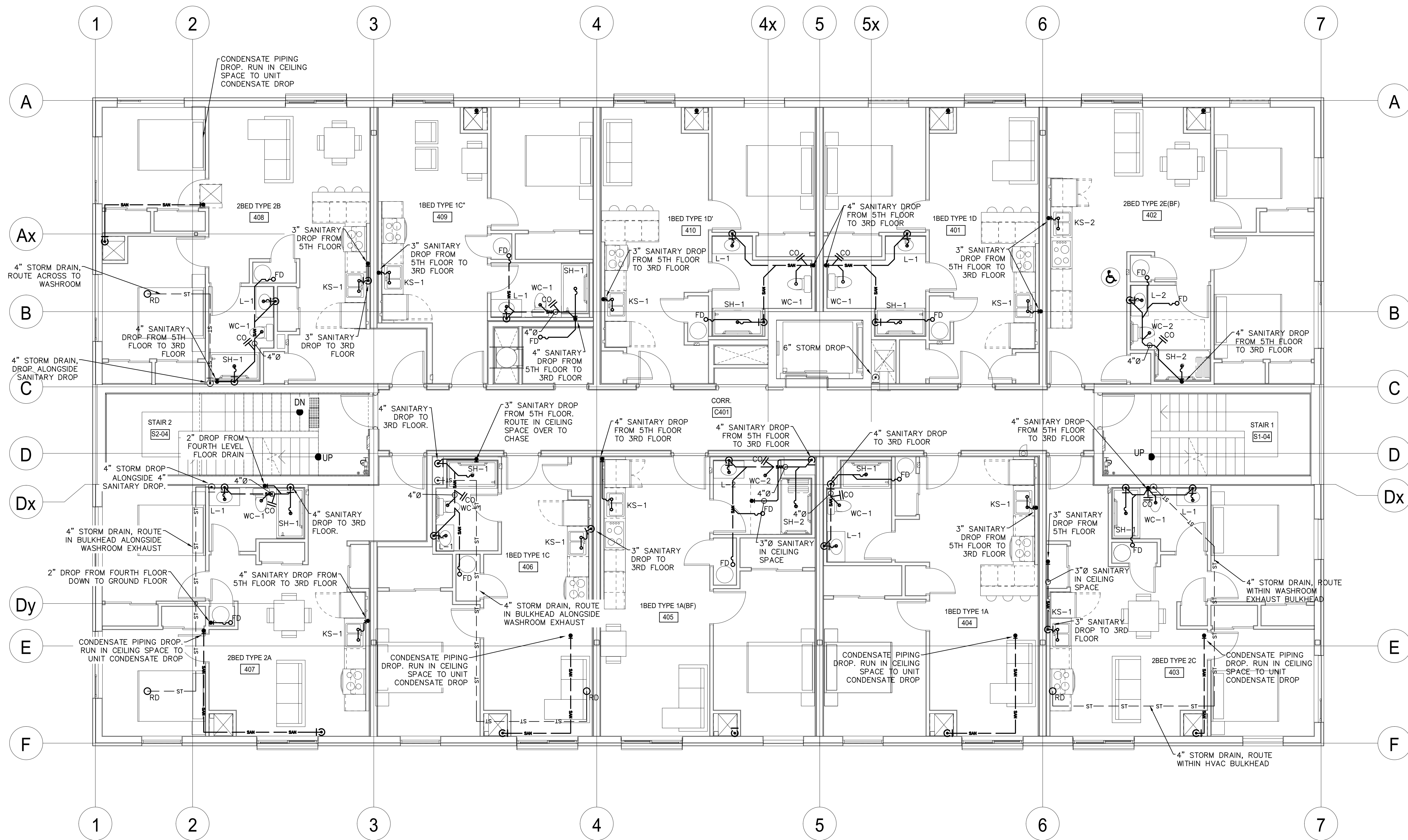
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PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**THIRD FLOOR SANITARY**

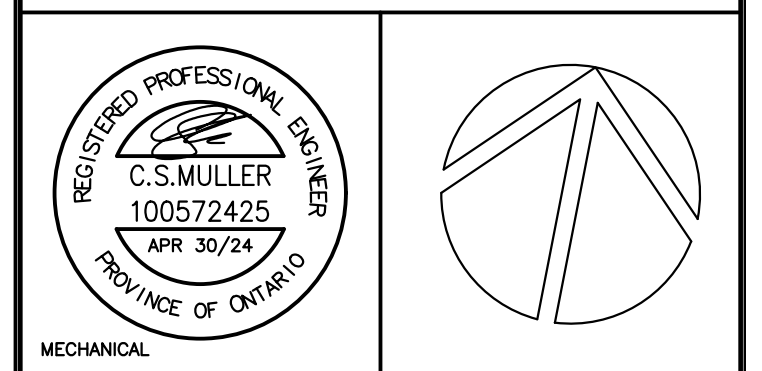
DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	<b>M9</b>
APPROVED	CSM	
PROJECT	7393	



1 M10 SANITARY LAYOUT FOURTH FLOOR  
SCALE: 1:60

NO.	DESCRIPTION	DATE	BY
0	ISSUED FOR PERMIT	2024.04.30	CSM

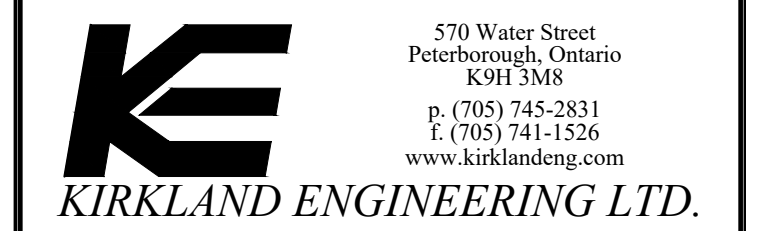
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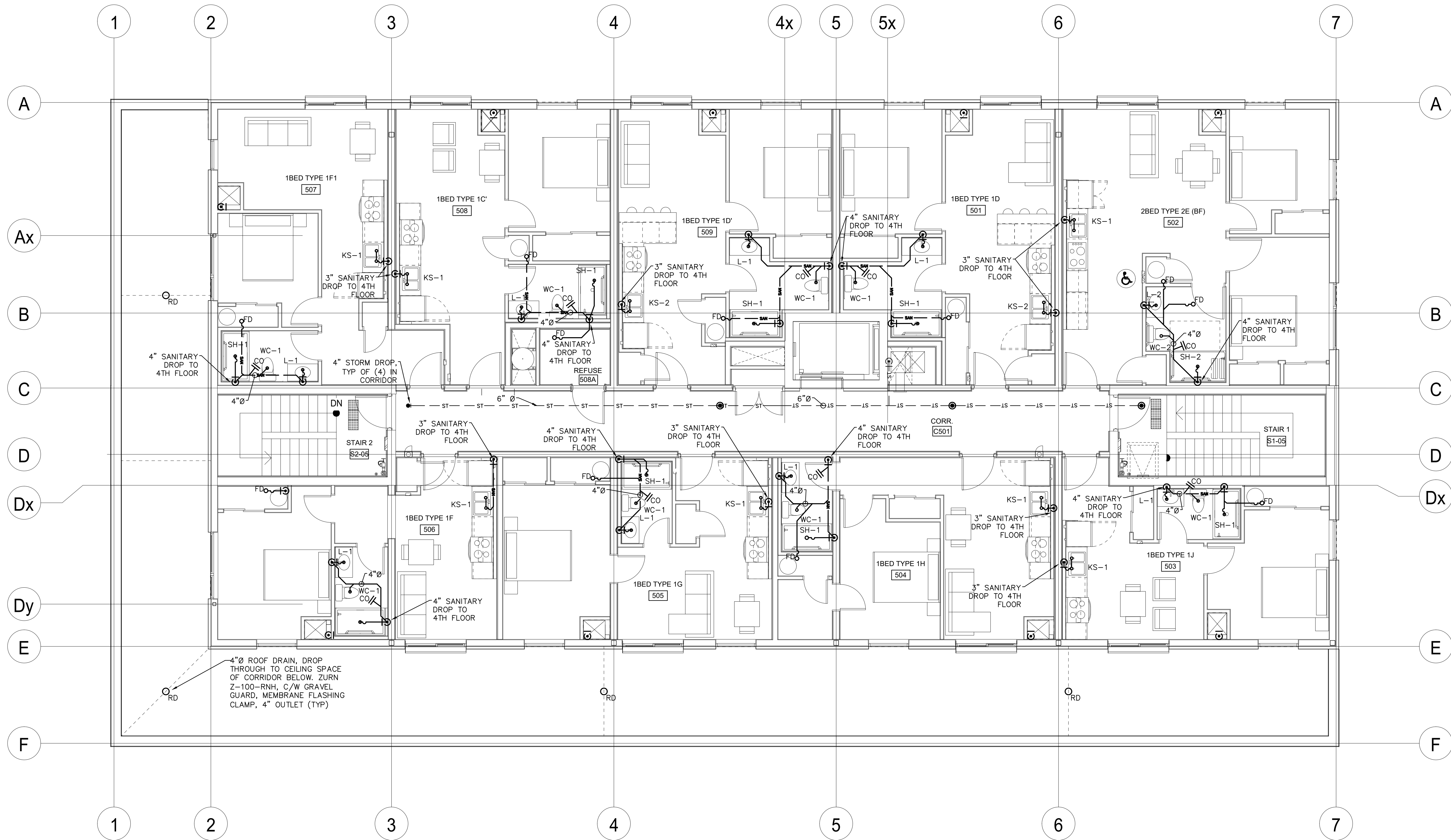
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PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**FOURTH FLOOR SANITARY**

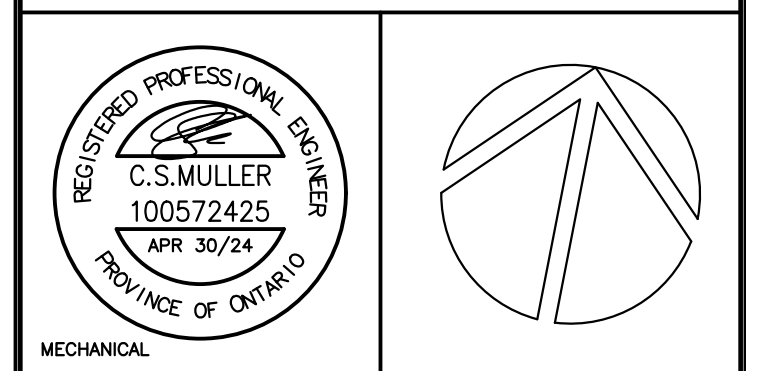
DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	<b>M10</b>
APPROVED	CSM	
PROJECT	7393	



1 SANITARY LAYOUT FIFTH FLOOR  
SCALE: 1:60

NO.	DESCRIPTION	DATE	BY
0	ISSUED FOR PERMIT	2024.04.30	CSM

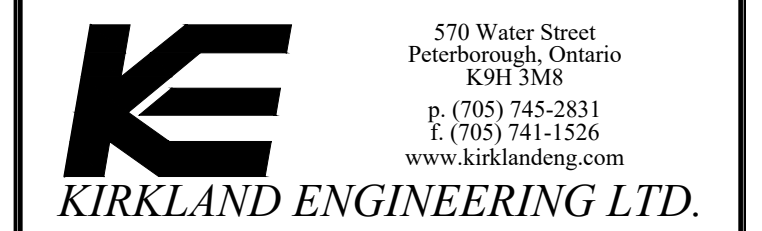
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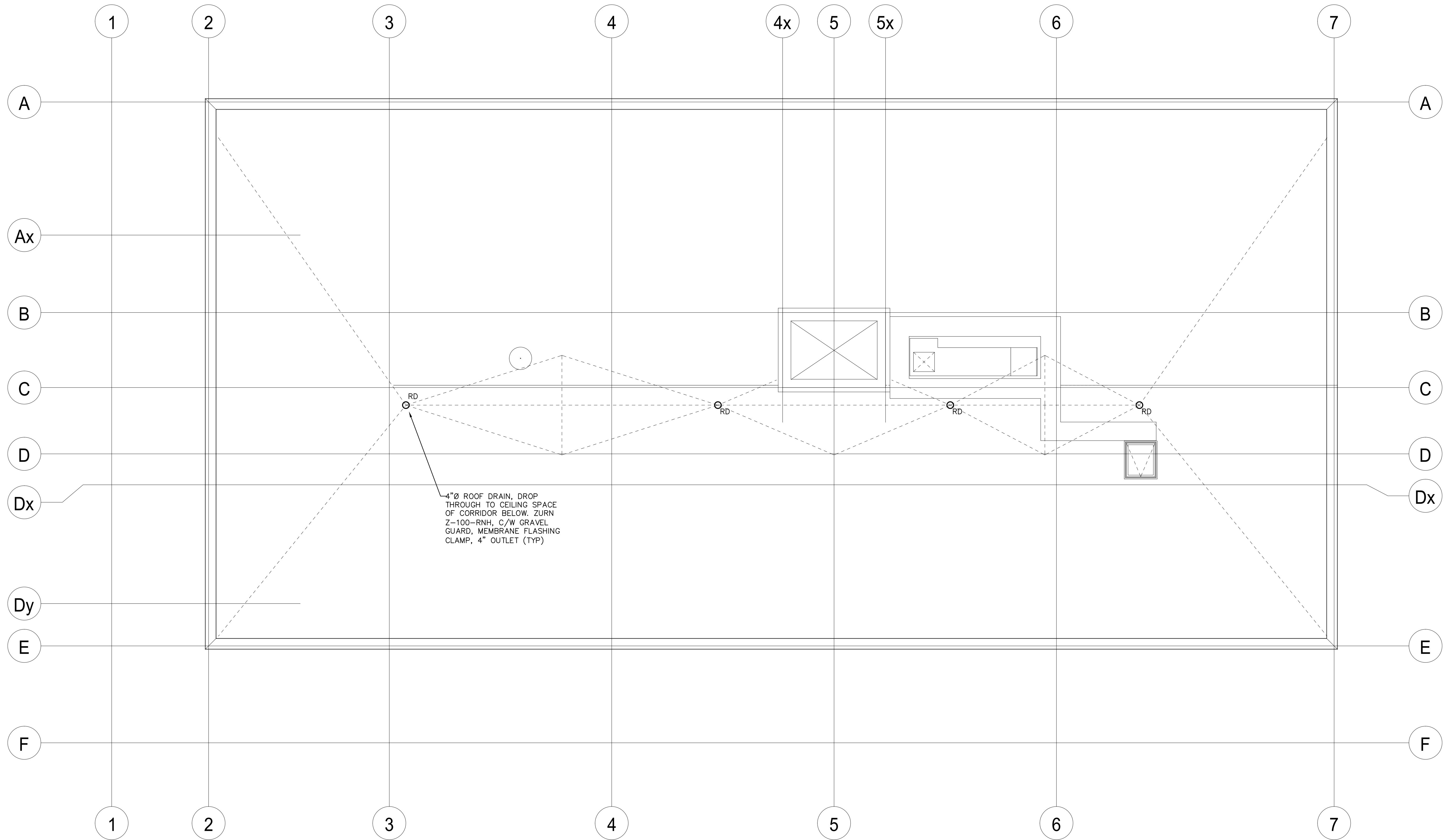


PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**FIFTH FLOOR SANITARY**

DESIGN	CSM	SCALE AS NOTED
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CHECKED	CSM	<b>M11</b>
APPROVED	CSM	
PROJECT	7393	

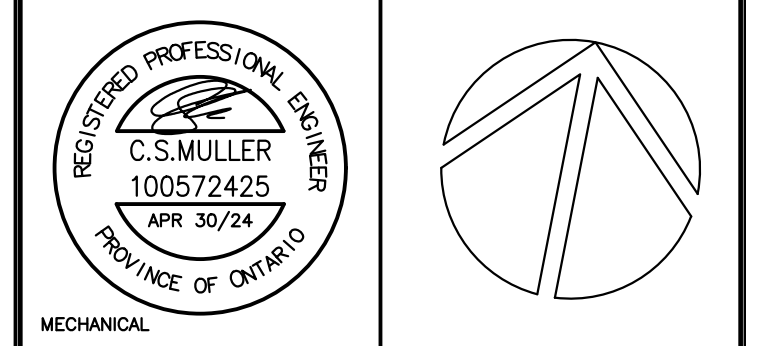




1 SANITARY LAYOUT ROOF  
SCALE: 1:60

REVISIONS			
NO.	DESCRIPTION	DATE	BY
0	ISSUED FOR PERMIT	2024.04.30	CSM

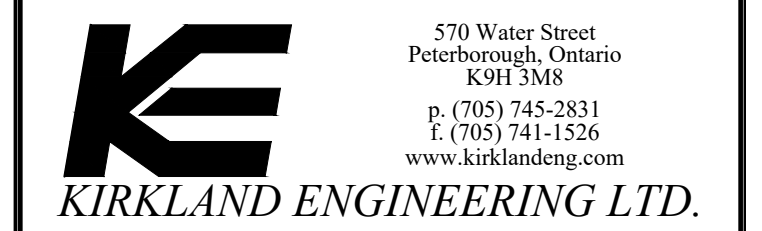
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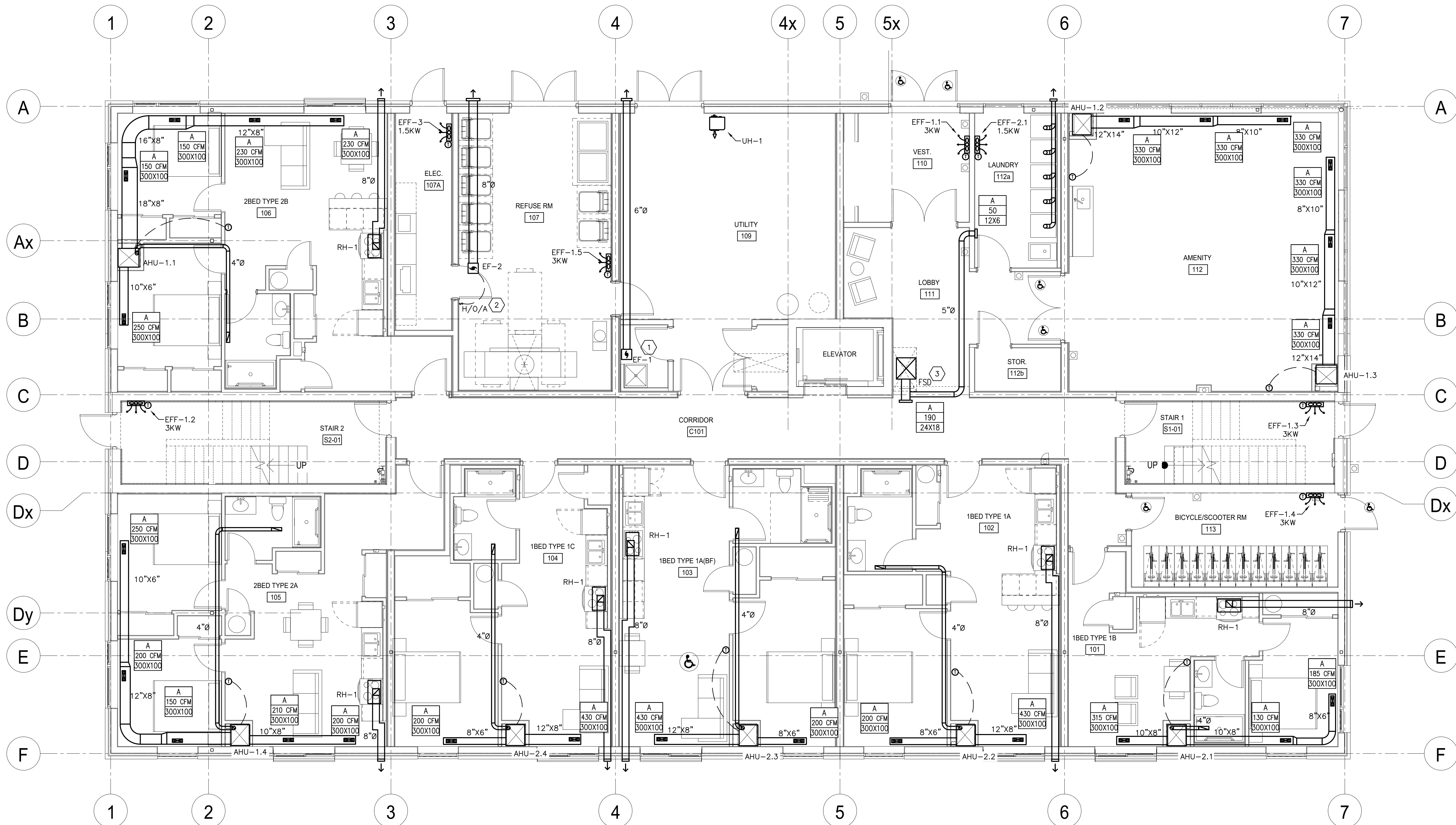
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PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**ROOF AND SANITARY DETAILS**

DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	<b>M12</b>
APPROVED	CSM	
PROJECT	7393	



1 HVAC LAYOUT GROUND FLOOR  
SCALE: 1:60

GENERAL NOTES

- INSULATE ALL FRESH AIR INTAKE DUCTS FROM EXTERIOR WALL TO UNIT, FOR ALL UNITS.
- ELECTRIC FAN FORCED HEATERS SUPPLIED AND INSTALLED BY MECHANICAL, POWER BY ELECTRICAL.
- AHU'S HAVE INTEGRAL SUPPLEMENTAL ELECTRIC HEAT. REFER TO SCHEDULE FOR DETAILS.

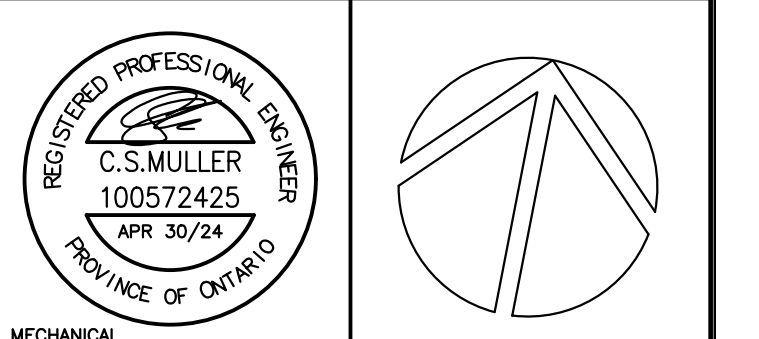
DRAWING NOTES

- EXHAUST FAN CONTROL INTERLOCKED WITH LIGHTING CONTROLS. EXHAUST FAN SUPPLIED AND INSTALLED BY MECHANICAL, CONTROLS BY ELECTRICAL.
- HAND/OFF/AUTO FOR GARBAGE ROOM, BY MECHANICAL, ON AUTO SHALL BE SET TO RUN CONTINUOUSLY.
- FSD TO BE SUPPLIED AND INSTALLED BY MECHANICAL. POWER AND INTERCONNECTION WITH SMOKE DETECTOR BY ELECTRICAL.

NO.	DESCRIPTION	DATE	BY
0	ISSUED FOR PERMIT	2024.04.30	CSM

REVISIONS

Kirkland Engineering Ltd BCIN: 28857



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PROJECT  
**COURTICE SENIOR DEVELOPMENT**

1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**GROUND FLOOR HVAC**

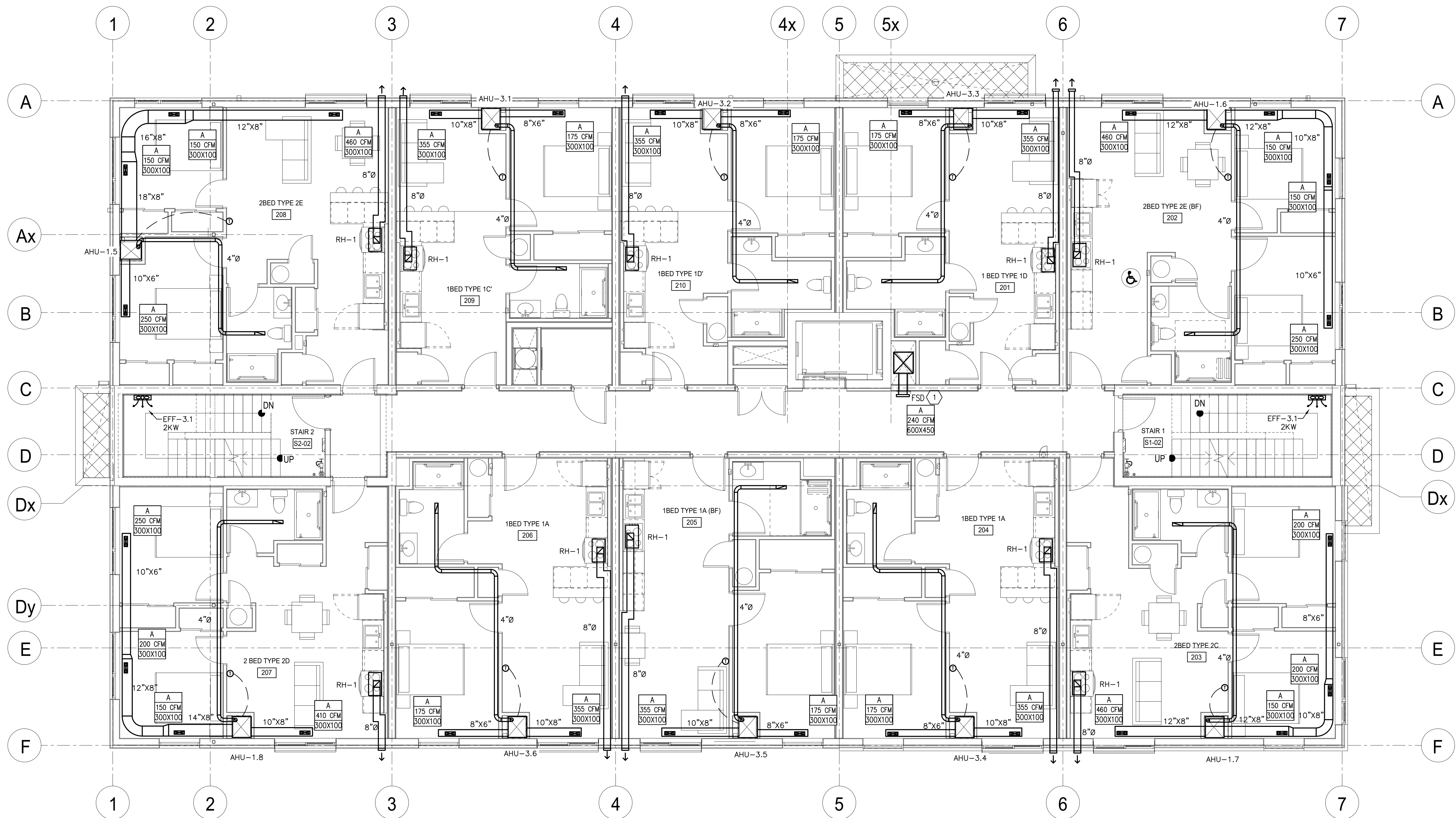
DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	<b>M13</b>
APPROVED	CSM	
PROJECT	7393	

VENTILATION NOTES

- 2 BEDROOM UNIT IS SHOWN, WHICH REQUIRES 46 CFM OF FRESH AIR. EACH HEAT PUMP UNIT PROVIDES 70 CFM FOR FRESH AIR, THEREFORE IS SUFFICIENT FOR BOTH THE TWO BEDROOM AND THE ONE BEDROOM UNITS.

Room Name	Occupant Load	Square Footage	Occupancy Category (ASHRAE 62.1 Table 6.2.2.1)	People Outdoor Air Rate (cfm/person)	Area Outdoor Air Rate (cfm/ft <sup>2</sup> )	Fresh Air Required (CFM)
Ground Floor Corridor	0	515	General - Corridor	0	0.06	30.9
Ground Floor Lobby	2	242	General - Conference/meeting	5	0.06	24.52
Ground Floor Laundry	1	135	Hotels/Motels/Resorts/Dorms - Laundry Rooms, central	5	0.12	21.2
2 B/R unit, typ	2	546	Residential - Dwelling Unit	5	0.06	42.76
Total Fresh Air Required						<b>76.62</b>

MUA supplies 190 CFM of fresh air to floor common spaces, satisfying the required ventilation rate of 77 cfm. HP Units to supply 70 CFM, satisfying suite requirements



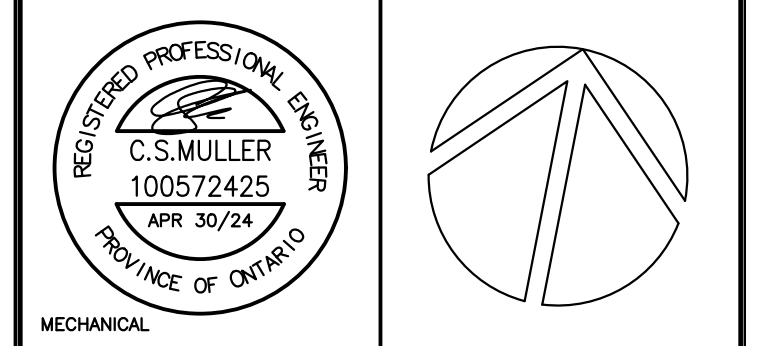
**M14** HVAC LAYOUT SECOND FLOOR  
SCALE: 1:60

- GENERAL NOTES**
1. INSULATE ALL FRESH AIR INTAKE DUCTS FROM EXTERIOR WALL TO UNIT, FOR ALL UNITS.
  2. ELECTRIC FAN FORCED HEATERS SUPPLIED AND INSTALLED BY MECHANICAL, POWER BY ELECTRICAL
  3. AHU'S HAVE INTEGRAL SUPPLEMENTAL ELECTRIC HEAT. REFER TO SCHEDULE FOR DETAILS.

- DRAWING NOTES**
- 1 FSD TO BE SUPPLIED AND INSTALLED BY MECHANICAL. POWER AND INTERCONNECTION WITH SMOKE DETECTOR BY ELECTRICAL

NO.	DESCRIPTION	DATE	BY
0	ISSUED FOR PERMIT	2024.04.30	CSM

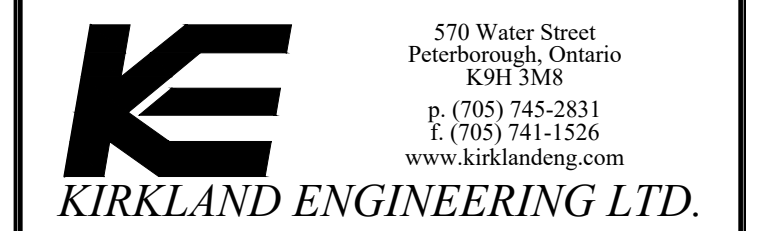
REVISIONS  
Kirkland Engineering Ltd BCIN: 28857



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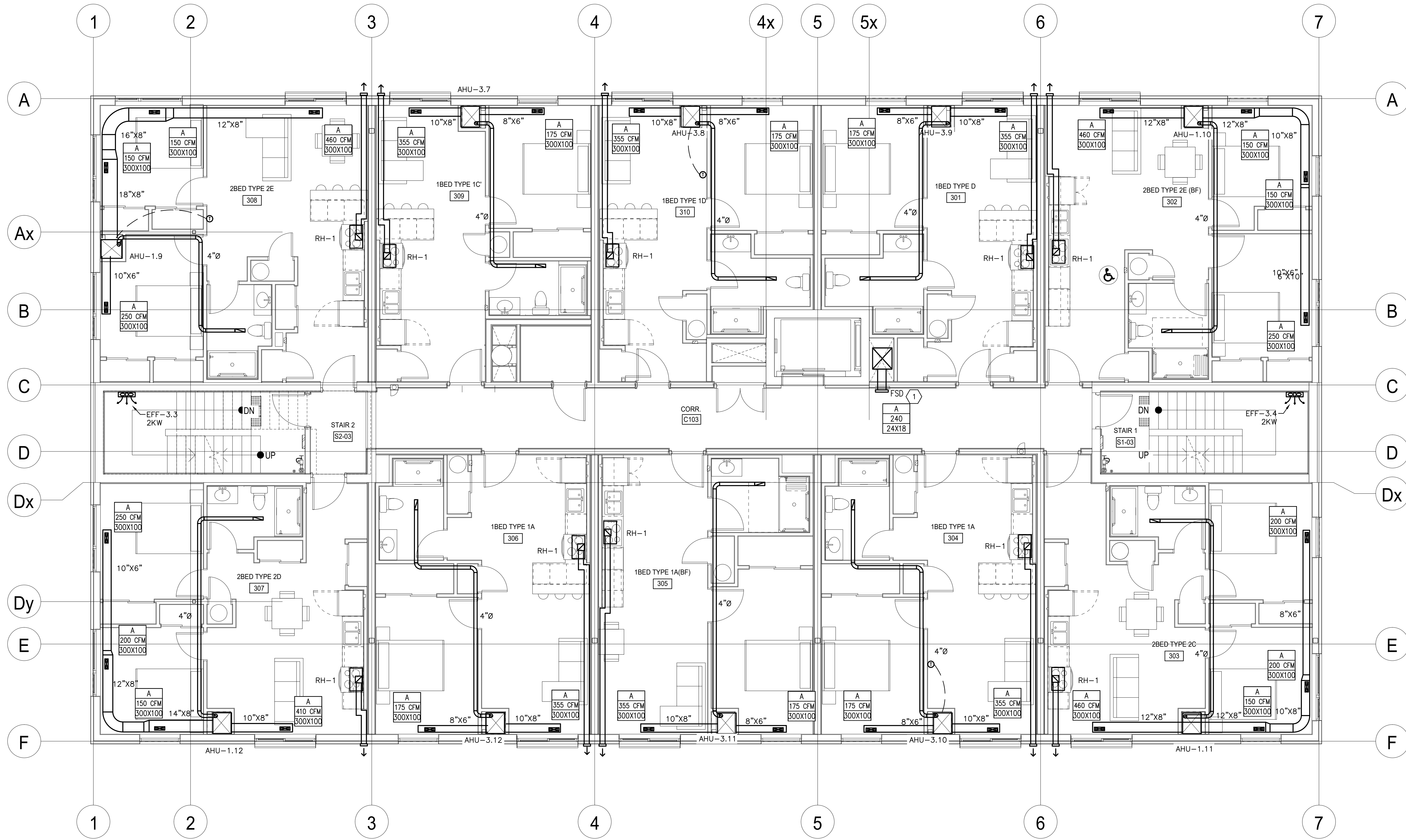
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PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**SECOND FLOOR HVAC**

DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	<b>M14</b>
APPROVED	CSM	
PROJECT	7393	



1 HVAC LAYOUT THIRD FLOOR  
SCALE: 1:60

GENERAL NOTES

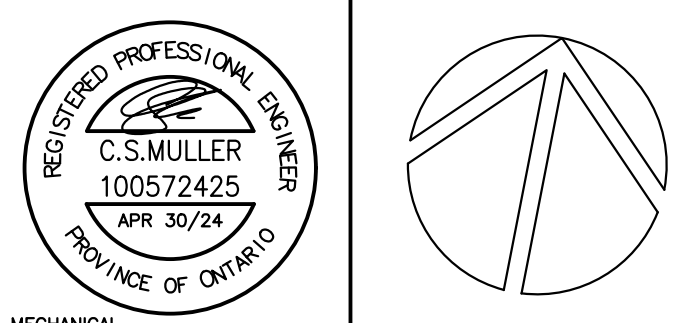
1. INSULATE ALL FRESH AIR INTAKE DUCTS FROM EXTERIOR WALL TO UNIT, FOR ALL UNITS.
2. ELECTRIC FAN FORCED HEATERS SUPPLIED AND INSTALLED BY MECHANICAL, POWER BY ELECTRICAL.
3. AHU'S HAVE INTEGRAL SUPPLEMENTAL ELECTRIC HEAT. REFER TO SCHEDULE FOR DETAILS.

DRAWING NOTES

- 1 FSD TO BE SUPPLIED AND INSTALLED BY MECHANICAL. POWER AND INTERCONNECTION WITH SMOKE DETECTOR BY ELECTRICAL.

REVISIONS			
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0	ISSUED FOR PERMIT	2024.04.30	CSM

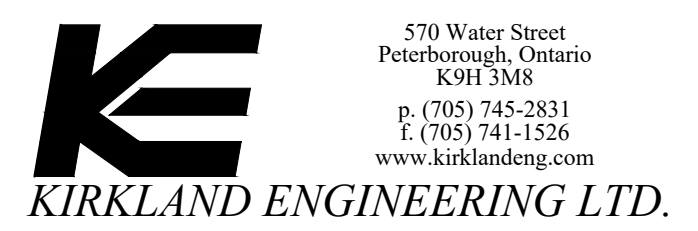
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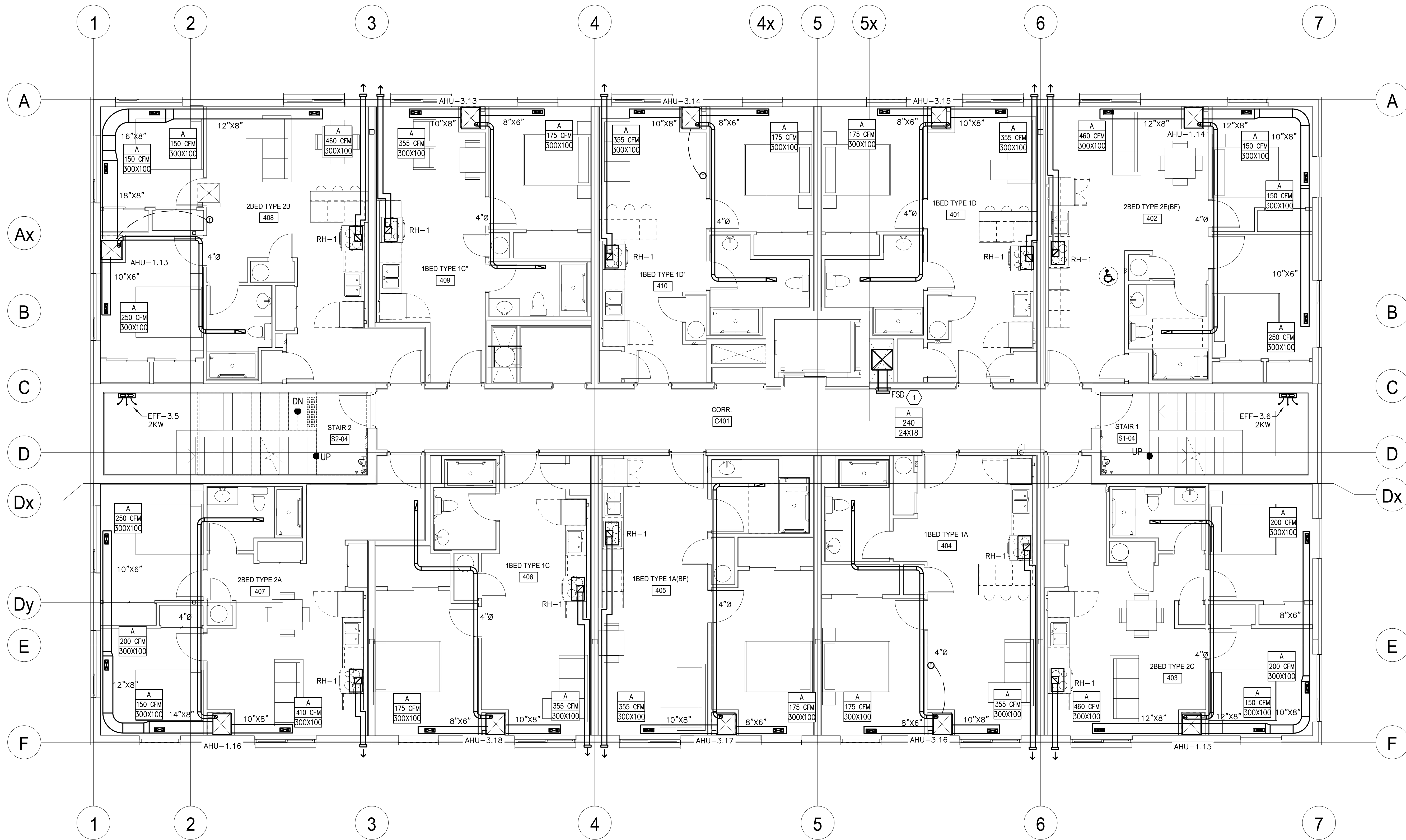
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PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**THIRD FLOOR HVAC**

DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	<b>M15</b>
APPROVED	CSM	
PROJECT	7393	



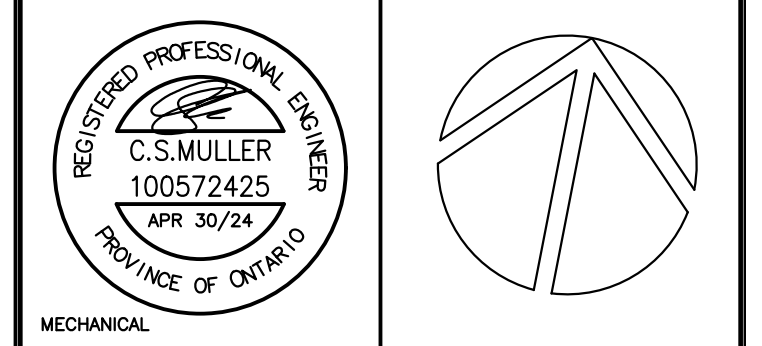
1 HVAC LAYOUT FOURTH FLOOR  
SCALE: 1:60

- GENERAL NOTES**
1. INSULATE ALL FRESH AIR INTAKE DUCTS FROM EXTERIOR WALL TO UNIT, FOR ALL UNITS.
  2. ELECTRIC FAN FORCED HEATERS SUPPLIED AND INSTALLED BY MECHANICAL, POWER BY ELECTRICAL.
  3. AHU'S HAVE INTEGRAL SUPPLEMENTAL ELECTRIC HEAT. REFER TO SCHEDULE FOR DETAILS.

- DRAWING NOTES**
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NO.	DESCRIPTION	DATE	BY
0	ISSUED FOR PERMIT	2024.04.30	CSM

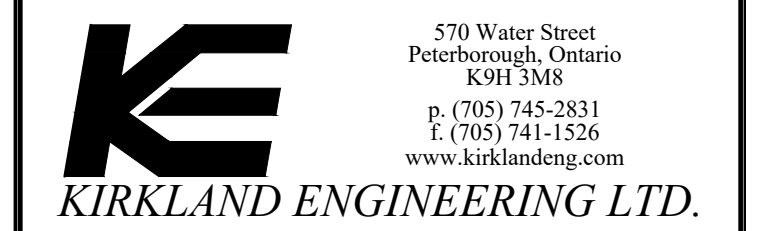
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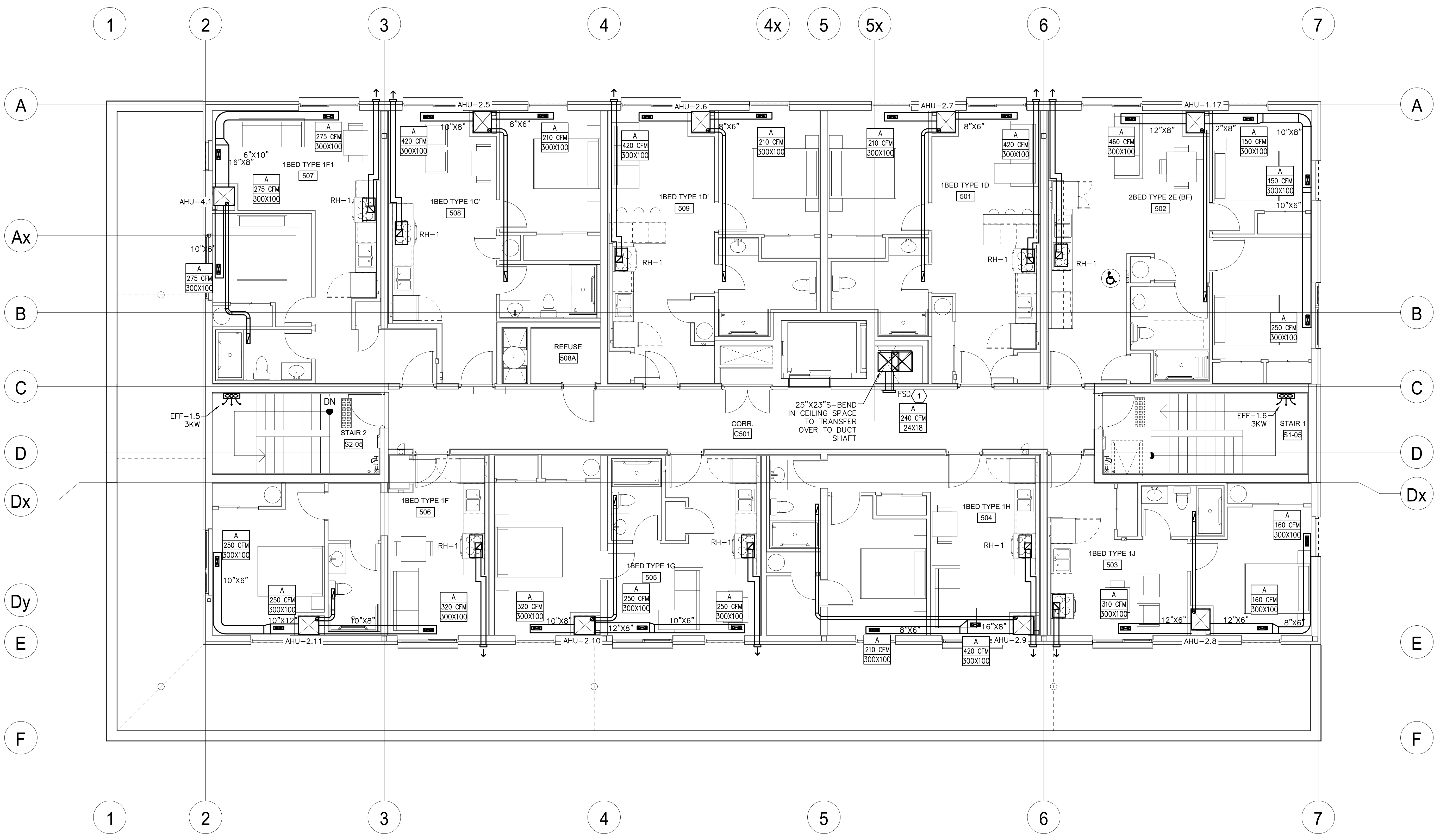
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PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**FOURTH FLOOR HVAC**

DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	<b>M16</b>
APPROVED	CSM	
PROJECT	7393	

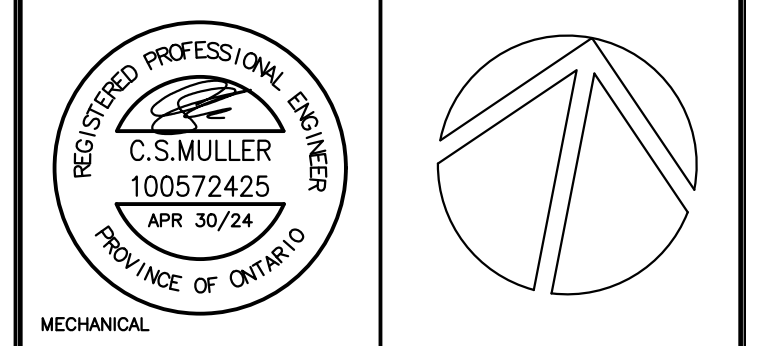


- GENERAL NOTES**
- INSULATE ALL FRESH AIR INTAKE DUCTS FROM EXTERIOR WALL TO UNIT, FOR ALL UNITS.
  - ELECTRIC FAN FORCED HEATERS SUPPLIED AND INSTALLED BY MECHANICAL, POWER BY ELECTRICAL
  - AHU'S HAVE INTEGRAL SUPPLEMENTAL ELECTRIC HEAT. REFER TO SCHEDULE FOR DETAILS.

- DRAWING NOTES**
- FSD TO BE SUPPLIED AND INSTALLED BY MECHANICAL. POWER AND INTERCONNECTION WITH SMOKE DETECTOR BY ELECTRICAL

NO.	DESCRIPTION	DATE	BY
0	ISSUED FOR PERMIT	2024.04.30	CSM

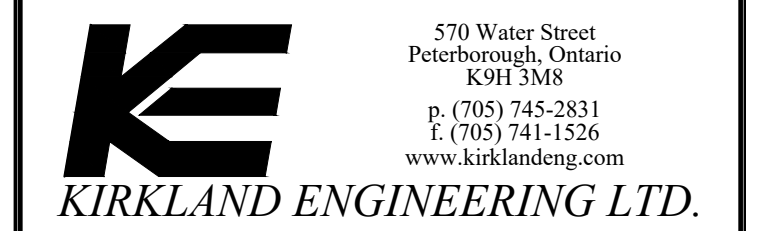
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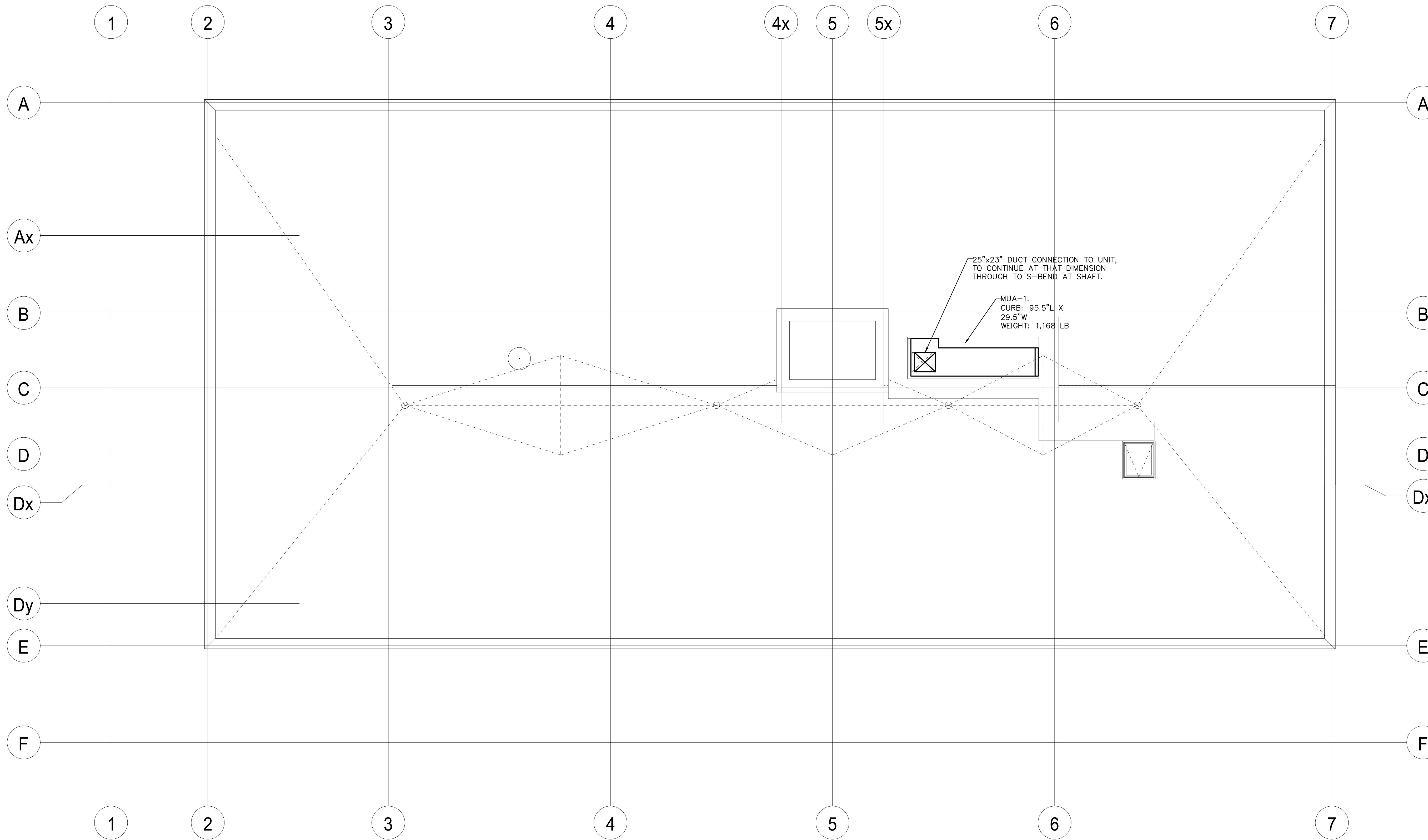


PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**FIFTH FLOOR HVAC**

DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	<b>M17</b>
APPROVED	CSM	
PROJECT	7393	

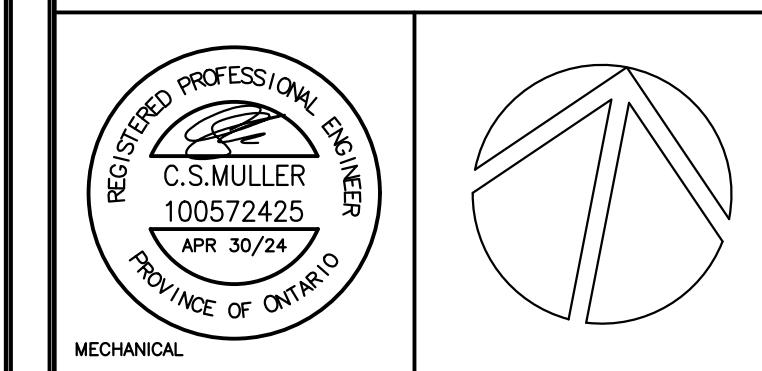
**HVAC LAYOUT FIFTH FLOOR**  
SCALE: 1:60



**M18** HVAC LAYOUT ROOF  
SCALE: 1:60

REVISIONS			
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PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**ROOF HVAC LAYOUT**

DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	<b>M18</b>
APPROVED	CSM	
PROJECT	7393	

RANGE HOOD SCHEDULE							
IDENT.	QTY	MANUFACTURER	TYPE	POWER	MODEL	CFM/STATIC PRESSURE	REMARKS
RH-1	46	AIR KING	CEILING MTD.	120V/1/60 73W 1.0A	ADA COMPLIANT ES SERIES	251 CFM @ 0.15" WG	COMPLETE WITH WALL CONTROL, TO BE MOUNTED ON CABINETRY. COORDINATE COLOUR SELECTION WITH ARCHITECT. COORDINATE WIDTH WITH ARCHITECT.

SUMP PUMP						
IDENT.	MANUFACTURER	MODEL	ELECTRICAL	DISCHARGE SIZE	CAPACITY	REMARKS
SP-1	LIBERTY	P382LE51	1/2 HP 115V/1/60	2"Ø DISCHARGE	41 GALLON	24" X 24" PUMP. ALM-2 HIGH LEVEL ALARM COMPLETE WITH FLOATS. SIMPLEX SYSTEM.

ELECTRONIC TRAP PRIMER				
IDENT.	MANUFACTURER	MODEL	INLET & OUTLET	REMARKS
ETP-1	ZURN	Z1020-10	1/2"Ø	ELECTRONIC TRAP PRIMER, 24VAC, 13mm INLET, PROGRAMMED ELECTRONIC TIMER, MANUAL OVERRIDE, 10 OUTLET c/w 120:24VAC TRANSFORMER

EXHAUST FAN SCHEDULE									
IDENT.	MANUFACTURER	TYPE	ELECTRICAL	DUCT SIZE	MODEL	CFM/STATIC PRESSURE	MOTOR (HP)	OPER. FAN (RPM)	NOTES
EF-1	GREENHECK	CEILING MTD.	120V/1/60 1.70A 128 MAX INPUT WATTS	6"Ø	SP-B150	155 CFM @ 0.125" WG	-	1050	c/w BACKDRAFT DAMPER, DISCONNECT, MOUNTING BRACKETS, CONTROLLED BY OCCUPANCY SENSOR.
EF-2	GREENHECK	CEILING MTD.	120V/1/60 1.34A 135 MAX INPUT WATTS	8"Ø	SP-A390	395 CFM @ 0.1" WG	-	1350	c/w BACKDRAFT DAMPER, DISCONNECT, MOUNTING BRACKETS, CONTROLLED BY OCCUPANCY SENSOR.

HOT WATER HEATER							
IDENT.	QTY	MANUFACTURER	MODEL	CAPACITY	ELECTRICAL	FIRST HOUR RATING	REMARKS
HWH-1	46	BRADFORD WHITE	RE130L6	28 USG	208V 4500W	42 GPH	COMMERCIAL-GRADE RESIDENTIAL WATER HEATER. HEIGHT OF TANK: 29-9/16" DIAMETER: 20"Ø.
HWH-2	1	AOSMITH	ECT80	80 USG	208V 5500W	85 GPH	COMMERCIAL-GRADE RESIDENTIAL WATER HEATER. HEIGHT OF TANK: 60-1/2" DIAMETER: 24"Ø.

ELECTRIC HEATERS								
IDENT.	MANUFACTURER	POWER	TYPE	MODEL	HEATING CAPACITY (kW)	FINISH	CONTROL	REMARKS
EFF-1.1 TO EFF-1.6	OUELLET	208/1/60	ELECTRIC FAN FORCED HEATER	OAC04000-T	3.0 kW	BY OWNER	UNIT MOUNTED THERMOSTAT	WALL MOUNTED ELECTRIC FAN FORCED HEATER ORDERED C/W WITH INTEGRAL THERMOSTAT.
EFF-2.1	OUELLET	208/1/60	ELECTRIC FAN FORCED HEATER	OAC02000-T	1.5 kW	BY OWNER	UNIT MOUNTED THERMOSTAT	WALL MOUNTED ELECTRIC FAN FORCED HEATER ORDERED C/W WITH INTEGRAL THERMOSTAT.
EFF-3.1 TO EFF-3.6	OUELLET	208/1/60	ELECTRIC FAN FORCED HEATER	OAC03000-T	2.0 kW	BY OWNER	UNIT MOUNTED THERMOSTAT	WALL MOUNTED ELECTRIC FAN FORCED HEATER ORDERED C/W WITH INTEGRAL THERMOSTAT.

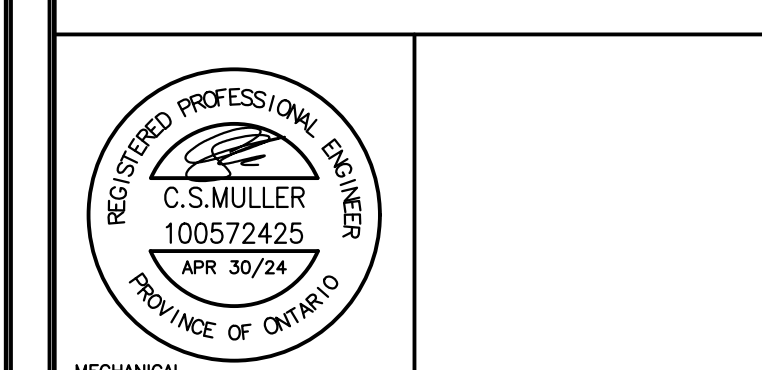
UNIT HEATER SCHEDULE						
IDENT.	MANUFACTURER	TYPE	POWER	HEATING	MODEL	REMARKS
UH-1.1	REZTOR	GAS-FIRED COMMERCIAL UNIT HEATER	120/1/60	IN: 30,000 BTU/H OUT: 24,600 BTU/H	UDX30	POWER VENTED, LOW STATIC AXIAL FAN COMMERCIAL/INDUSTRIAL UNIT HEATER 82-83% THERMAL EFFICIENCY. PROPANE GAS CONVERSION KIT COMPLETE WITH SINGLE-STAGE PROPANE GAS VALVE.

MUA SCHEDULE									
IDENT.	LOCATION	MANUFACTURER	TYPE	POWER	MODEL	CAPACITY (MBH)	SUPPLY	CONTROL	REMARKS
MUA-1	ROOF	GREENHECK	INDIRECT GAS MAKE UP AIR UNIT	208/60/3 MCA: 5A MOP: 15A	IGX-P109-H12-MF-C	HEATING: 100,000 IN 80,000 OUT	1,200 CFM	CONSTANT VOLUME 100% OA	GAS FIRED MAKE UP AIR UNIT, HEATING ONLY. COMPLETE WITH HOUSEKEEPING PAD, PER MANUFACTURER RECOMMENDATIONS. BOTTOM DISCHARGE NO RETURN

MUA SCHEDULE								
IDENT.	MANUFACTURER	TYPE	POWER	MODEL	CAPACITY (MBH)	SUPPLY	CONTROL	REMARKS
AHU-1 SERIES	OMEGA	VERTICAL HEAT PUMP AHU	208/1/60 MCA 22.1A MOCP 35A	VSHPe 100	HEATING: 22.2 COOLING: 29.9 3.5kW ELEC	1,000 CFM	THERMOSTAT	VERTICAL HEAT PUMP, GEOTHERMAL, COMPLETE WITH INTEGRAL ERV
AHU-2 SERIES	OMEGA	VERTICAL HEAT PUMP AHU	208/1/60 MCA 12.6A MOCP 15A	VSHPe 060	HEATING: 14 COOLING: 18.6 2 kW ELEC	1,000 CFM	THERMOSTAT	VERTICAL HEAT PUMP, GEOTHERMAL, COMPLETE WITH INTEGRAL ERV
AHU-3 SERIES	OMEGA	VERTICAL HEAT PUMP AHU	208/1/60 MCA 10.2A MOCP 15A	VSHPe 050	HEATING: 10.8 COOLING: 15.6 1.5kW ELEC	1,000 CFM	THERMOSTAT	VERTICAL HEAT PUMP, GEOTHERMAL, COMPLETE WITH INTEGRAL ERV
AHU-4 SERIES	OMEGA	VERTICAL HEAT PUMP AHU	208/1/60 MCA 18.8A MOCP 25A	VSHPe 080	HEATING: 17.5 COOLING: 23.9 2.5kW ELEC	1,000 CFM	THERMOSTAT	VERTICAL HEAT PUMP, GEOTHERMAL, COMPLETE WITH INTEGRAL ERV

NO.	DESCRIPTION	DATE	BY
0	ISSUED FOR PERMIT	2024.04.30	CSM

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PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**MECHANICAL SCHEDULES**

DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	<b>M19</b>
APPROVED	CSM	
PROJECT	7393	



WC-1: TOILET – FLOOR MOUNTED WITH FLOOR OUTLET  
 AMERICAN STANDARD 215AA104.020 TOILET – CADET® PRO™, TANK TYPE TOILET, FLOOR MOUNTED WITH FLOOR OUTLET, HIGH EFFICIENCY HET 4.8 LPF (1.28 GPF), WHITE FINISH VITREOUS CHINA, EVERCLEAN® ANTIMICROBIAL SURFACE, ELONGATED BOWL, RIGHT HEIGHT® RIM AT 419 MM (16-1/2”), MINIMUM 305 MM (12”) ROUGH-IN FROM WALL TO THE CENTER OF WASTE OUTLET, SIPHON JET FLUSH ACTION, MANUAL, POLISHED CHROME LEFT-HAND TRIP LEVER (7381231-200.0020A), GRAVITY-ASSISTED FLUSH, CADET® FLUSHING SYSTEM, 76 MM (3”) FLUSH VALVE, METAL SHANK FILL VALVE, TOILET SEAT NOT INCLUDED, COMPLIANCES: ASME A112.19.2 COMPLIANT, CSA B45.1 COMPLIANT, EPA WATERSENSE® COMPLIANT, AMERICAN STANDARD 5901100.020 SEAT – COMMERCIAL, FOR ELONGATED BOWL, OPEN FRONT, HEAVY-DUTY, FOR COMMERCIAL APPLICATIONS, POLYPROPYLENE, TOILET SEAT, LESS SEAT COVER, EXTERNAL CHECK HINGE WITH 304 SERIES STAINLESS STEEL, LARGE POSTS STOPS SEAT 11” BEYOND VERTICAL, SPECIFIED IN WHITE FINISH, AND LARGE MOLDED-IN BUMPER, DIMENSIONS:25 MM (1”) HIGH, 471 MM (18-9/16”) LONG, 365 MM (14-3/8”) WIDE  
 MCGUIRE LFBV172 SUPPLY – LEAD FREE, WITH CHROME-PLATED FINISH, CONVERTIBLE QUARTER-TURN SUPPLY , TOILET, TWO 13 MM (1/2”) COPPER SWEAT X 10 MM (3/8”) OUTER Ø BRASS BALL VALVE CONNECTION, 2 DEEP BELL FLANGE, CONVERTIBLE LOOSE KEY HANDLE, EXTENSION IS 127 MM (5”) LENGTH, 304 MM (12”) COPPER FLEXIBLE RISERS.

WC-2: TOILET – BF FLOOR MOUNTED WITH FLOOR OUTLET  
 AMERICAN STANDARD 215AA104.020 TOILET – CADET® PRO™, TANK TYPE TOILET, FLOOR MOUNTED WITH FLOOR OUTLET, HIGH EFFICIENCY HET 4.8 LPF (1.28 GPF), WHITE FINISH VITREOUS CHINA, EVERCLEAN® ANTIMICROBIAL SURFACE, ELONGATED BOWL, RIGHT HEIGHT® RIM AT 419 MM (16-1/2”), MINIMUM 305 MM (12”) ROUGH-IN FROM WALL TO THE CENTER OF WASTE OUTLET, SIPHON JET FLUSH ACTION, MANUAL, POLISHED CHROME LEFT-HAND TRIP LEVER (7381231-200.0020A), GRAVITY-ASSISTED FLUSH, CADET® FLUSHING SYSTEM, 76 MM (3”) FLUSH VALVE, TOILET SEAT NOT INCLUDED, COMPLIANCES: ASME A112.19.2 COMPLIANT, CSA B45.1 COMPLIANT, EPA WATERSENSE® COMPLIANT, AMERICAN STANDARD 5901100.020 SEAT – COMMERCIAL, FOR ELONGATED BOWL, OPEN FRONT, HEAVY-DUTY, FOR COMMERCIAL APPLICATIONS, POLYPROPYLENE, TOILET SEAT, LESS SEAT COVER, EXTERNAL CHECK HINGE WITH 304 SERIES STAINLESS STEEL, HINGE POSTS STOPS SEAT 11” BEYOND VERTICAL, SPECIFIED IN WHITE FINISH, AND LARGE MOLDED-IN BUMPER, DIMENSIONS:25 MM (1”) HIGH, 471 MM (18-9/16”) LONG, 365 MM (14-3/8”) WIDE  
 MCGUIRE LFBV172 SUPPLY – LEAD FREE, WITH CHROME-PLATED FINISH, CONVERTIBLE QUARTER-TURN SUPPLY , TOILET, TWO 13 MM (1/2”) COPPER SWEAT X 10 MM (3/8”) OUTER Ø BRASS BALL VALVE CONNECTION, 2 DEEP BELL FLANGE, CONVERTIBLE LOOSE KEY HANDLE, EXTENSION IS 127 MM (5”) LENGTH, 304 MM (12”) COPPER FLEXIBLE RISERS.

L-1: LAVATORY.  
 AMERICAN STANDARD 0475047.020 BASIN – DROP-IN LAVATORY, VITREOUS CHINA, WHITE FINISH, SINGLE HOLE CENTERSET, FRONT OVERFLOW, WITH FAUCET LEDGE, OVERALL DIMENSIONS: 518 MM (20-3/8”) LONG, 441 MM (17-3/8”) WIDE, 178 MM (7”) HIGH, BOWL DIMENSIONS: 406 MM (16”) LONG, 254 MM (10”) WIDE, 143 MM (5-5/8”) DEEP

AMERICAN STANDARD 7075100.002 FAUCET – COLONY®, COUNTER MOUNTED, MANUAL, SINGLE HANDLE, LAVATORY FAUCET, POLISHED CHROME FINISH, SINGLE HOLE CENTERSET, LEAD FREE ANSI/NSF 61 AND ANSI/NSF 372 COMPLIANT, METAL BODY, 610 MM (24”) COLOUR-CODED BRAIDED FLEXIBLE SUPPLY HOSES WITH 10 MM (3/8”) COMPRESSION CONNECTIONS, CERAMIC DISC CARTRIDGE, 4.5 LPM (1.2 GPM) MAXIMUM FLOWRATE.

LAWLER 570-86820 MIXING VALVE – POINT OF USE AND MASTER CONTROLLED FIXTURES, THERMOSTATIC MASTER WATER MIXING CONTROL VALVE, LEAD FREE BRASS BODY CONSTRUCTION, NICKEL PLATED FINISH, 1.9 – 30 LPM (0.5 – 8 GPM) RANGE FOR FLOWRATE, 11 LPM (3 GPM) TEMPERED FLOWRATE @ 5 PSI PRESSURE DROP, 4-7/8” (124 MM) HEIGHT, ASSE 1070 APPROVED CERTIFIED TO CSA B125.3 FOR ASSE 1070 APPLICATIONS, 3/8” MNPT (9.5 MM) INLET, 95-115 °F OUTLET WATER TEMPERATURE RANGE, 3/8” MNPT (9.5 MM) OUTLET, 7 GPM FLOWRATE @ 45 PSI

MCGUIRE 155A FIXTURE DRAIN – STRAIGHT DRAIN, CAST BRASS, CHROME-PLATED FINISH, OPEN GRID PO PLUG, 7/32” (5.5 MM) Ø HOLES SIZE, 17 GAUGE 32 MM (1-1/4”) Ø TAILPIECE DIAMETER, 17 GAUGE 152 MM (6”) LONG, BRASS LOCKNUT, HEAVY RUBBER BASIN WASHER FIBER FRICTION WASHER, ASME A112.18.2 CSA B125.2, CSA COMPLIANT

MCGUIRE LFH165LKN3 SUPPLY – LEAD FREE, SHALL BE CONSTRUCTED FROM CAST BRASS VALVE, WITH CHROME-PLATED FINISH, LAVATORY SUPPLY, 10 MM (3/8”) I.P.S. INLET, 10 MM (3/8”) O.D OUTLET, CONVERTIBLE LOOSE KEY HANDLE, N3 – 76 MM (3”) LONG RIGID HORIZONTAL NIPPLES.  
 MCGUIRE 8872C P-TRAP – HEAVY CAST BRASS, ADJUSTABLE P-TRAP, 292 MM (11-1/2”) DISTANCE, WITH CLEANOUT PLUG, STEEL SHALLOW FLANGE, NEOPRENE GASKET, SLIPNUTS, 17 GAUGE SEAMLESS TUBULAR WALL BEND, ASME A112.18.2 CSA B125.2, CSA COMPLIANT

L2 – BF LAVATORY.  
 AMERICAN STANDARD 0955001EC.020 0059020EC.020 BASIN – MURRO, WALL-HUNG LAVATORY, VITREOUS CHINA, EVERCLEAN® ANTIMICROBIAL SURFACE, WHITE FINISH, SINGLE HOLE CENTERSET, REAR OVERFLOW, FAUCET LEDGE WITH RECESSED SELF-DRAINING DECK, FOR CONCEALED ARM OR WALL SUPPORT, VITREOUS CHINA SHROUD/KNEE CONTACT GUARD WITH EVERCLEAN (0059020EC), OVERALL DIMENSIONS: 545 MM (21-7/16”) LONG, 540 MM (21-1/4”) WIDE, 152 MM (6”) HIGH, BOWL DIMENSIONS: 343 MM (13-1/2”) LONG, 394MM (15-1/2”) WIDE, 127 MM (5”) DEEP

AMERICAN STANDARD 7075100.002 FAUCET – COLONY®, COUNTER MOUNTED, MANUAL, SINGLE HANDLE, LAVATORY FAUCET, POLISHED CHROME FINISH, SINGLE HOLE CENTERSET, LEAD FREE ANSI/NSF 61 AND ANSI/NSF 372 COMPLIANT, METAL BODY, 610 MM (24”) COLOUR-CODED BRAIDED FLEXIBLE SUPPLY HOSES WITH 10 MM (3/8”) COMPRESSION CONNECTIONS, CERAMIC DISC CARTRIDGE, 4.5 LPM (1.2 GPM) MAXIMUM FLOWRATE, PRESSURE COMPENSATING AERATOR, MID-ARC SPOUT, 111 MM (4-3/8”) SPOUT REACH, 157 MM (6-3/16”) HIGH, LEVER HANDLE, METAL POP-UP DRAIN.

LAWLER 570-86820 MIXING VALVE – POINT OF USE AND MASTER CONTROLLED FIXTURES, THERMOSTATIC MASTER WATER MIXING CONTROL VALVE, LEAD FREE BRASS BODY CONSTRUCTION, NICKEL PLATED FINISH, 1.9 – 30 LPM (0.5 – 8 GPM) RANGE FOR FLOWRATE, 11 LPM (3 GPM) TEMPERED FLOWRATE @ 5 PSI PRESSURE DROP, 4-7/8” (124 MM) HEIGHT, ASSE 1070 APPROVED CERTIFIED TO CSA B125.3 FOR ASSE 1070 APPLICATIONS, 3/8” MNPT (9.5 MM) INLET, 95-115 °F OUTLET WATER TEMPERATURE RANGE, 3/8” MNPT (9.5 MM) OUTLET, INTERNAL CHECKS, 7 GPM FLOWRATE @ 45 PSI

MCGUIRE 155A FIXTURE DRAIN – STRAIGHT DRAIN, CAST BRASS, CHROME-PLATED FINISH, OPEN GRID PO PLUG, 7/32” (5.5 MM) Ø HOLES SIZE, 17 GAUGE 32 MM (1-1/4”) Ø TAILPIECE DIAMETER, 17 GAUGE 152 MM (6”) LONG, BRASS LOCKNUT, HEAVY RUBBER BASIN WASHER FIBER FRICTION WASHER, ASME A112.18.2 CSA B125.2, CSA COMPLIANT

MCGUIRE LFH165LKN3 SUPPLY – LEAD FREE, SHALL BE CONSTRUCTED FROM CAST BRASS VALVE, WITH CHROME-PLATED FINISH, LAVATORY SUPPLY, 10 MM (3/8”) I.P.S. INLET, 10 MM (3/8”) O.D OUTLET, CONVERTIBLE LOOSE KEY HANDLE, N3 – 76 MM (3”) LONG RIGID HORIZONTAL NIPPLES.  
 MCGUIRE 8872C P-TRAP – HEAVY CAST BRASS, ADJUSTABLE P-TRAP, 292 MM (11-1/2”) DISTANCE, WITH CLEANOUT PLUG, STEEL SHALLOW FLANGE, NEOPRENE GASKET, SLIPNUTS, 17 GAUGE SEAMLESS TUBULAR WALL BEND, ASME A112.18.2 CSA B125.2, CSA COMPLIANT

WATTS WCA-411-CA-481 CARRIER – WCA-411/WCA-411-WC, LAVATORY CARRIER, SINGLE FLOOR-MOUNTED LAVATORY CARRIER WITH CONCEALED ARMS, FOR CONCEALED ARM CARRIER, ADJUSTABLE ARMS, EPOXY COATED CAST IRON, INTEGRAL WELDED FEET, UPPER TIE ROD, HEAVY GAUGE STEEL OFFSET UPRIGHTS, BASIN LOCKING DEVICE, PLATED HARDWARE, LEVELLING SCREWS, WALL MOUNTED STEEL SUPPORT PLATE WITH PLATED HARDWARE.

K1-COUNTER MOUNTED, DROP-IN, COMMERCIAL SINKS  
 FRANKE COMMERCIAL LBD6408P-1-1 SINK – DOUBLE COMPARTMENT SINK, SINGLE HOLE CENTERSET, COMMERCIAL SINKS, WITH OVERALL DIMENSION 794 MM (31-1/4”) LONG, 521 MM (20-1/2”) WIDE, 203 MM (8”) HIGH, CONSTRUCTED FROM 18 GAUGE TYPE 304 STAINLESS STEEL, LEFT BOWL IS 356 MM (14”) LONG AND RIGHT BOWL IS 356 MM (14”) LONG, LEFT BOWL IS 406 MM (16”) WIDE AND RIGHT BOWL IS 406 MM (16”) WIDE, LEFT BOWL IS 203 MM (8”) DEEP AND RIGHT BOWL IS 203 MM (8”) DEEP, POLISHED TO #4 SATIN FINISH, FACTORY INSTALLED EZ TORQUE™ FASTENERS, FACTORY APPLIED RIM SEAL, CENTER BACK WASTE LOCATION, CODES AND COMPLIANCES: ASME A112.19.3 COMPLIANT, CSA B45.4 COMPLIANT.

CHICAGO FAUCETS 434-ABCP FAUCET – COUNTER MOUNTED, MANUAL, SINGLE HANDLE, SINK FAUCET, POLISHED CHROME FINISH, SINGLE HOLE CENTERSET, LEAD FREE ANSI/NSF 61 COMPLIANT, 5.7 LPM (1.5 GPM) MAXIMUM FLOWRATE, SPRAY OUTLET, GOOSENECK SPOUT, PULL DOWN, 210 MM (8-1/4”) SPOUT REACH, 432 MM (17”) HIGH, LEVER HANDLE, 13 MM (1/2”) NPSM SUPPLY INLET FOR 10 MM (3/8”) OR 13 MM (1/2”) FLEXIBLE RISER, INCLUDES HOT LIMIT SAFETY STOP.

LAWLER 570-86820 MIXING VALVE – POINT OF USE AND MASTER CONTROLLED FIXTURES, THERMOSTATIC MASTER WATER MIXING CONTROL VALVE, LEAD FREE BRASS BODY CONSTRUCTION, 11 LPM (3 GPM) TEMPERED FLOWRATE @ 5 PSI PRESSURE DROP, THE TEMPERATURE IS ADJUSTED WITH THE HELP OF SPINDLE, 4-7/8” (124 MM) HEIGHT, ASSE 1070 APPROVED CERTIFIED TO CSA B125.3 FOR ASSE 1070 APPLICATIONS, 3/8” MNPT (9.5 MM) INLET, 95-115 °F OUTLET WATER TEMPERATURE RANGE, 3/8” MNPT (9.5 MM) OUTLET, 7 GPM FLOWRATE @ 45 PSI  
 MCGUIRE LFCK165LK SUPPLY – ICV DEFENDER, LEAD FREE, WITH CHROME-PLATED FINISH, INTEGRAL CHECK SUPPLY KIT, FAUCET, PIPE TO COMPRESSION CONNECTION, 3/8” I.P.S X 3/8” O.D CONNECTION, SHALLOW WALL FLANGE, LOOSE KEY HANDLE, FULL TURN BRASS STEM, 305 MM (12”) CHROME-PLATED RISERS, PURPLE EPDM PEROXIDE CURED WASHERS, CODES AND COMPLIANCES: NSF/ANSI 61 & 372, UPC MCGUIRE 89120B P-TRAP – HEAVY CAST BRASS, ADJUSTABLE P-TRAP, 292 MM (11-1/2”) LENGTH, WITH CLEANOUT PLUG, STEEL BOX FLANGE, NEOPRENE GASKET, SEAMLESS TUBULAR BRASS BEND, SLIPNUTS

K2 – BF COUNTER MOUNTED, DROP-IN, COMMERCIAL SINKS  
 FRANKE COMMERCIAL ALB9406P-1-1 SINK – DOUBLE COMPARTMENT SINK, SINGLE HOLE CENTERSET, COMMERCIAL SINKS, WITH OVERALL DIMENSION 794 MM (31-1/4”) LONG, 521 MM (20-1/2”) WIDE, 152 MM (6”) HIGH, CONSTRUCTED FROM 18 GAUGE TYPE 304 STAINLESS STEEL, LEFT BOWL IS 356 MM (14”) LONG AND RIGHT BOWL IS 356 MM (14”) LONG, LEFT BOWL IS 406 MM (16”) WIDE AND RIGHT BOWL IS 406 MM (16”) WIDE, LEFT BOWL IS 127 MM (5”) DEEP AND RIGHT BOWL IS 127 MM (5”) DEEP, CODES AND COMPLIANCES: ANSI A117.1 COMPLIANT, ASME A112.19.3 COMPLIANT, CSA B45.4 COMPLIANT.

CHICAGO FAUCETS 434-ABCP FAUCET – COUNTER MOUNTED, MANUAL, SINGLE HANDLE, SINK FAUCET, POLISHED CHROME FINISH, SINGLE HOLE CENTERSET, LEAD FREE ANSI/NSF 61 COMPLIANT, ECAS® BRASS CONSTRUCTION, WITH SUPPLY, CERAMIC CARTRIDGE WITH VOLUME CONTROL, 5.7 LPM (1.5 GPM) MAXIMUM FLOWRATE, SPRAY OUTLET, GOOSENECK SPOUT, PULL DOWN, 210 MM (8-1/4”) SPOUT REACH, 432 MM (17”) HIGH, LEVER HANDLE, 13 MM (1/2”) NPSM SUPPLY INLET FOR 10 MM (3/8”) OR 13 MM (1/2”) FLEXIBLE RISER, INCLUDES HOT LIMIT SAFETY STOP.

LAWLER 570-86820 MIXING VALVE – POINT OF USE AND MASTER CONTROLLED FIXTURES, THERMOSTATIC MASTER WATER MIXING CONTROL VALVE, LEAD FREE BRASS BODY CONSTRUCTION, NICKEL PLATED FINISH, 1.9 – 30 LPM (0.5 – 8 GPM) RANGE FOR FLOWRATE, 11 LPM (3 GPM) TEMPERED FLOWRATE @ 5 PSI PRESSURE DROP, THE TEMPERATURE IS ADJUSTED WITH THE HELP OF SPINDLE, 4-7/8” (124 MM) HEIGHT, ASSE 1070 APPROVED CERTIFIED TO CSA B125.3 FOR ASSE 1070 APPLICATIONS, 3/8” MNPT (9.5 MM) INLET, 95-115 °F OUTLET WATER TEMPERATURE RANGE, 3/8” MNPT (9.5 MM) OUTLET, 7 GPM FLOWRATE @ 45 PSI

MCGUIRE LFCK165LK SUPPLY – ICV DEFENDER, LEAD FREE, WITH CHROME-PLATED FINISH, INTEGRAL CHECK SUPPLY KIT, FAUCET, PIPE TO COMPRESSION CONNECTION, 3/8” I.P.S X 3/8” O.D CONNECTION, SHALLOW WALL FLANGE, LOOSE KEY HANDLE, FULL TURN BRASS STEM, 305 MM (12”) CHROME-PLATED RISERS, PURPLE EPDM PEROXIDE CURED WASHERS, CODES AND COMPLIANCES: NSF/ANSI 61 & 372, UPC MCGUIRE PW8089 P-TRAP – MOLDED CLOSED CELL VINYL (ANTI-MICROBIAL) WRAPPED CAST BRASS, GLOSSY WHITE, WITH CLEANOUT, ASME A112.18.2, CSA B125.2

MS-1: FLOOR MOUNTED, MOP SERVICE SINKS  
 STERN WILLIAMS SB-900-T-35-T-40-BP SINK – SINGLE COMPARTMENT SINK, MOP SERVICE SINKS, WITH OVERALL DIMENSION 610 MM (24”) LONG, 610 MM (24”) WIDE, 305 MM (12”) HIGH, CONSTRUCTED FROM PRECAST TERRAZZO, BOWL DIMENSIONS ARE 546 MM (21-1/2”) LONG, 546 MM (21-1/2”) WIDE, 254 MM (10”) DEEP, PEARL GREY MARBLE CHIPS AND WHITE PORTLAND CEMENT, 76 MM (3”) PIPE SIZE, CAST INTEGRALLY AND PROVIDES FOR A CAULKED LEAD CONNECTION NOT LESS THAN 25 MM (1”) DEEP TO A 76 MM (3”) PIPE, FLAT STAINLESS STEEL STRAINER, WITHOUT TILING FLANGE, WITH STAINLESS STEEL CAP, HOSE AND WALL HOOK, MOP HANGER, SPLASH CATCHER.

CHICAGO FAUCETS 897-ROF FAUCET – WALL-HUNG, MANUAL, TWO HANDLES, MOP SINK FAUCET, ROUGH CHROME PLATED FINISH, 194 – 213 MM (7-5/8” TO 8-3/8”) ADJUSTABLE CENTERSET, ROUND WALL ESCUTCHEONS, BRASS CONSTRUCTION, ADJUSTABLE SUPPLY ARMS, 1/4 TURN CERAMIC CARTRIDGE, NO FLOW RESTRICTOR, THREADED HOSE END, SPOUT WITH PAIL HOOK, 146 MM (5-3/4”) SPOUT REACH, 273 MM (10-3/4”) HIGH, TOP BRACE, 60 MM (2-3/8”) LEVER HANDLE WITH INDEXED BUTTONS.

LAWLER 570-86820 MIXING VALVE – POINT OF USE AND MASTER CONTROLLED FIXTURES, THERMOSTATIC MASTER WATER MIXING CONTROL VALVE, LEAD FREE BRASS BODY CONSTRUCTION, NICKEL PLATED FINISH, 1.9 – 30 LPM (0.5 – 8 GPM) RANGE FOR FLOWRATE, 11 LPM (3 GPM) TEMPERED FLOWRATE @ 5 PSI PRESSURE DROP, 4-7/8” (124 MM) HEIGHT, ASSE 1070 APPROVED CERTIFIED TO CSA B125.3 FOR ASSE 1070 APPLICATIONS, 3/8” MNPT (9.5 MM) INLET, 95-115 °F OUTLET WATER TEMPERATURE RANGE, 3/8” MNPT (9.5 MM) OUTLET, INTERNAL CHECKS, 7 GPM FLOWRATE @ 45 PSI

LS-1: BF COUNTER MOUNTED, DROP-IN, COMMERCIAL SINKS  
 FRANKE COMMERCIAL ALB56806P-1-1 SINK SINGLE COMPARTMENT SINK, SINGLE HOLE CENTERSET, COMMERCIAL SINKS, WITH OVERALL DIMENSION 508 MM (20”) LONG, 521 MM (20-1/2”) WIDE, 152 MM (6”) HIGH, CONSTRUCTED FROM 18 GAUGE TYPE 304 STAINLESS STEEL, BOWL DIMENSIONS ARE LEFT BOWL IS 457MM (18”) LONG AND RIGHT BOWL IS 305MM (12”) LONG, 406 MM (16”) WIDE, 152 MM (6”) DEEP, POLISHED TO #4 SATIN FINISH, CENTER BACK WASTE LOCATION, 38 MM (1-1/2”) (DN38) BRASS TAILPIECE, 89 MM (3-1/2”) CRUMB CUP STRAINER, WASTE FITTING INCLUDED, CODES AND COMPLIANCES: ANSI A117.1 COMPLIANT, ASME A112.19.3 COMPLIANT, CSA B45.4 COMPLIANT.

CHICAGO FAUCETS 430-ABCP FAUCET – COUNTER MOUNTED, MANUAL, SINGLE HANDLE, SINK FAUCET, POLISHED CHROME FINISH, SINGLE HOLE CENTERSET, LEAD FREE ANSI/NSF 61 COMPLIANT, 5.7 LPM (1.5 GPM) MAXIMUM FLOWRATE, PRESSURE COMPENSATING ECONO-FLO™ NON-AERATED LAMINAR SPRAY OUTLET, TUBULAR CAST BRASS SPOUT, 229 MM (9”) SPOUT REACH, 146 MM (5-3/4”) HIGH, 108 MM (4-1/4”) LEVER HANDLE, 13 MM (1/2”) NPSM SUPPLY INLET, INCLUDES HOT LIMIT SAFETY STOP.

LAWLER 570-86820 MIXING VALVE – POINT OF USE AND MASTER CONTROLLED FIXTURES, THERMOSTATIC MASTER WATER MIXING CONTROL VALVE, LEAD FREE BRASS BODY CONSTRUCTION, NICKEL PLATED FINISH, 1.9 – 30 LPM (0.5 – 8 GPM) RANGE FOR FLOWRATE, 11 LPM (3 GPM) TEMPERED FLOWRATE @ 5 PSI PRESSURE DROP, THE TEMPERATURE IS ADJUSTED WITH THE HELP OF SPINDLE, 4-7/8” (124 MM) HEIGHT, ASSE 1070 APPROVED CERTIFIED TO CSA B125.3 FOR ASSE 1070 APPLICATIONS, 3/8” MNPT (9.5 MM) INLET, 7 GPM FLOWRATE @ 45 PSI

MCGUIRE LFCK165LK SUPPLY – ICV DEFENDER, LEAD FREE, WITH CHROME-PLATED FINISH, INTEGRAL CHECK SUPPLY KIT, FAUCET, PIPE TO COMPRESSION CONNECTION, 3/8” I.P.S X 3/8” O.D CONNECTION, SHALLOW WALL FLANGE, LOOSE KEY HANDLE, FULL TURN BRASS STEM, 305 MM (12”) CHROME-PLATED RISERS, CODES AND COMPLIANCES: NSF/ANSI 61 & 372, UPC MCGUIRE PW8089 P-TRAP – MOLDED CLOSED CELL VINYL (ANTI-MICROBIAL) WRAPPED CAST BRASS, GLOSSY WHITE, WITH CLEANOUT, ASME A112.18.2, CSA B125.2

AS-1: BF COUNTER MOUNTED, DROP-IN, COMMERCIAL SINKS  
 FRANKE COMMERCIAL ALB54606P-1-1 SINK – SINGLE COMPARTMENT SINK, SINGLE HOLE CENTERSET, COMMERCIAL SINKS, WITH OVERALL DIMENSION 460 MM (18-1/8”) LONG, 478 MM (18-13/16”) WIDE, 152 MM (6”) HIGH, CONSTRUCTED FROM 18 GAUGE TYPE 304 STAINLESS STEEL, BOWL DIMENSIONS ARE 406 MM (16”) LONG, 356 MM (14”) WIDE, 152 MM (6”) DEEP, POLISHED TO #4 SATIN FINISH, CENTER WASTE LOCATION, 38 MM (1-1/2”) (DN38) BRASS TAILPIECE, 89 MM (3-1/2”) CRUMB CUP STRAINER, CODES AND COMPLIANCES: ANSI A117.1 COMPLIANT, ASME A112.19.3 COMPLIANT, CSA B45.4 COMPLIANT.

CHICAGO FAUCETS 430-ABCP FAUCET – COUNTER MOUNTED, MANUAL, SINGLE HANDLE, SINK FAUCET, POLISHED CHROME FINISH, SINGLE HOLE CENTERSET, LEAD FREE ANSI/NSF 61 COMPLIANT, CERAMIC CARTRIDGE WITH VOLUME CONTROL, 5.7 LPM (1.5 GPM) MAXIMUM FLOWRATE, PRESSURE COMPENSATING ECONO-FLO™ NON-AERATED LAMINAR SPRAY OUTLET, TUBULAR CAST BRASS SPOUT, 229 MM (9”) SPOUT REACH, 146 MM (5-3/4”) HIGH, 108 MM (4-1/4”) LEVER HANDLE, 13 MM (1/2”) NPSM SUPPLY INLET, INCLUDES HOT LIMIT SAFETY STOP.

LAWLER 570-86820 MIXING VALVE – POINT OF USE AND MASTER CONTROLLED FIXTURES, THERMOSTATIC MASTER WATER MIXING CONTROL VALVE, LEAD FREE BRASS BODY CONSTRUCTION, NICKEL PLATED FINISH, 1.9 – 30 LPM (0.5 – 8 GPM) RANGE FOR FLOWRATE, 11 LPM (3 GPM) TEMPERED FLOWRATE @ 5 PSI PRESSURE DROP, THE TEMPERATURE IS ADJUSTED WITH THE HELP OF SPINDLE, 4-7/8” (124 MM) HEIGHT, ASSE 1070 APPROVED CERTIFIED TO CSA B125.3 FOR ASSE 1070 APPLICATIONS, 3/8” MNPT (9.5 MM) INLET, 7 GPM FLOWRATE @ 45 PSI

MCGUIRE LFCK165LK SUPPLY – ICV DEFENDER, LEAD FREE, WITH CHROME-PLATED FINISH, INTEGRAL CHECK SUPPLY KIT, FAUCET, PIPE TO COMPRESSION CONNECTION, 3/8” I.P.S X 3/8” O.D CONNECTION, SHALLOW WALL FLANGE, LOOSE KEY HANDLE, FULL TURN BRASS STEM, 305 MM (12”) CHROME-PLATED RISERS, CODES AND COMPLIANCES: NSF/ANSI 61 & 372, UPC MCGUIRE PW8089 P-TRAP – MOLDED CLOSED CELL VINYL (ANTI-MICROBIAL) WRAPPED CAST BRASS, GLOSSY WHITE, WITH CLEANOUT, ASME A112.18.2, CSA B125.2

SH-1: BATH/SHOWER TRIM  
 COLONY® PRO WATER-SAVING PRESSURE BALANCE BATH/SHOWER TRIM  
 AMERICAN STANDARD TU075508.002 COMPLETE SHOWER TRIM – WATER-SAVING PRESSURE BALANCE BATH/SHOWER TRIM WITH DOUBLE CERAMIC PRESSURE BALANCE CARTRIDGE, POLISHED CHROME FINISH, BATH/SHOWER TRIMKIT WITH WATER-SAVING SHOWERHEAD WITH A MAXIMUM 1.75 GPM (6.6 LPM) FLOWRATE AND METAL SLIP-ON DIVERTER SPOUT, LESS VALVE BODY, 1.75 GPM (6.6 LPM) MAXIMUM FLOWRATE, METAL LEVER HANDLE, PRESSURE BALANCE, INCLUDES INTEGRATED CHECK VALVES, DIVERTING TUB SPOUT, FOR USE WITH FLASH™ ROUGH VALVE BODIES, DOUBLE CERAMIC PRESSURE BALANCE CARTRIDGE, HOT LIMIT SAFETY STOP, ASSE 1016, ASME A112.18.1016, CSA B125.16, ASME A112.18.1, CSA B125.1  
 AMERICAN STANDARD RU101SS SHOWER VALVE – FLASH™, WITH SCREWDRIWER STOPS, CAST BRASS CONSTRUCTION, SHOWER VALVE, PRESSURE BALANCE ROUGH VALVE BODY ONLY, LESS TRIM, ONE-HALF” INLETS AND OUTLETS, UNIVERSAL INLETS/OUTLETS, WITH A PRE-INSTALLED TEST CAP WITH STAINLESS STEEL RETAINING RING WITH FLATS, FEATURES BACK-TO-BACK CAPABILITY, FLAT BACK TO ALLOWS VALVE TO BE MOUNTED FLUSH AGAINST CROSS BRACE FOR EASY AND SOLID INSTALLATION, ASSE 1016, ASME A112.18.1016, CSA B125.16, ASME A112.18.1, CSA B125.1.

SH-2: BF SHOWER: TERRAZO WHEELCHAIR SHOWER RECEPTOR SEQUOIAM® SERIESFIAT WTR500310RECTANGLE-SSDSS SHOWER FLOOR AND STALLS – PRECAST TERRAZZO, QUICK DRAIN CONNECTOR: USE WITH CAST IRON SOIL PIPE, P.V.C. SCHEDULE 40 D.W.V. AND STEEL SCHEDULE 40 (#QDC4), RECTANGULAR, TRANSFER TYPE SHOWER FLOOR, WHITE MARBLE CHIPS IN WHITE PORTLAND CEMENT, 42” x 70” (1067 X 1778 MM) SIZE, 13 MM (1/2”) THRESHOLD HEIGHT, SINGLE THRESHOLD, MADE OF STAINLESS STEEL CAST INTEGRALLY AND PROVIDES FOR A CAULKED LEAD CONNECTION NOT LESS THAN 25 MM (1”) DEEP TO A 51 MM (2”) PIPE WITH STAINLESS STEEL STRAINER PLATE (#STRZ) , INTEGRAL STAINLESS STEEL ENTRY CAP, INTEGRAL GALVANIZED BONDERIZED STEEL TILING FLANGE, INSTALL A FLOOR DRAIN AT OR NEAR THE ENTRANCE  
 BOBRICK B-517 SHOWER AND TUB ACCESSORIES – SHOWER SEAT, RIGHT-HAND SEAT, 51 MM (2”) THICK OVERALL WITH 38 MM (1-1/2”) THICK, CLOSED-CELL POLYURETHANE FOAM PADDING MOUNTED ON 13 MM (1/2”) THICK PLYWOOD. COVERED IN WHITE NAUGAHYDE (WATER-RESISTANT, REINFORCED VINYL FABRIC),, 835 MM (32-7/8”) WIDE, 565 MM (22-1/4”) HIGH, 22-11/16” (575 MM) PROJECTION FROM WALL IN OPEN POSITION, 18-8, TYPE-304, HEAVY-GAUGE STAINLESS STEEL,, 18-8, TYPE-304 STAINLESS STEEL WITH SATIN FINISH. 16-GAUGE (1.6 MM), 32 MM (1-1/4”) SQUARE MEMBERS AND 18 GAUGE (1.2 MM), 25 MM (1”) DIAMETER TUBING., 18-8, TYPE-304, 16-GAUGE (1.6 MM) STAINLESS STEEL WITH SATIN FINISH.  
 AMERICAN STANDARD TU6625G213.002 COMPLETE SHOWER TRIM – POLISHED CHROME FINISH, HAND SHOWER, SHOWERHEAD AND VALVE TRIM, 6.7 LPM (1.5 GPM) SHOWERHEAD FLOWRATE, FLOWISE SHOWERHEAD, 3-FUNCTION HAND SHOWER WITH NON-POSITIVE SHUT OFF (1660.766), 5.7 LPM (1.5 GPM) HANDSHOWER FLOWRATE, 59” (1500 MM) SHOWER HOSE (8888.035), METAL LEVER HANDLE, PRESSURE BALANCE VALVE, ADJUSTABLE HIGH TEMPERATURE LIMIT STOP, VALVE TRIM WITH METAL HANDLE AND ESCUTCHEON, 914 MM (36”) SLIDE GRAB BAR (1662.236), 2-WAY DIVERTER (R422), COMBINATION OF CERAMIC DISC MIXING VALVE AND A CERAMIC BALANCING SPOOL IN A ONE-PIECE CARTRIDGE, WATERSENSE® CERTIFIED, ADA, ASSE 1016, ASME A112.18.1016, CSA B125.16, ASME A112.18.1, CSA B125.1  
 AMERICAN STANDARD T105430.002 DIVERTER VALVE TRIM – STUDIO® S, IN-WALL DIVERTER VALVES, SOLID BRASS CONSTRUCTION, POLISHED CHROME FINISH, STAMPED BRASS ESCUTCHEON, LESS VALVE, VALVE TRIM ONLY, 1/2” NPT CONNECTIONS ON MIXED WATER INLET AND TWO (R422/R422S) OR THREE (R433/R433S) OUTLETS, LEVER HANDLE, MEETS THE AMERICAN DISABILITIES ACT GUIDELINES AND ANSI A117.1 REQUIREMENTS FOR THE PHYSICALLY CHALLENGED., ASME A112.18.1, PERMITS CHECKING OF VALVE INSTALLATION PRIOR TO INSTALLING TRIM PARTS, CANNOT BE USED AS A SHUT-OFF VALVE  
 AMERICAN STANDARD 1660.505.002 W/ 95866 HAND SHOWER – GROHE 95866 VOLUME CONTROL WITH NON-POSITIVE SHUTOFF, FIXED PERSONAL SHOWER, POLISHED CHROME FINISH, HAND HELD PERSONAL SHOWERS, 9.5 LPM (2.5 GPM), FIXED CONVENTIONAL SPRAY, (2-5/8”) , (5-3/4”), AMERICAN STANDARD 1662.236.002 SLIDE BAR – CONCEALED SCREW MOUNTING SYSTEM, COMMERCIAL, COMMERCIAL SHOWER SYSTEMS, SLIDE/GRAB BAR, POLISHED CHROME FINISH, 38 MM (1-1/2”) DIAMETER STAINLESS STEEL BAR, 914 MM (36”) STAINLESS BAR, CHROME-PLATED HAND SHOWER HOLDER, CHROME-PLATED ADJUSTABLE SLIDE MECHANISM, MEETS ANSI STANDARD 250 LB PULL TEST.MEETS AMERICAN DISABILITIES ACT (ADA) , INCLUDES MOUNTING SCREWS AND ANCHORS  
 AMERICAN STANDARD 8888.037.075 WALL SUPPLY – WALL SUPPLY, PVD STAINLESS STEEL FINISH, INCLUDES CHECK VALVE, 1/2” NPT FEMALE THREAD, 1/2” NPSM MALE HOSE THREAD  
 AMERICAN STANDARD 8888.036.002 HAND SHOWER HOLDER – FIXTURE WALL BRACKET, POLISHED CHROME FINISH  
 AMERICAN STANDARD 1660.400.002 VACUUM BREAKER – VACUUM BREAKER, POLISHED CHROME FINISH FOR INLINE WITH 13 MM (1/2”) SIZE, ATTACHES BETWEEN SUPPLY OUTLET AND PERSONAL SHOWER HOSE.  
 BLÜCHER BWC-130-60-VP-C TRENCH DRAIN – VANDAL-RESISTANT GRATE, BWC-100, AISI TYPE 304 STAINLESS STEEL, WATERLINE SHOWER, CHANNEL, 50 MM (2”) NO HUB, 2” (50) NO HUB, PVC SOCKET, EPOXY COATED CAST IRON, VIENNA (STANDARD) , COPENHAGEN, REVERSIBLE CAST STAINLESS STEEL COLLAR WITH DUAL O-RING SEALS, WEEPHOLES, 83 MM (3-1/4”) WIDE  
 GROHE 40366001 BATHROOM ACCESSORIES – ESSENTIALS, STARLIGHT CHROME FINISH, TOWEL RAIL, 654 MM (FUNCTIONAL LENGTH 600 MM) , METAL CONSTRUCTION, CONCEALED FASTENING

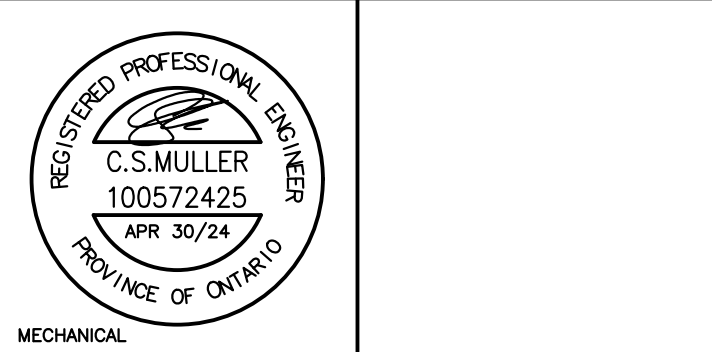
AMERICAN STANDARD 1660.505.002 W/ 95866 HAND SHOWER – GROHE 95866 VOLUME CONTROL WITH NON-POSITIVE SHUTOFF, FIXED PERSONAL SHOWER, POLISHED CHROME FINISH, HAND HELD PERSONAL SHOWERS, 9.5 LPM (2.5 GPM), FIXED CONVENTIONAL SPRAY, (2-5/8”) , (5-3/4”), AMERICAN STANDARD 1662.236.002 SLIDE BAR – CONCEALED SCREW MOUNTING SYSTEM, COMMERCIAL, COMMERCIAL SHOWER SYSTEMS, SLIDE/GRAB BAR, POLISHED CHROME FINISH, 38 MM (1-1/2”) DIAMETER STAINLESS STEEL BAR, 914 MM (36”) STAINLESS BAR, CHROME-PLATED HAND SHOWER HOLDER, CHROME-PLATED ADJUSTABLE SLIDE MECHANISM, MEETS ANSI STANDARD 250 LB PULL TEST.MEETS AMERICAN DISABILITIES ACT (ADA) , INCLUDES MOUNTING SCREWS AND ANCHORS

AMERICAN STANDARD 8888.037.075 WALL SUPPLY – WALL SUPPLY, PVD STAINLESS STEEL FINISH, INCLUDES CHECK VALVE, 1/2” NPT FEMALE THREAD, 1/2” NPSM MALE HOSE THREAD  
 AMERICAN STANDARD 8888.036.002 HAND SHOWER HOLDER – FIXTURE WALL BRACKET, POLISHED CHROME FINISH  
 AMERICAN STANDARD 1660.400.002 VACUUM BREAKER – VACUUM BREAKER, POLISHED CHROME FINISH FOR INLINE WITH 13 MM (1/2”) SIZE, ATTACHES BETWEEN SUPPLY OUTLET AND PERSONAL SHOWER HOSE.  
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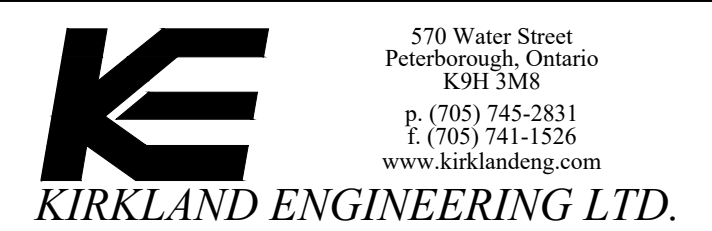
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PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
 1697 HIGHWAY No 2 CLARINGTON, ON

TITLE	FIXTURE SPECIFICATION		
DESIGN	CSM	SCALE AS NOTED	
DRAWN	KCS	DWG NO.	
CHECKED	CS		

**GENERAL MECHANICAL SPECIFICATIONS**

1. THE MECHANICAL DRAWINGS DO NOT SHOW ALL THE ARCHITECTURAL, STRUCTURAL AND ELECTRICAL DETAILS. INFORMATION INVOLVING ACCURATE DIMENSIONING OF THE SITE CONDITIONS SHALL BE TAKEN FROM SITE BY CONTRACTOR. CONTRACTOR TO MAKE ANY NECESSARY MODIFICATIONS OR ADDITIONS, WITHOUT CHARGE, TO ACCOMMODATE THE SITE CONDITIONS.
2. EQUIPMENT TO BE AS SPECIFIED OR APPROVED EQUIVALENT. DESIGN BASED ON EQUIPMENT AS SPECIFIED IN EQUIPMENT SCHEDULE AND IS NOT INTENDED TO SHOW EQUIPMENT IN EXACT LOCATIONS. CONTRACTOR IS RESPONSIBLE TO VERIFY EQUIPMENT DIMENSIONS TO ENSURE THAT EQUIPMENT WILL FIT SITE CONDITIONS. ANY COST ASSOCIATED WITH USING EQUIPMENT OTHER THAN WHAT IS SPECIFIED IS THE FULL RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA WILL BE ALLOWED FOR THESE COSTS.
3. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, THE SPECIFICATION, AND ALL OTHER TENDER DOCUMENTS.
4. ALL PIPING AND DUCT WORK TO BE LABELED INCLUDING DIRECTION OF FLOW EVERY 8' AND EACH CHANGE IN DIRECTION.
5. CONTRACTOR IS RESPONSIBLE TO ENSURE ALL EQUIPMENT AND MATERIALS CAN FIT INTO MECHANICAL ROOM OR ITS PLACE, THROUGH FINISHED OPENINGS, OR THAT MATERIAL IS PLACED IN MECHANICAL ROOM AT APPROPRIATE PHASE OF CONSTRUCTION.
6. PRIOR TO SUBMITTING TENDERS, THE CONTRACTOR SHALL VISIT THE SITE TO DETERMINE ALL EXISTING CONDITIONS. ALLOW FOR ALL COSTS ASSOCIATED WITH COMPLETING THE WORK OF MECHANICAL DIVISION IN ACCORDANCE WITH EXISTING SITE AND BUILDING CONDITIONS. CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITY CONNECTIONS WHERE CONNECTIONS ARE REQUIRED. CONTRACTOR TO VERIFY LOCATION, DEPTH, ELEVATION, AND SIZE OF INVERT. NO ALLOWANCE FOR EXTRA PAYMENTS TO THE CONTRACTOR WILL BE MADE BY THE OWNER FOR FAILING TO VISIT AND EXAMINE SITE CONDITIONS.
7. SUB-CONTRACTOR SHALL MAINTAIN SUCH INSURANCE AS WILL FULLY PROTECT BOTH THE OWNER AND THE SUB-CONTRACTOR FROM ANY AND ALL CLAIMS UNDER THE WORKMEN'S COMPENSATION ACT, ALSO ALL INSURANCE.
8. MAINTAIN A SEPARATE SET OF WHITE PRINTS ON THE SITE AND NOTE ALL CHANGES AND DEVIATIONS FROM THE ORIGINAL DESIGN. TWO SETS OF THESE DRAWINGS SHOWING ALL AS-BUILT CONDITIONS SHALL BE FORWARDED TO THE OWNER AT THE COMPLETION OF THIS CONTRACT AND BEFORE APPLYING FOR FINAL PAYMENT.
9. ADDITIONAL MONEY OVER THE CONTRACT PRICE SHALL NOT BE PAID UNLESS AN APPROVED CHANGE ORDER IS ISSUED BY THE OWNER. CLAIMS FOR EXTRAS SHALL BE SUBMITTED WITH A COMPLETE BREAKDOWN OF MATERIAL, LABOUR, HOURLY RATES, ETC.
10. BE RESPONSIBLE TO KEEP THE AREA CLEAN AT ALL TIMES AND TO PERIODICALLY REMOVE ALL DEBRIS. CONSTRUCTION AREA TO BE ISOLATED BY MEANS OF TARPS AND/OR TEMPORARY PARTITIONS.
11. ALL CUTTING AND PATCHING REQUIRED FOR THE WORK OF THIS DIVISION SHALL BE CARRIED OUT BY THIS DIVISION. CUTTING AND DRILLING SHALL BE PERFORMED IN A MANNER SO AS TO CAUSE LITTLE DAMAGE. BE RESPONSIBLE AND PAY FOR ANY DAMAGE TO THE BUILDING INCURRED BY WORK OF THIS DIVISION.
12. BE RESPONSIBLE TO COORDINATE THE INSTALLATION OF EQUIPMENT, DUCTING, PIPING, ETC. WITH OTHER TRADES AND THE OWNER'S REPRESENTATIVE PRIOR TO THE ACTUAL INSTALLATION.
13. BE RESPONSIBLE FOR MECHANICAL WORK UNTIL THE COMPLETION AND FINAL ACCEPTANCE, FOR REPLACING ANY ITEM THAT MAY BE DEFECTIVE, DAMAGED, LOST OR STOLEN WITHOUT ADDITIONAL COST TO THE OWNER OR DELAY TO THE COMPLETION OF THE PROJECT.
14. SHOP DRAWINGS AND PRODUCT DATA. "SHOP DRAWINGS" MEANS DRAWINGS, DIAGRAMS, ILLUSTRATIONS, SCHEDULES, PERFORMANCE, CHARTS, BROCHURES, AND OTHER DATA WHICH ARE TO BE PROVIDED BY THE CONTRACTOR TO ILLUSTRATE DETAILS OF A PORTION OF THE WORK. INDICATE MATERIALS METHODS OF CONSTRUCTION AND ATTACHMENT OR ANCHORAGE, NECESSARY FOR COMPLETION OF WORK. ADJUSTMENTS MADE ON SHOP DRAWINGS BY OWNER OR ENGINEER ARE NOT INTENDED TO CHANGE CONTRACT PRICE. MAKE CHANGES IN SHOP DRAWINGS AS OWNER OR ENGINEER MAY REQUIRE. SUBMIT 6 HARD COPIES, OR 1 HIGH QUALITY ELECTRONIC COPY OF PRODUCT DATA SHEETS OR BROCHURES FOR ALL MECHANICAL EQUIPMENT. PROVIDE 2 MAINTENANCE MANUALS COMPLETE WITH WARRANTY, CERTIFICATE OF INSPECTIONS, AND COPY OF ALL PRODUCT LITERATURE AND MAINTENANCE INFORMATION.
15. PRIOR TO FINAL INSPECTION DEMONSTRATE OPERATION OF EACH SYSTEM TO OWNER AND ENGINEER. INSTRUCT PERSONNEL IN OPERATION ADJUSTMENT AND MAINTENANCE OF EQUIPMENT AND SYSTEMS, USING PROVIDED OPERATION AND MAINTENANCE DATA AS BASIS FOR INSTRUCTION.
16. AFTER THE WORK IS COMPLETED, GIVE A WRITTEN GUARANTEE FOR ONE YEAR COVERING WORKMANSHIP AND MATERIALS. REPAIR OR REPLACE, WITHOUT EXPENSE TO THE OWNER, ANY DEFECTS DUE TO WORKMANSHIP OR MATERIALS WHICH IN THE OWNER'S OPINION, ARE NOT DUE TO MISUSE OR NEGLIGENCE.
17. THE MECHANICAL CONTRACTOR SHALL ENSURE THAT EVERY FIXTURE, PLUMBING APPLIANCE, INTERCEPTOR, CLEANOUT, VALVE, DEVICE OR PIECE OF EQUIPMENT SHALL BE LOCATED IN A MANNER THAT IT IS READILY ACCESSIBLE FOR USE, CLEANING, MAINTENANCE OR REPAIR. MECHANICAL CONTRACTOR SHALL PROVIDE ACCESS DOORS LARGE ENOUGH TO PERMIT EASY ACCESS TO CONCEALED FIXTURES, PLUMBING APPLIANCES, FIRE DAMPERS, INTERCEPTORS, CLEANOUTS, VALVES, DEVICES OR PIECES OF EQUIPMENT.
18. CONTRACTOR SHALL CARRY THE SERVICES OF AN APPROVED FIRE STOPPING INSTALLER AND SHALL PROVIDE ALL FIRE STOPPING FOR ALL MECHANICAL AND ELECTRICAL PENETRATIONS. PROVIDE SHOP DRAWINGS FOR FIRE STOPPING MATERIALS USED.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY OF THEIR PROPERTY. THE OWNER BEARS NO RESPONSIBILITY FOR PROTECTION FROM THEFT, FIRE, OR ENVIRONMENTAL CONDITIONS.
20. ALL PIPING AND DUCTING SHOWN FOR SCHEMATIC AND SCOPE OF WORK PURPOSES IN GENERAL LOCATION OF USE. COORDINATE EXACT ROUTING ON SITE AND WITH BEST PRACTICES.

**GENERAL PLUMBING SPECIFICATIONS**

1. ALL HOT AND COLD WATER PIPING AFTER THE MAIN BUILDING CWS ISOLATION VALVE SHALL BE HARD COPPER TYPE L PIPING WHICH SHALL CONFORM TO ASTM B42 AND ASTM B88.
2. ALL DOMESTIC WATER PIPING TO BE INSULATED c/w VAPOUR BARRIER. PIPE INSULATION TO CONFORM O.B.C. TABLE 12.3.4.5.
3. ALL DRAINAGE, WASTE, AND VENT PIPE TO BE PVC DWV WITH FLAME SPREAD RATING < 25. PIPES TO BE XFR WHERE PENETRATING FIRE RATED WALLS.
4. WATER HAMMER ARRESTORS TO BE STAINLESS STEEL BELLOWS TYPE; WATTS SS-A OR APPROVED EQUIVALENT.
5. ROUTE ABOVE GROUND PIPING IN CEILING SPACE OF WALL INTERIORS FOR CONCEALMENT WHERE EVER POSSIBLE UNLESS SPECIFICALLY NOTED OTHERWISE ON DRAWINGS. COORDINATE PIPE INSTALLATION IN WALLS WITH MASON AND OR DRYWALLER OR APPROPRIATE TRADE INVOLVED.
6. INSTALL ISOLATION VALVES IN EACH BRANCH LINE FROM COLD AND HOT WATER MAINS, AT BASE OF EACH RISER, AND BEFORE EACH FIXTURE OR EQUIPMENT CONNECTED TO COLD/HOT WATER SYSTEM. PROVIDE A FIRE RATED ACCESS DOOR AT EACH CONCEALED VALVE.
7. INSTALL FLANGES OR UNIONS TO PERMIT REMOVAL OF EQUIPMENT WITHOUT DISTURBING PIPING SYSTEMS.
8. PROVIDE COMPLETE DRAINAGE AND VENT SYSTEMS TO SERVE FIXTURES AND ITEMS SPECIFIED AND AS SHOWN ON PLANS.
9. WHERE EXPOSED PIPES PASSES THROUGH FINISHED FLOORS, WALLS, OR CEILINGS, PROVIDE CHROME PLATED ESCUTCHEON WITH SET SCREW.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY MATERIALS & LABOUR TO MAINTAIN ALL FIRE SEPARATIONS AFFECTED BY THE WORK PERFORMED.
11. GRADE HORIZONTAL SANITARY DRAINAGE AND VENT PIPING AT MINIMUM 1:50.
12. ALL FAUCET AND TOILET SUPPLY LINES SHALL BE STAINLESS BRAIDED HOSE.
13. ALL FLOOR DRAINS TO BE TRAPPED, PRIMED, AND VENTED WITH STRAINER INSTALLED FLUSH WITH FINISHED FLOOR. SUPPLY AND INSTALL PRIMER AND TUBING FROM CLOSEST COLD WATER BRANCH, C/W SPECIALTY BLEED VALVE (P.P.P. OR EQUAL), UNLESS OTHERWISE SPECIFIED IN DRAWINGS.
14. EXPOSED P-TRAPS SHALL BE CHROME PLATED BRASS.
15. SIZE OF DRAINAGE PIPE SERVING FIXTURES:
 

DISHWASHER	1-1/2" (38mm)	LAVATORY	1-1/2" (38mm)
SINK	1-1/2" (38mm)	SHOWER	1-1/2" (38mm)
SERVICE SINK	1-1/2" (38mm)	URINAL	2" (51mm)
WC	3" (76mm)	FLOOR DRAIN	2" (51mm)
16. SIZE OF EITHER CWS & HWS ISOLATION VALVES SERVING FIXTURES:
 

DISHWASHER	1/2" (13mm)	LAVATORY	1/2" (13mm)
SINK	1/2" (13mm)	SHOWER	1/2" (13mm)
SERVICE SINK	1/2" (13mm)	URINAL	3/4" (19mm)
WC	1/2" (13mm)	WF	1/2" (13mm)
17. ALL PIPING FITTINGS WITH TERMINAL EQUIPMENT SHALL BE LEAD FREE.
18. THE CONTRACTOR IS RESPONSIBLE FOR THE INSULATION OF THE STORM PIPES INSIDE THE BUILDING.
19. ALL PIPING IS TO BE STRAIGHT, PARALLEL AND PERPENDICULAR TO THE BUILDING STRUCTURE. SLOPE ALL PIPING TO DRAIN POINTS.
20. WHEN PIPE LAYING NOT IN PROGRESS, CLOSE OFF OPEN ENDS OF PIPE WITH WATER TIGHT PLUG OR CAP.
21. INSTALL CLEANOUTS AS REQUIRED BY PLUMBING CODES. SIZE OF CLEANOUTS TO MATCH SIZE OF ASSOCIATED SANITARY PIPE. ENSURE CLEAN OUTS ARE MADE ACCESSIBLE.
22. CONNECT FIXTURES COMPLETE WITH SUPPLIES AND DRAINS, TRAPPED, SUPPORTED, SANITARY LEVEL AND SQUARE WITH HOT WATER FAUCETS ON THE LEFT.

**GENERAL HVAC SPECIFICATIONS**

1. PROVIDE DUCTWORK IN ACCORDANCE WITH A.S.H.R.A.E. AND INTERNATIONAL MECHANICAL CODES CHAPTER 5 SECTION 506, LATEST EDITION. ALL DUCTS SHALL BE FABRICATED FROM PRIME QUALITY GALVANIZED STEEL AS PER A.S.H.R.A.E. STANDARDS. DUCTS SHALL BE INSTALLED AS HIGH AS POSSIBLE. PROPER ANGLE IRON SUPPORTS, HANGERS, ETC., SHALL BE PROVIDED FOR ALL DUCTS. SEAL ALL JOINTS OF DUCTS WITH HIGH PRESSURE SEALER. APPLY SEALANT TO OUTSIDE OF JOINTS AS PER MANUFACTURERS RECOMMENDATIONS. CONSTRUCT DUCTS IN ACCORDANCE WITH THE FOLLOWING:
 

MAX DUCT DIMENSION	U.S. GAUGE
UP TO 12"	26
13" TO 30"	24
31" TO 54"	22

CONSTRUCT ROUND DUCTS IN ACCORDANCE WITH THE FOLLOWING:

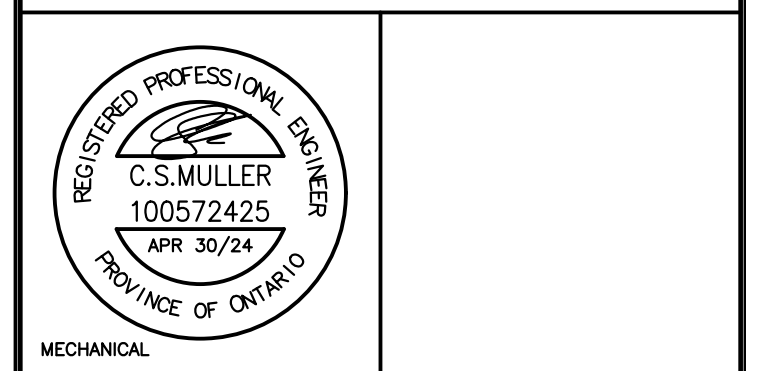
4" TO 8" DIAMETER - 26 GAUGE  
9" TO 24" DIAMETER - 24 GAUGE
2. EQUIVALENT DUCT SIZES MAY BE SUBSTITUTED IN LIEU OF THOSE SHOWN, IN ORDER TO AVOID INTERFERENCE WITH STRUCTURE AND OTHER MECHANICAL SERVICES. CONTRACTOR TO PROVIDE DRAWINGS OF ANY PROPOSED CHANGES TO ENGINEER FOR APPROVAL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN DESIGN AIR FLOW WITH DUCT INSTALLATION. ALL SUPPLY & RETURN BRANCHES SHALL BE AT 45' TAKE OFFS.
3. THE CONTRACTOR SHALL VERIFY EXACT LOCATION OF EQUIPMENT PRIOR TO FABRICATION AND INSTALLATION OF DUCTWORK. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED ELBOWS, DUCT ACCESSORIES, ETC. TO COMPLETE THE INTENT OF THE MECHANICAL DRAWINGS.
4. HVAC EQUIPMENT MUST NOT BE USED DURING CONSTRUCTION. DUCT OPENINGS SHALL BE COVERED TO KEEP OUT DUST AND DEBRIS. COMMISSIONING MUST NOT BE PERFORMED UNTIL ALL INTERIOR FINISHES ARE COMPLETE.
5. INSULATE ALL DUCTS IN ACCORDANCE WITH ASHRAE 90.1, LATEST EDITION.
6. MECHANICAL EQUIPMENT TO BE ISOLATED FROM DUCT WORK USING 6" FLEXIBLE DUCT CONNECTORS ON BOTH THE SUPPLY AND RETURN DUCTS.
7. ALL MITERED ELBOWS TO BE COMPLETE WITH DOUBLE THICKNESS AIR VANES. ALL RADIUSED ELBOWS TO BE COMPLETE WITH SPLITTER VANES PER SMACNA DUCT CONSTRUCTION STANDARDS.
8. PROVIDE VOLUME DAMPERS AT ALL DUCT BRANCHES AND TAKE-OFFS.
9. PROVIDE AN INDEPENDENT FIRM CERTIFIED BY NEBB TO CONDUCT TESTING, ADJUSTING AND BALANCING OF ALL MECHANICAL SYSTEMS AND COMPONENTS, INCLUDING ALL DUCTS AND HYDRONIC PIPING. SUBMIT WRITTEN REPORT IN TRIPPLICATE TO MECHANICAL ENGINEER UPON COMPLETION.
10. MAXIMUM LENGTH OF FLEX DUCT PERMITTED IS 10' PER DIFFUSER. NO FLEX DUCT IS PERMITTED ON EXPOSED DUCT WORK.
11. PROVIDE FIRE DAMPERS IN DUCTS AT FLOOR, WALL, CEILING, AND ROOF PENETRATIONS WHERE FIRE SEPARATIONS ARE CROSSED, AND WHERE REQUIRED BY LOCAL AUTHORITIES AND CODES. FIRE DAMPERS SHALL MAINTAIN 100% FREE AREA OF DUCTWORK (TYPE 'B' FIRE DAMPERS). RATE FIRE DAMPERS TO MATCH THE FIRE RATING OF SEPARATION CROSSED. PROVIDE ONLY ULC LABELED DAMPERS AND INSTALL AS SPECIFIED IN NFPA/CUA 90A.
12. SUPPLY AND RETURN DUCTS SHALL BE CONNECTED TO THE HVAC UNIT THROUGH A FLEXIBLE NON METALLIC DUCT.
13. 10' OF ACOUSTIC SOUND INSULATION SHALL BE PROVIDED TO THE DUCTS AT THE BEGINNING NEAR THE HVAC UNIT.
14. SMOKE DETECTORS AT SUPPLY DUCTS SHALL BE PROVIDED TO AUTOMATICALLY SHUT DOWN UNITS UPON DETECTION OF SMOKE.


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NO.	DESCRIPTION	DATE	BY
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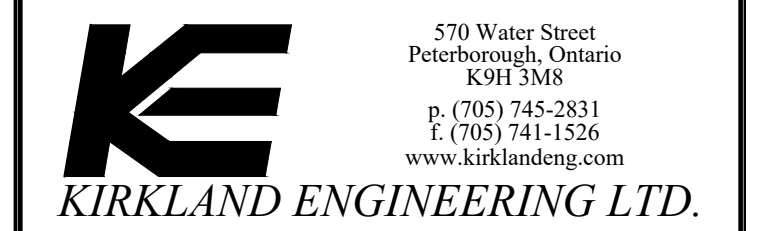
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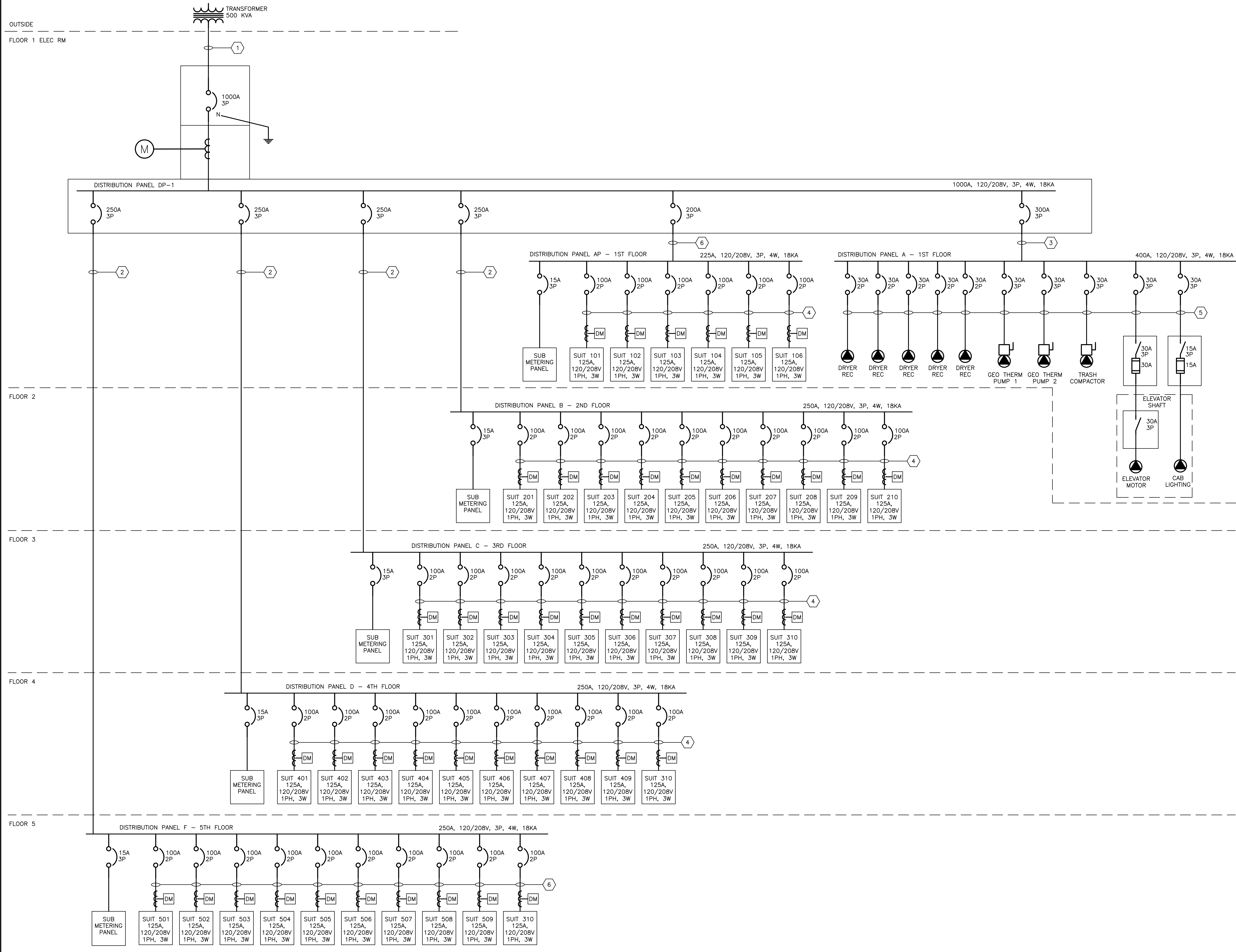


PROJECT  
**COURTICE SENIOR DEVELOPMENT**

1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**MECHANICAL SPECIFICATION**

DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	<b>M21</b>
APPROVED	CSM	
PROJECT	7393	

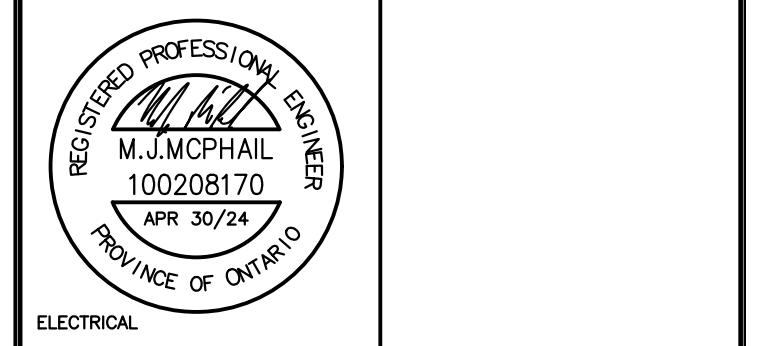


- NOTES:
- ① 3 PARALLEL RUNS OF 4 X 1C #750 MCM CU + #3 AWG CU BOND IN RACEWAY
  - ② 4 X 1C #300 MCM CU + #4 AWG CU BOND IN RACEWAY
  - ③ 4 X 1C # 350 AWG CU + #4 AWG CU BOND IN RACEWAY
  - ④ 3C #3 AWG CU + #8 AWG CU BOND IN RACEWAY.
  - ⑤ 3C #10 AWG CU + #12 AWG CU BOND IN RACEWAY
  - ⑥ 4C #3/0 AWG CU + #6 AWG CU BOND IN RACEWAY.

NO.	DESCRIPTION	DATE	BY
PO	ISSUED FOR PERMIT	04/30/2024	MJM

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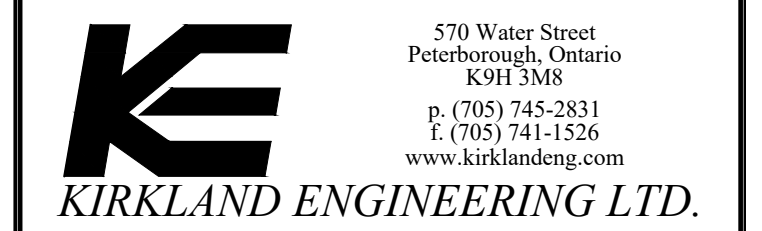
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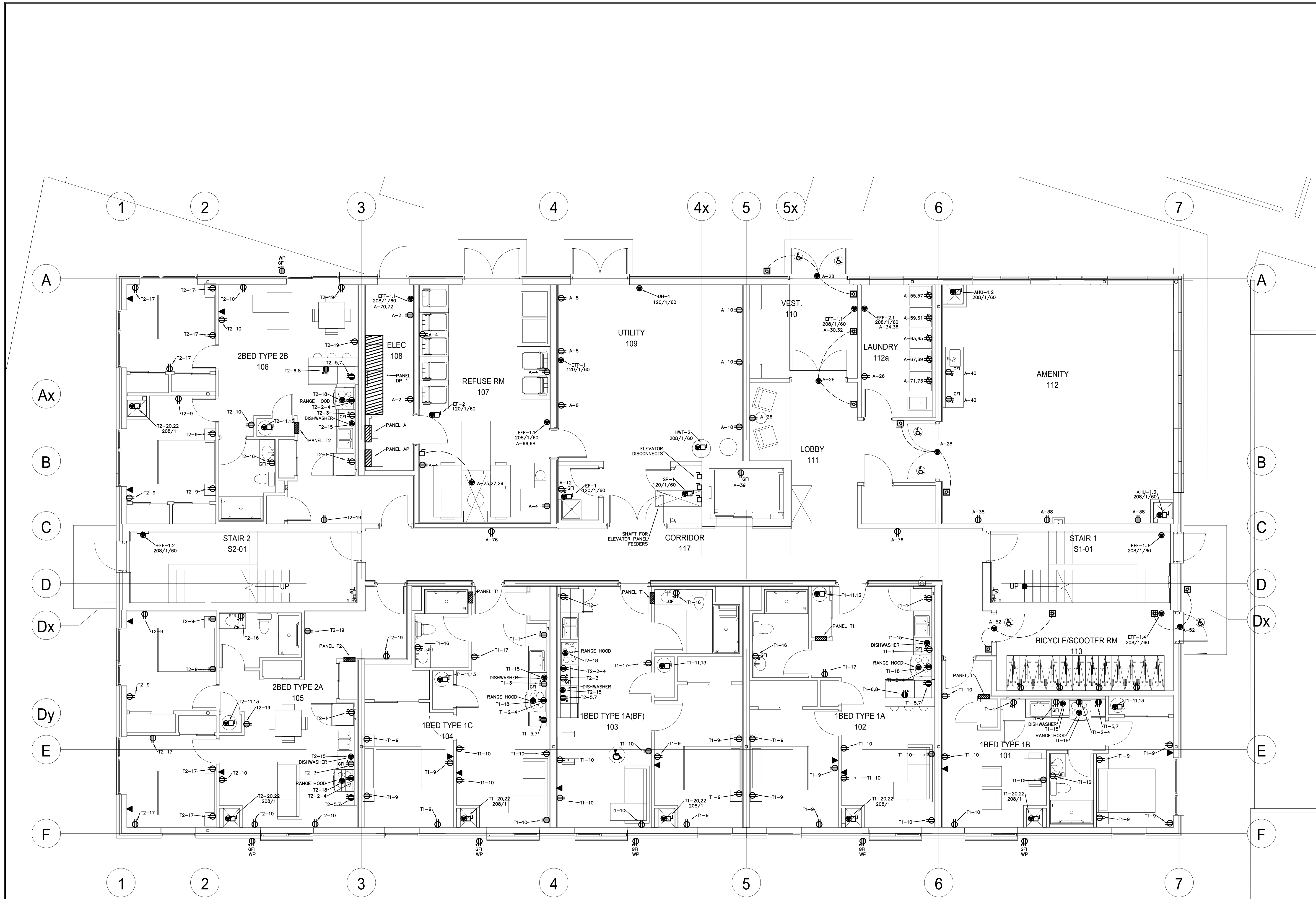
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PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
 1697 HIGHWAY No 2  
 CLARINGTON, ON

TITLE  
**SLD**

DESIGN	MJM	SCALE AS NOTED
DRAWN	AJM	DWG NO.
CHECKED	MJM	E1
APPROVED	MJM	
PROJECT	7393	



**POWER LAYOUT FIRST FLOOR**  
SCALE: 1:60

NO.	DESCRIPTION	DATE	BY
PO	ISSUED FOR PERMIT	04/30/2024	MJM

REVISIONS  
Kirkland Engineering Ltd BCIN: 28857

REGISTERED PROFESSIONAL ENGINEER  
M.J. MCPHAIL  
100208170  
APR 30/24  
PROVINCE OF ONTARIO

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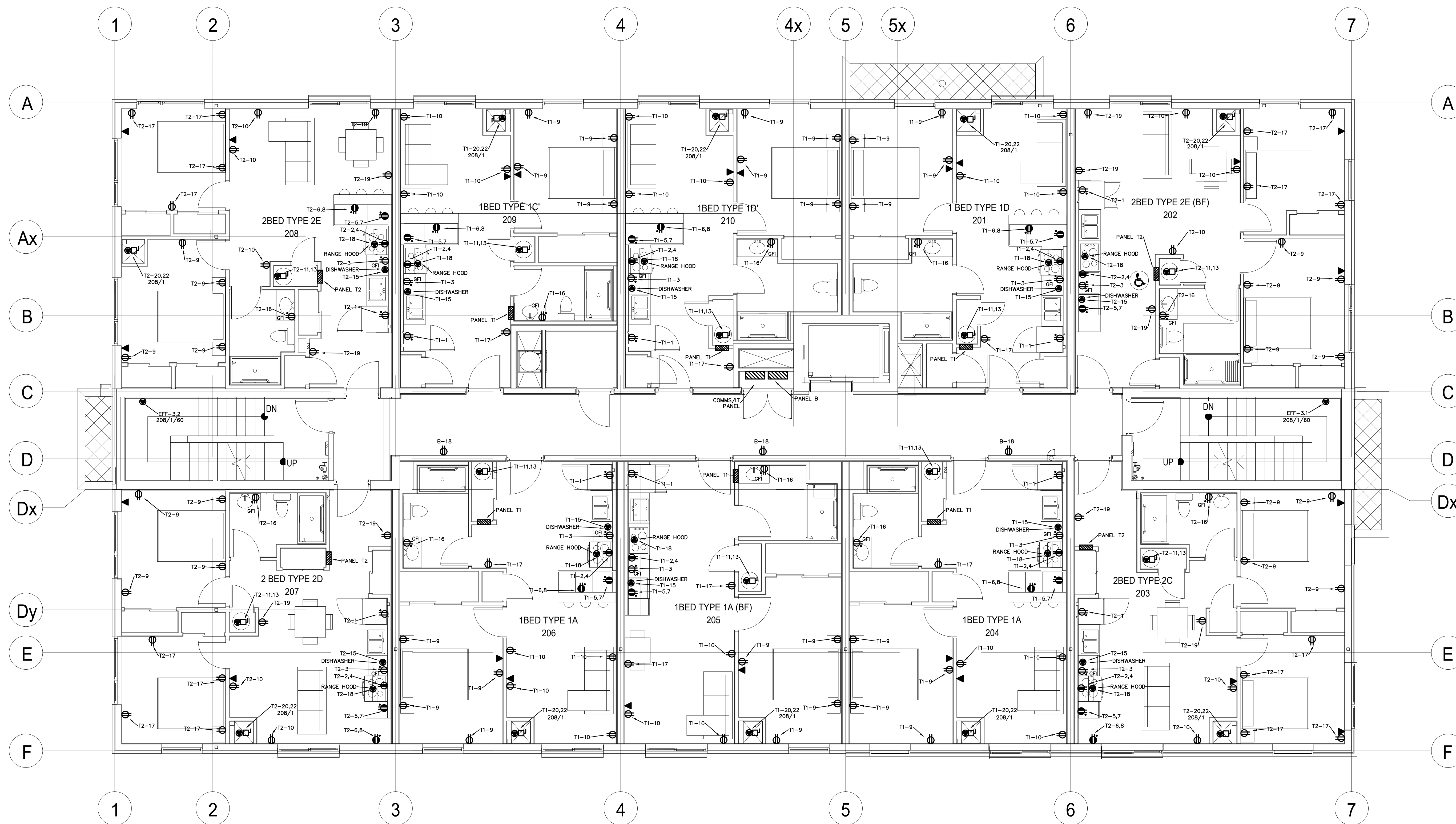
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PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**FIRST FLOOR POWER**

DESIGN	MJM	SCALE AS NOTED
DRAWN	AJM	DWG NO.
CHECKED	MJM	
APPROVED	MJM	
PROJECT	7393	

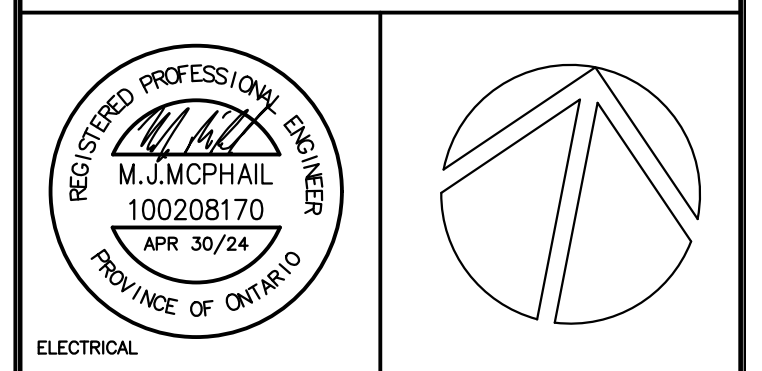
E2



POWER LAYOUT SECOND FLOOR  
SCALE: 1:60

NO.	DESCRIPTION	DATE	BY
PO	ISSUED FOR PERMIT	04/30/2024	MJM

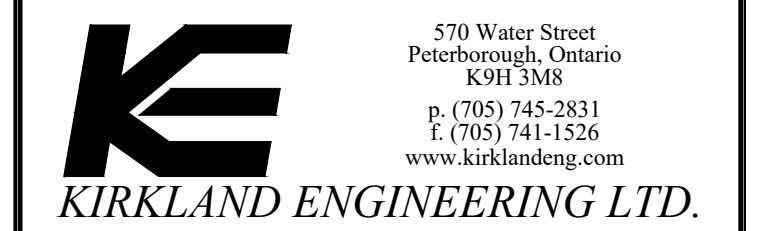
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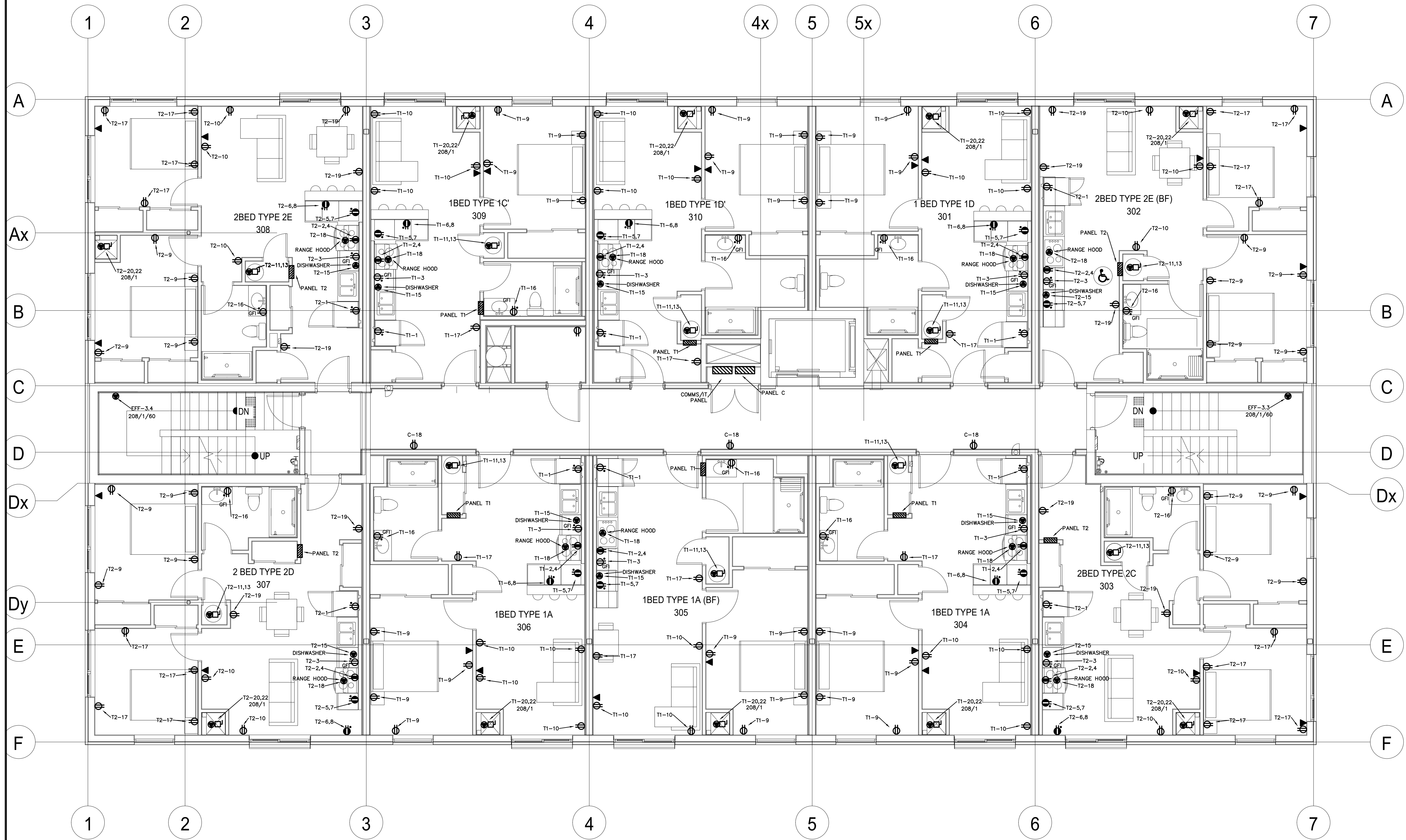
PROJECT  
**COURTICE SENIOR DEVELOPMENT**

1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**SECOND FLOOR POWER**

DESIGN	MJM	SCALE AS NOTED
DRAWN	AJM	DWG NO.
CHECKED	MJM	<b>E3</b>
APPROVED	MJM	
PROJECT	7393	

# 3RD FLOOR



NO.	DESCRIPTION	DATE	BY
PO	ISSUED FOR PERMIT	04/30/2024	MJM

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REGISTERED PROFESSIONAL ENGINEER  
M.J. MCPHAIL  
100208170  
APR 30/24  
PROVINCE OF ONTARIO

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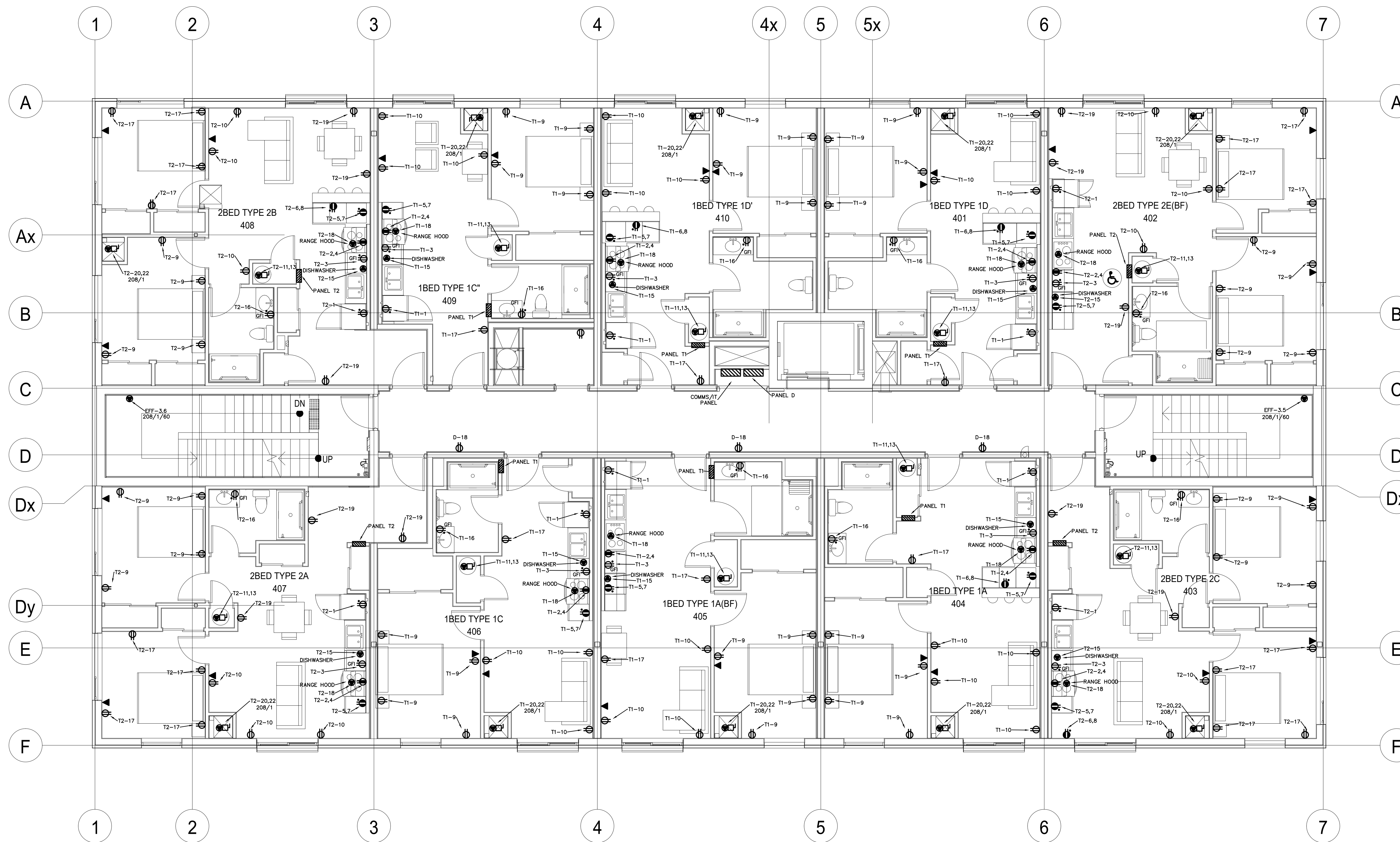
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PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**THIRD FLOOR POWER LAYOUT**

DESIGN	MJM	SCALE AS NOTED
DRAWN	AJM	DWG NO.
CHECKED	MJM	E4
APPROVED	MJM	
PROJECT	7393	

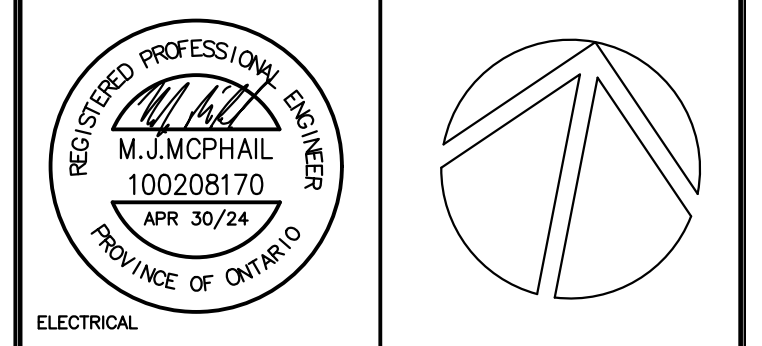
**POWER LAYOUT THIRD FLOOR**  
SCALE: 1:60



**POWER LAYOUT FORTH FLOOR**  
SCALE: 1:60

NO.	DESCRIPTION	DATE	BY
PO	ISSUED FOR PERMIT	04/30/2024	MJM
REVISIONS			

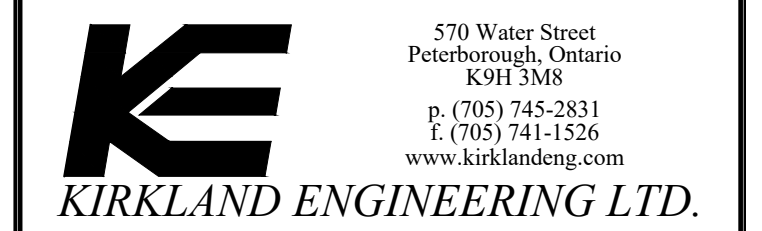
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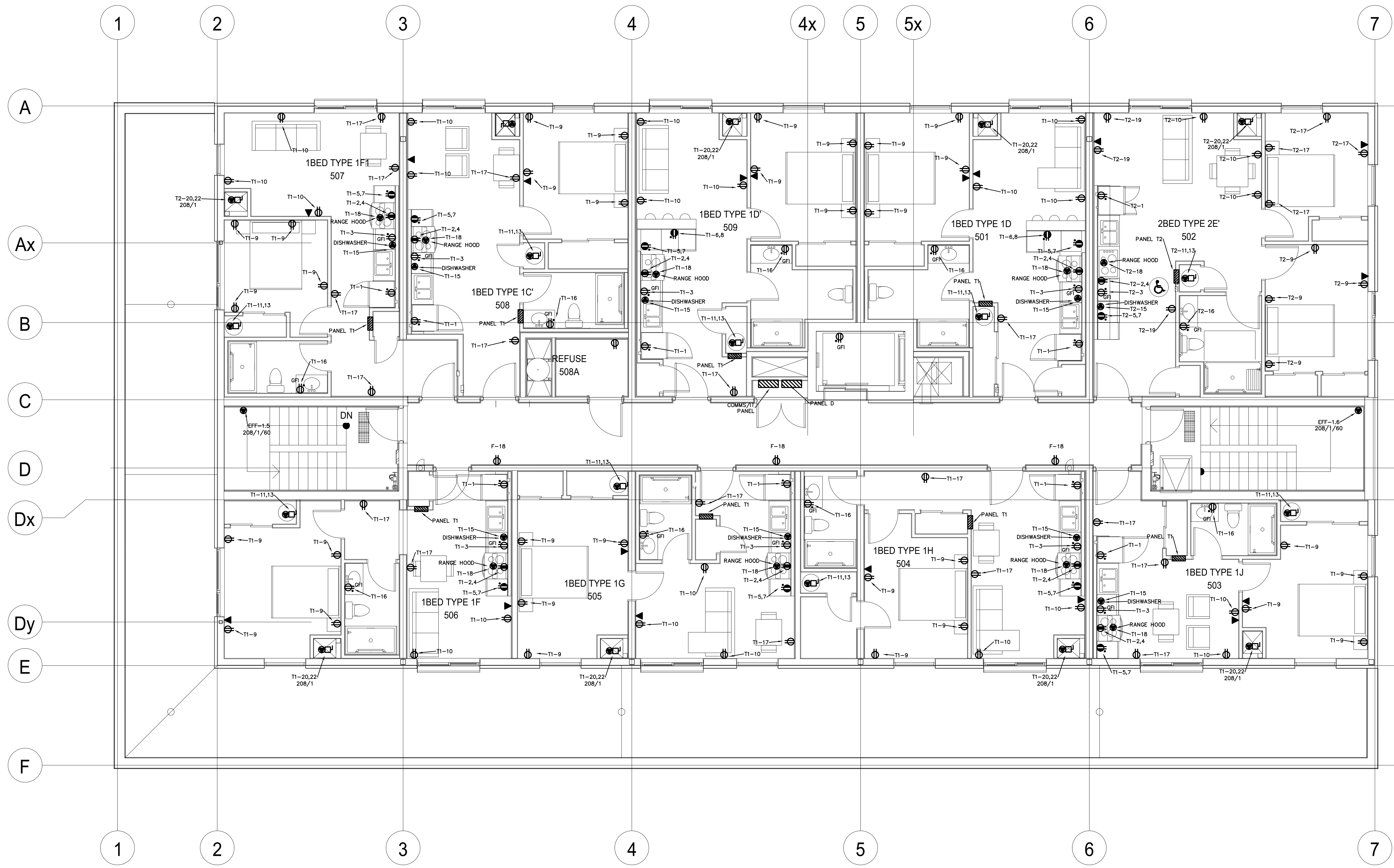


PROJECT  
**COURTICE SENIOR DEVELOPMENT**

1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**FORTH FLOOR POWER**

DESIGN	MJM	SCALE AS NOTED
DRAWN	AJM	DWG NO.
CHECKED	MJM	E5
APPROVED	MJM	
PROJECT	7393	



1 POWER LAYOUT FIFTH FLOOR  
 SCALE: 1:60

NO.	DESCRIPTION	DATE	BY
PO	ISSUED FOR PERMIT	04/30/2024	MJM

REVISIONS  
 Kirkland Engineering Ltd BCIN: 28857

REGISTERED PROFESSIONAL ENGINEER  
 M.J. MCPHAIL  
 100208170  
 APR 30/24  
 PROVINCE OF ONTARIO

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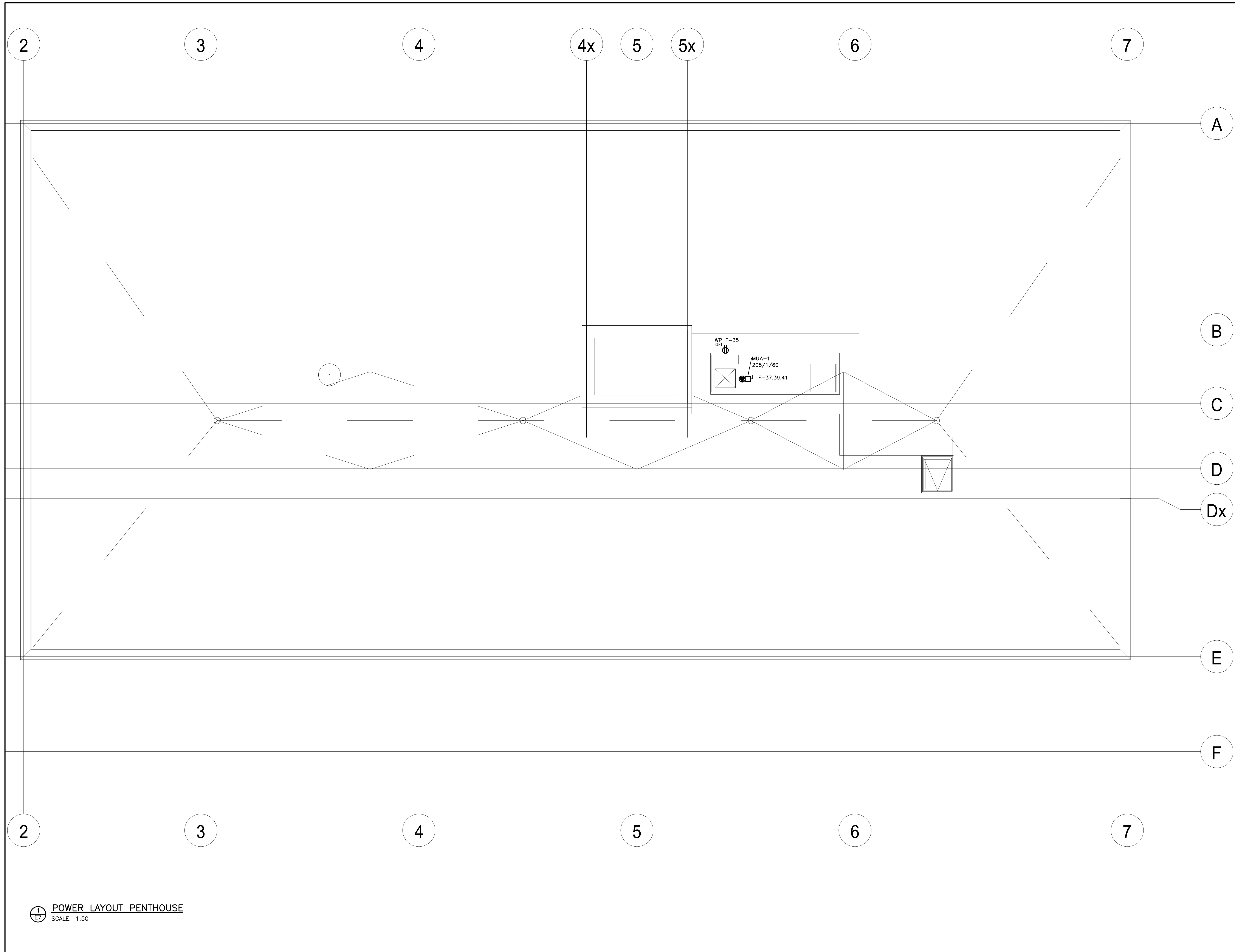
570 Water Street  
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 K9H 3M8  
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PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
 1697 HIGHWAY No 2  
 CLARINGTON, ON

TITLE  
**FIFTH FLOOR POWER**

DESIGN	MJM	SCALE AS NOTED
DRAWN	AJM	DWG NO.
CHECKED	MJM	E6
APPROVED	MJM	
PROJECT	7393	

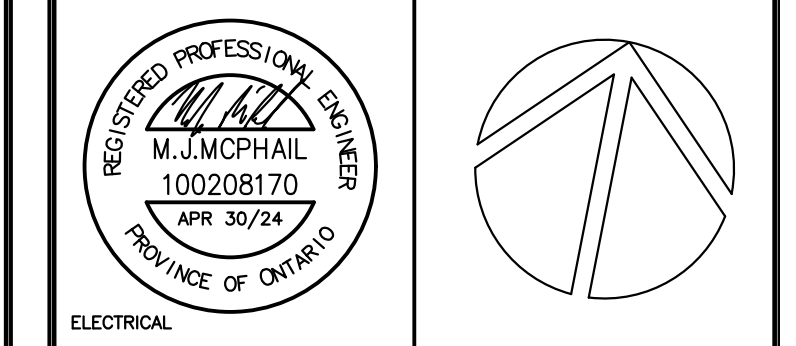




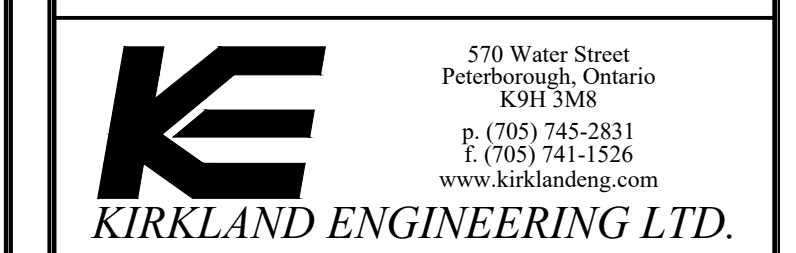
1 POWER LAYOUT PENTHOUSE  
SCALE: 1:50

REVISIONS			
NO.	DESCRIPTION	DATE	BY

Kirkland Engineering Ltd BCIN: 28857



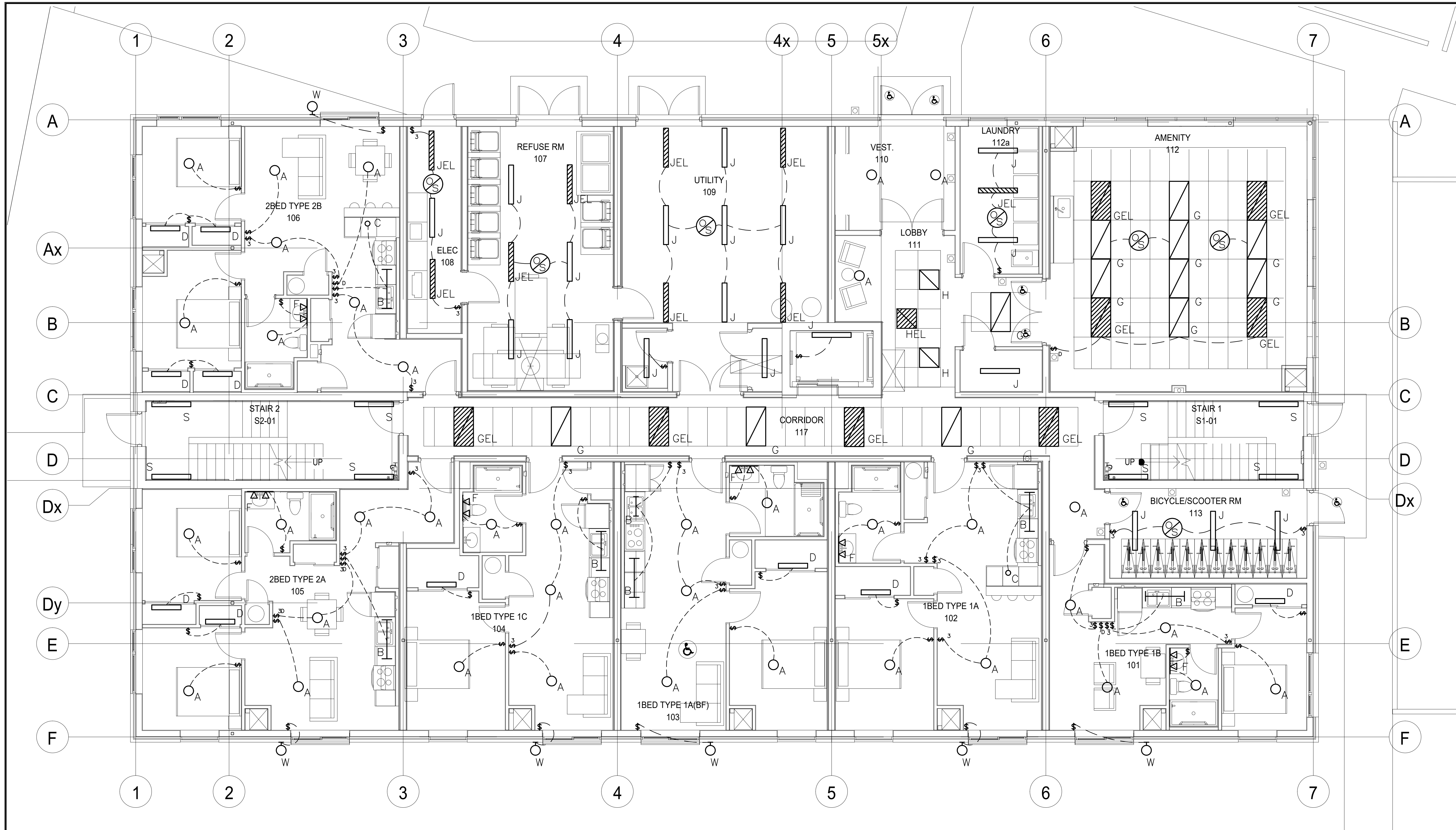
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PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**PENTHOUSE POWER**

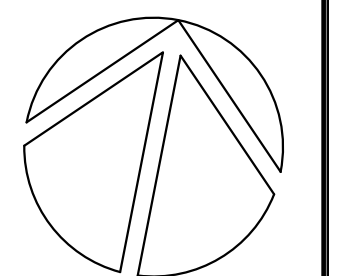
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DRAWN	AJM	DWG NO.
CHECKED	MJM	<b>E7</b>
APPROVED	MJM	
PROJECT	7393	



1 LIGHTING LAYOUT FIRST FLOOR  
E8 SCALE: 1:60

NO.	DESCRIPTION	DATE	BY
PO	ISSUED FOR PERMIT	04/30/2024	MJM
REVISIONS			

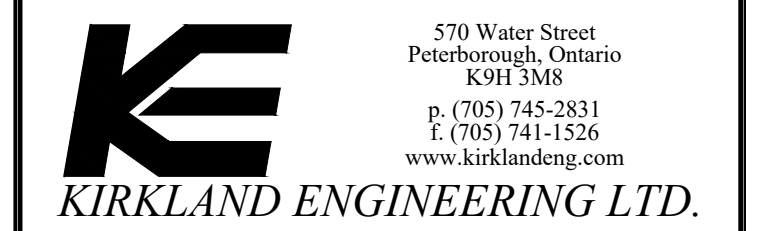
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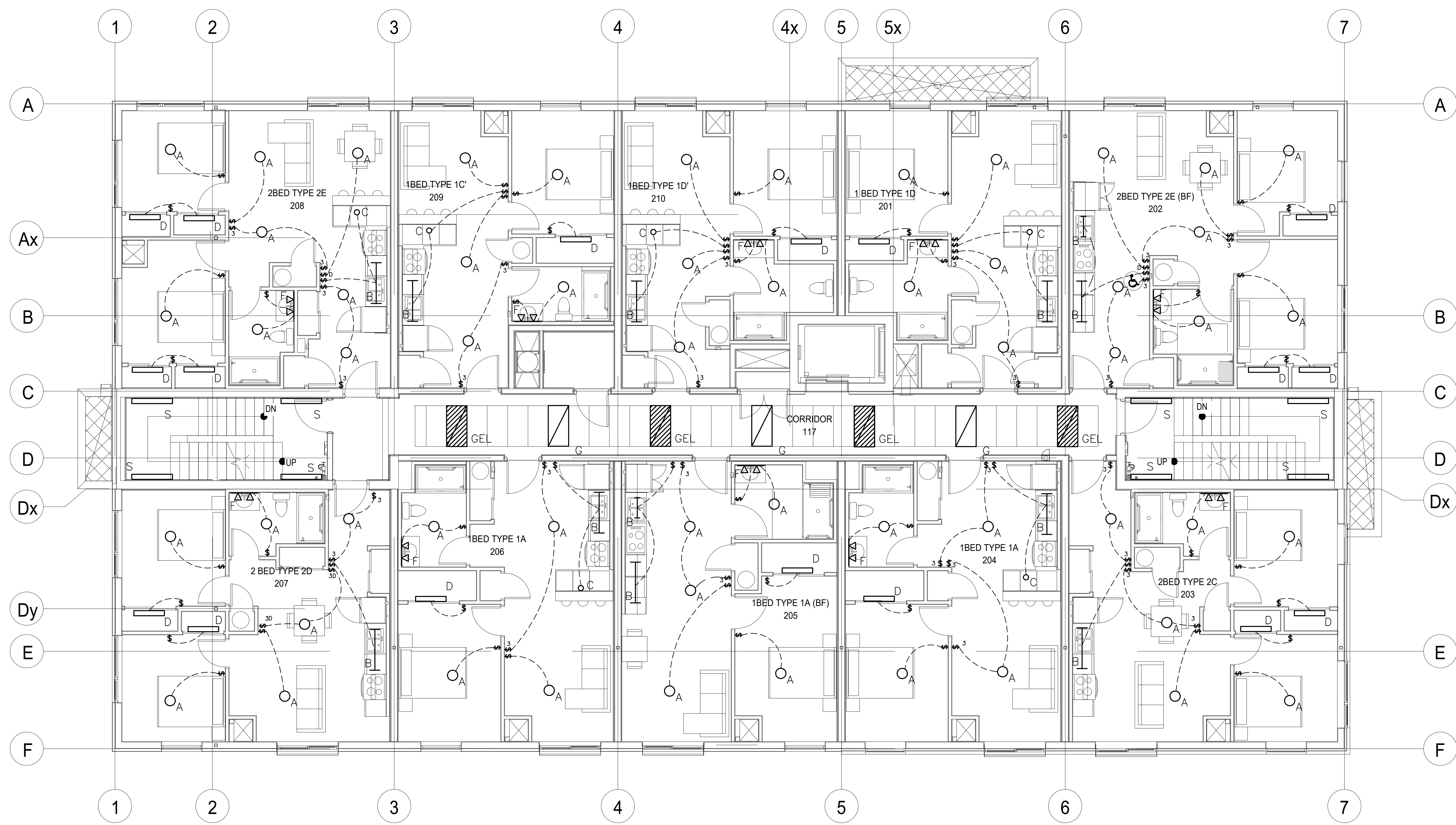


PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**FIRST FLOOR LIGHTING**

DESIGN	MJM	SCALE AS NOTED
DRAWN	AJM	DWG NO.
CHECKED	MJM	
APPROVED	MJM	
PROJECT	7393	

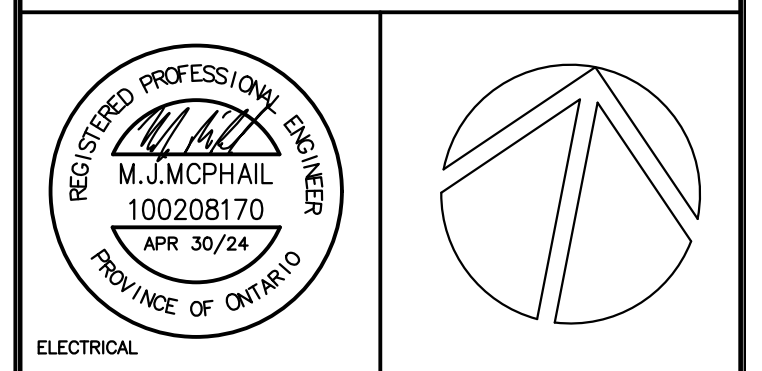
**E8**



**LIGHTING LAYOUT SECOND**  
SCALE: 1:60

NO.	DESCRIPTION	DATE	BY
PO	ISSUED FOR PERMIT	04/30/2024	MJM
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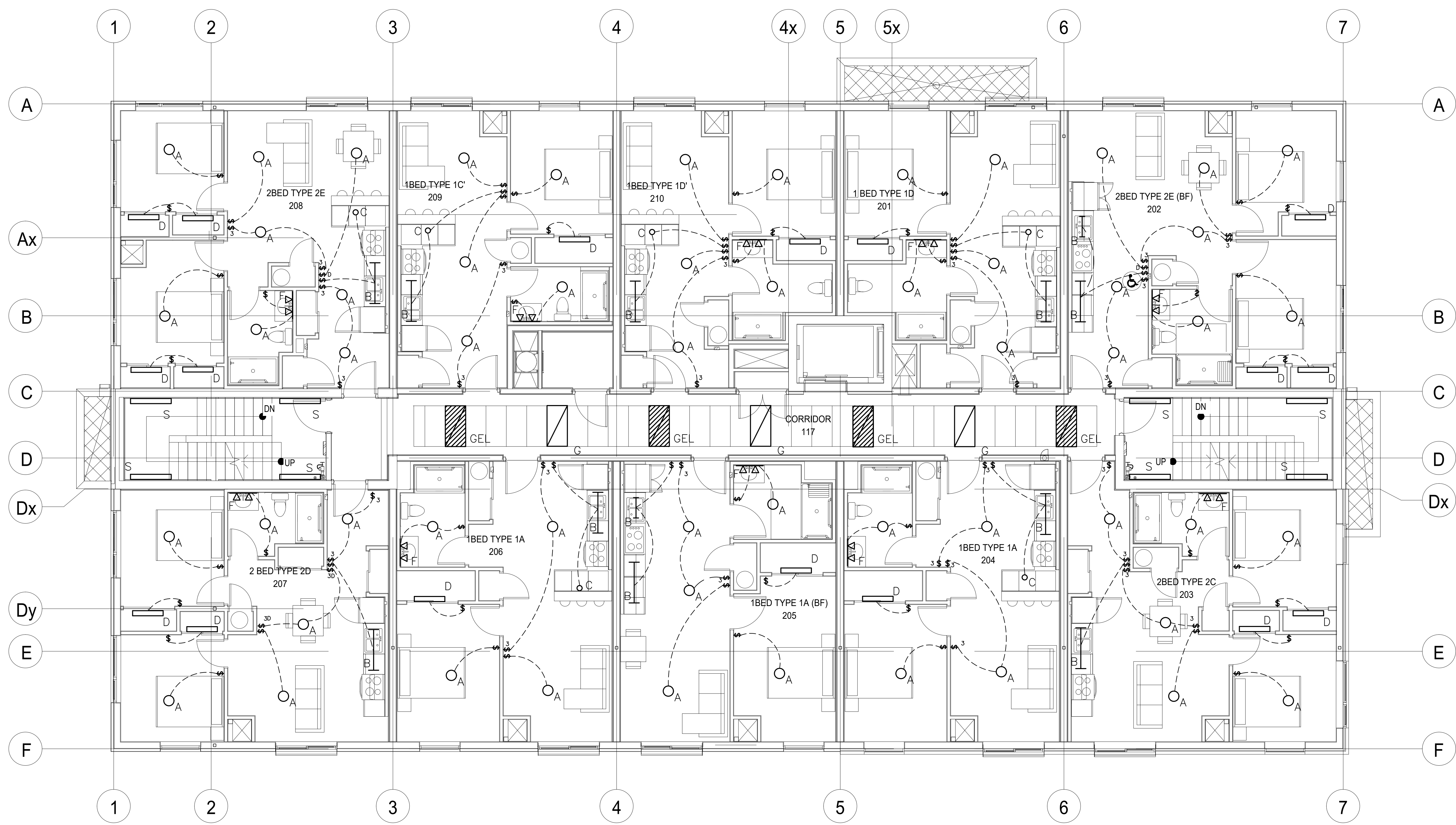
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PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**SECOND FLOOR LIGHTING**

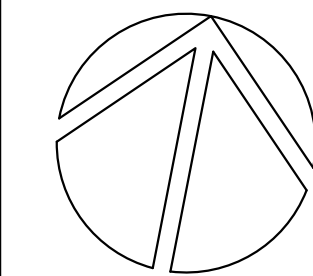
DESIGN	MJM	SCALE AS NOTED
DRAWN	AJM	DWG NO.
CHECKED	MJM	E9
APPROVED	MJM	
PROJECT	7393	



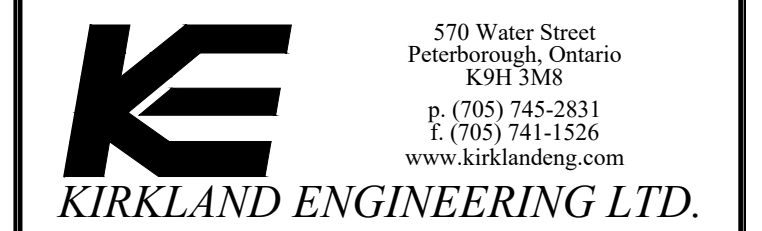
**1** LIGHTING LAYOUT THIRD FLOOR  
SCALE: 1:60

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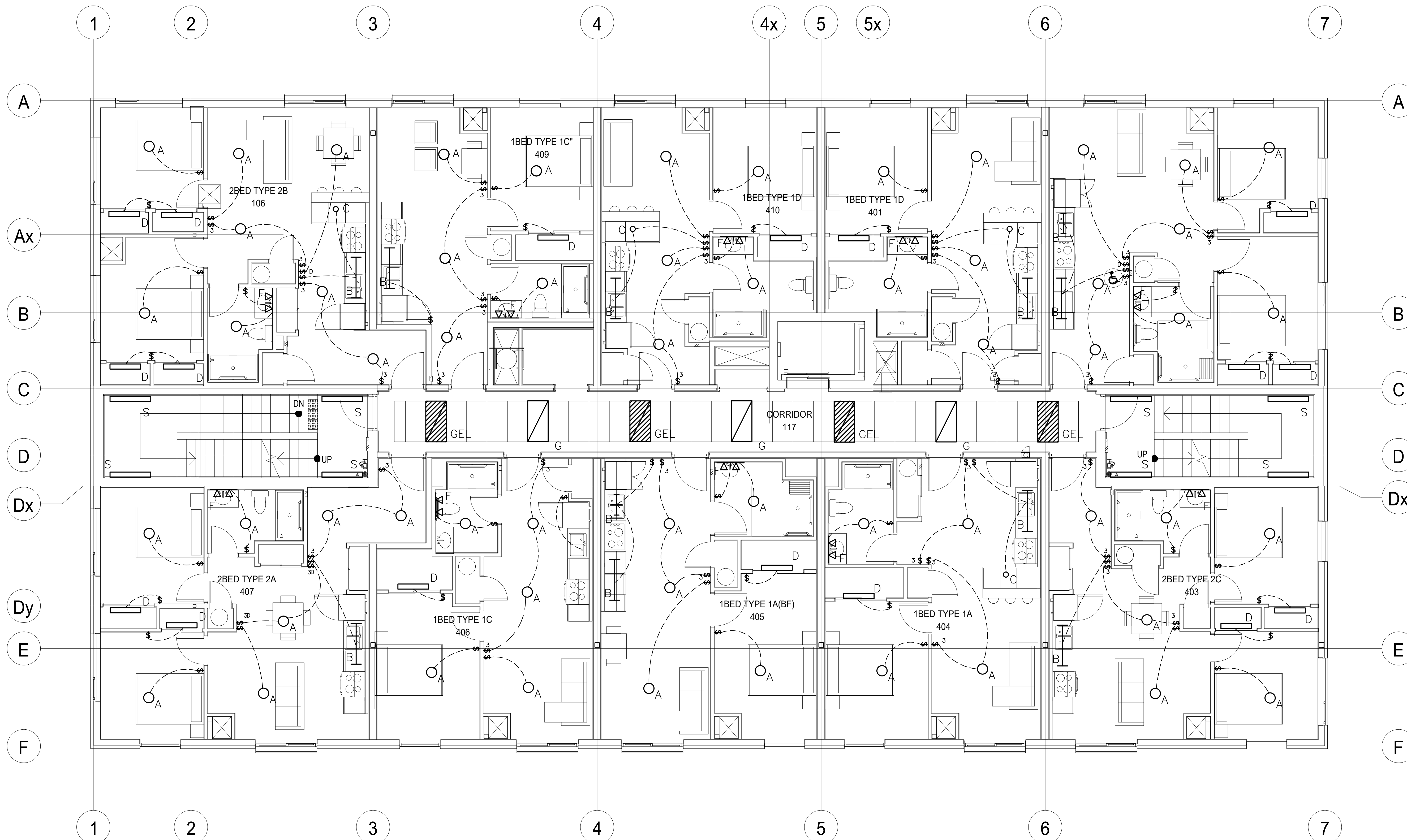


PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**THIRD FLOOR LIGHTING**

DESIGN	MJM	SCALE AS NOTED
DRAWN	AJM	DWG NO.
CHECKED	MJM	
APPROVED	MJM	
PROJECT	7393	

**E10**



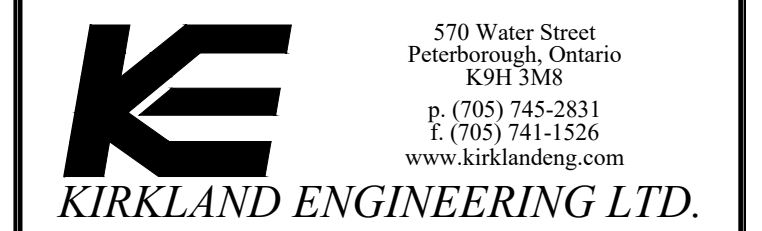
**LIGHTING LAYOUT FORTH FLOOR**  
SCALE: 1:60

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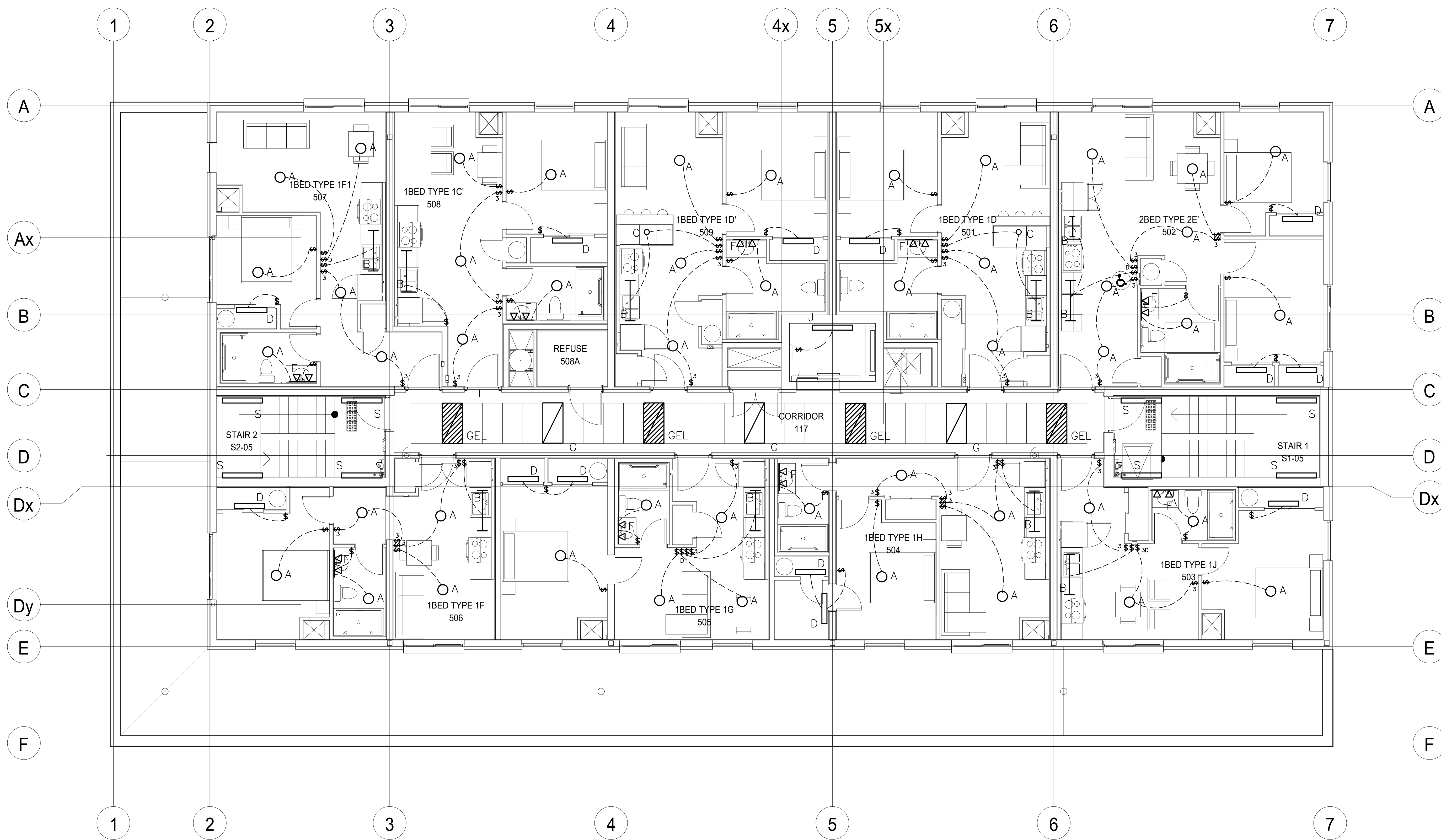
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PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**FORTH FLOOR LIGHTING**

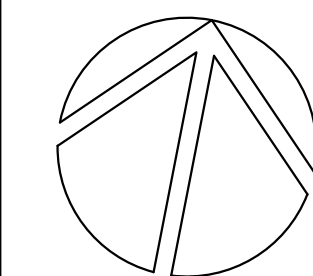
DESIGN	MJM	SCALE AS NOTED
DRAWN	AJM	DWG NO.
CHECKED	MJM	<b>E11</b>
APPROVED	MJM	
PROJECT	7393	



**LIGHTING LAYOUT FIFTH FLOOR**  
SCALE: 1:60

REVISIONS			
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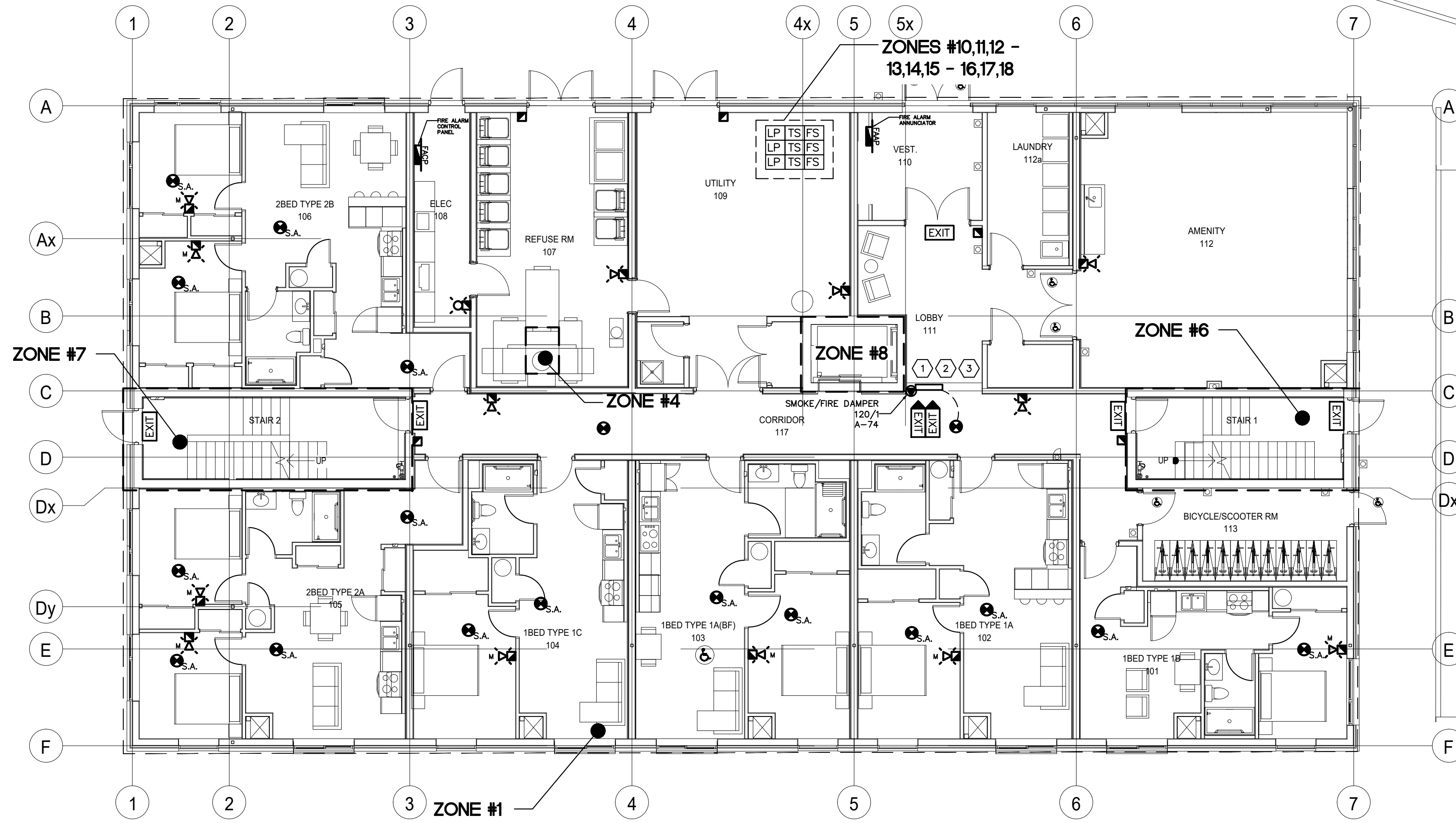
PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**FIFTH FLOOR LIGHTING**

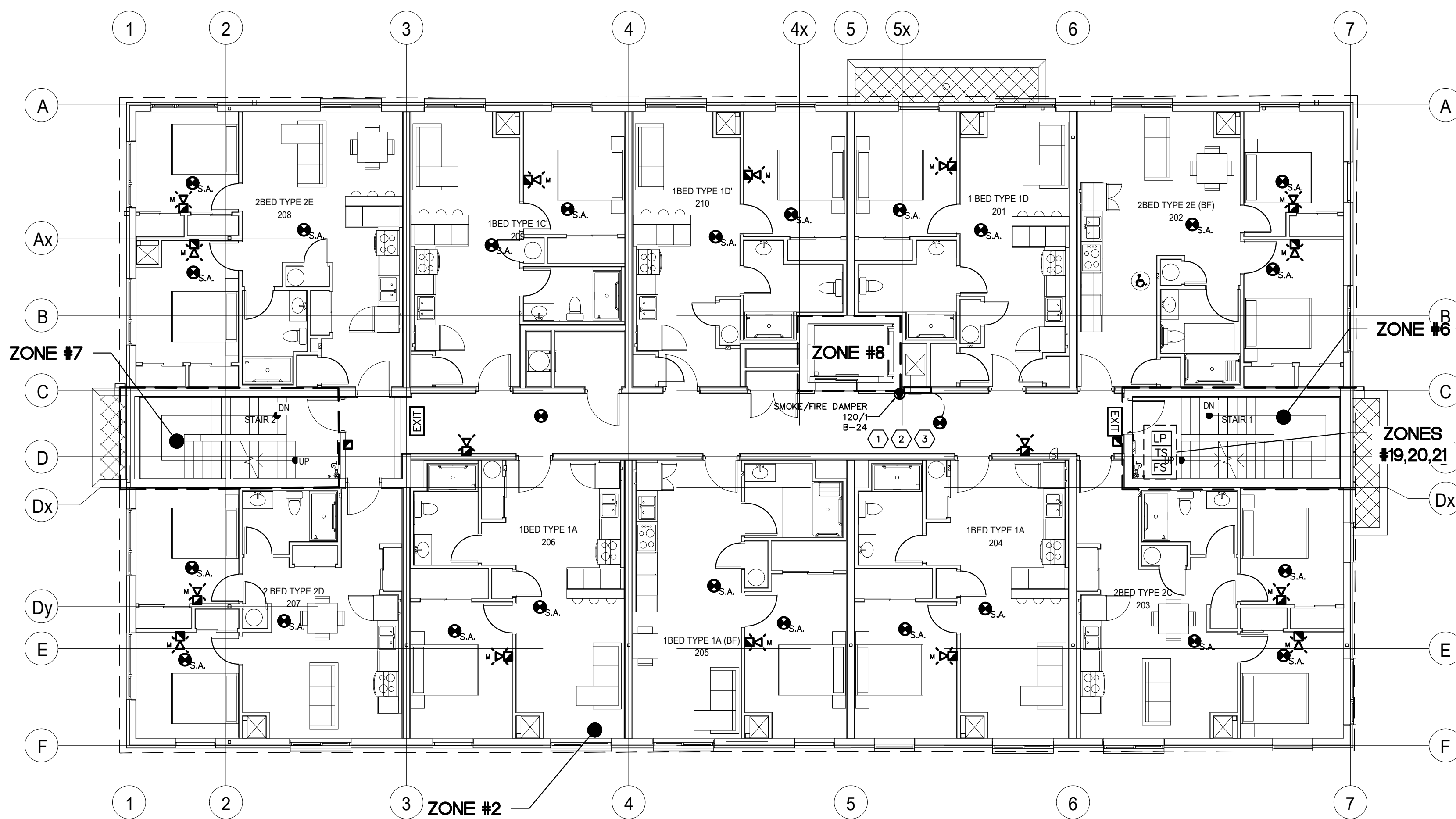
DESIGN	MJM	SCALE AS NOTED
DRAWN	AJM	DWG NO.
CHECKED	MJM	
APPROVED	MJM	
PROJECT	7393	

**E12**

FIRE ALARM LEGEND	
	FIRE ALARM HORN
	FIRE ALARM HORN/STROBE
	FIRE ALARM STROBE
	MANUAL PULL STATION
	SMOKE DETECTOR
	120V SMOKE ALARM
	120V CARBON MONOXIDE ALARM
	DUCT TYPE SMOKE DETECTOR
	SPRINKLER FLOW SWITCH
	SPRINKLER TAMPER SWITCH
	SPRINKLER LOW PRESSURE
	FIRE ALARM CONTROL PANEL
	FIRE ALARM ANNUNCIATOR PANEL
	ADDRESSABLE MODULE



1  
E13  
FIRE ALARM LAYOUT FIRST FLOOR  
SCALE: 1:100

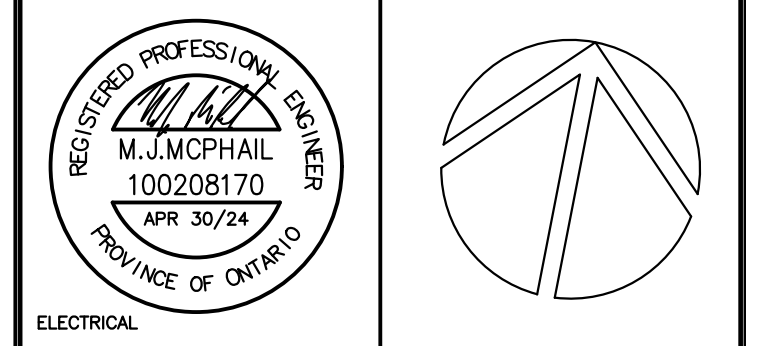


2  
E13  
FIRE ALARM LAYOUT SECOND FLOOR  
SCALE: 1:100

- NOTES:
- PROVIDE 120V POWER TO COMBINATION FIRE/SMOKE DAMPER. PROVIDE EACH DAMPER WITH A CONTACTOR FOR CONTROL BY THE FIRE ALARM SYSTEM.
  - EACH COMBINATION FIRE/SMOKE DAMPER IS TO HAVE A SMOKE DETECTOR WITHIN 1.5m OF THE. UPON ACTIVATION OF THE SMOKE DETECTOR A FIRE ALARM RELAY MODULE SHALL OPEN THE ASSOCIATED DAMPER CONTACTOR TO CAUSE THE DAMPER TO CLOSE.
  - IF ANY COMBINATION FIRE/SMOKE DAMPER CLOSES THE FIRE ALARM SYSTEM SHALL ALSO SHUT DOWN THE ROOFTOP MUA UNIT.
  - EXIT SIGNS ARE TO BE SUPPLIED FROM DEDICATED CIRCUIT FROM HOUSE PANEL ON THAT FLOOR. REFER TO PANEL SCHEDULE FOR CIRCUITING.
  - EMERGENCY LIGHTING SUPPLIED BY LED GENERAL LIGHTING FIXTURES WITH INTEGRAL BATTERY BACKUP. REFER TO LIGHTING DRAWINGS FOR MORE DETAILS.

NO.	DESCRIPTION	DATE	BY
PO	ISSUED FOR PERMIT	04/30/2024	MJM

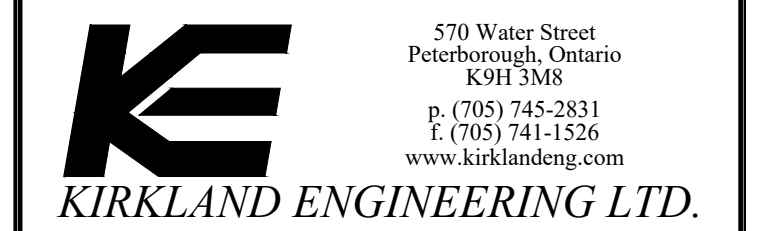
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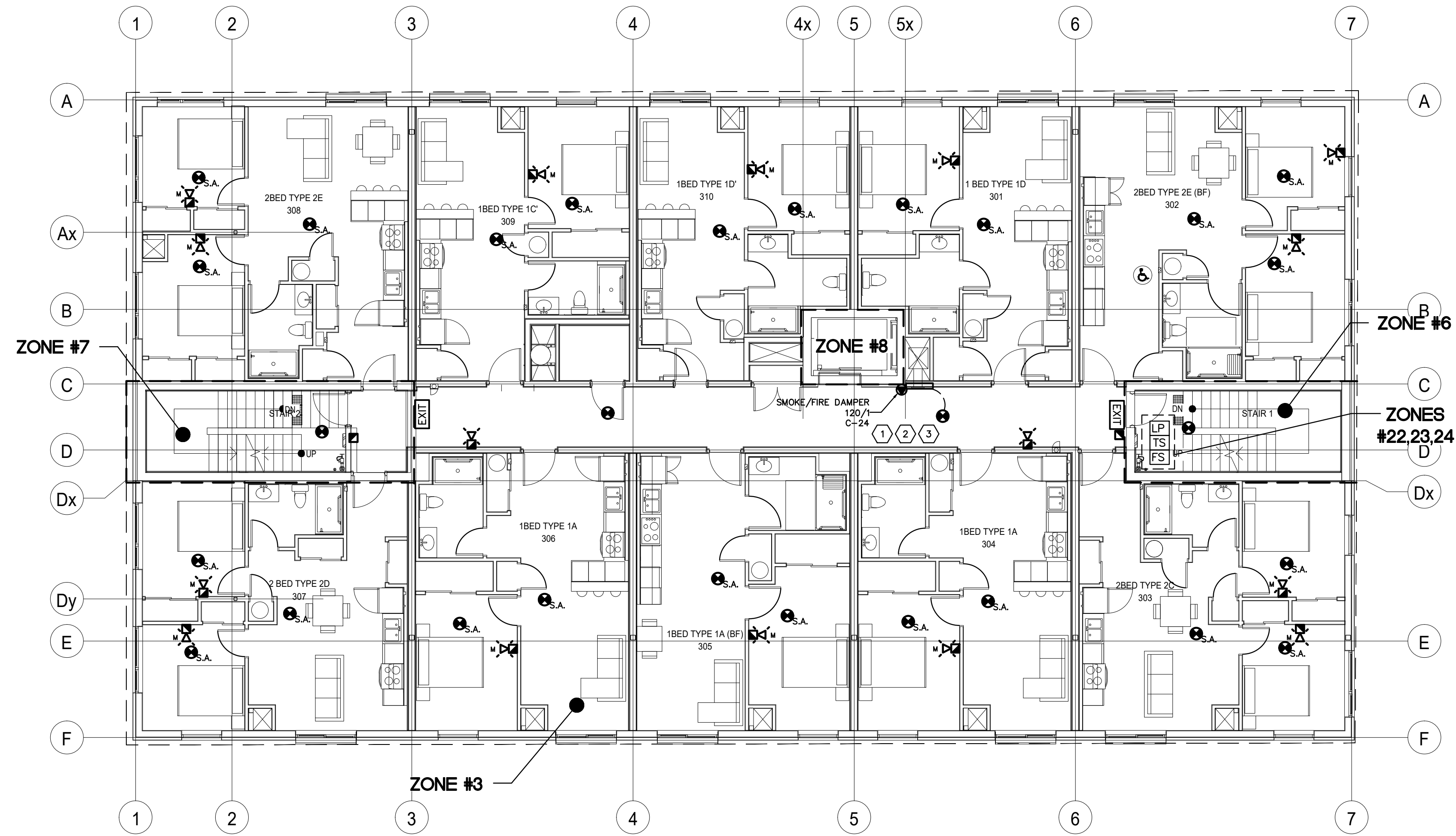
PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**FIRST AND SECOND FLOOR FIRE ALARM**

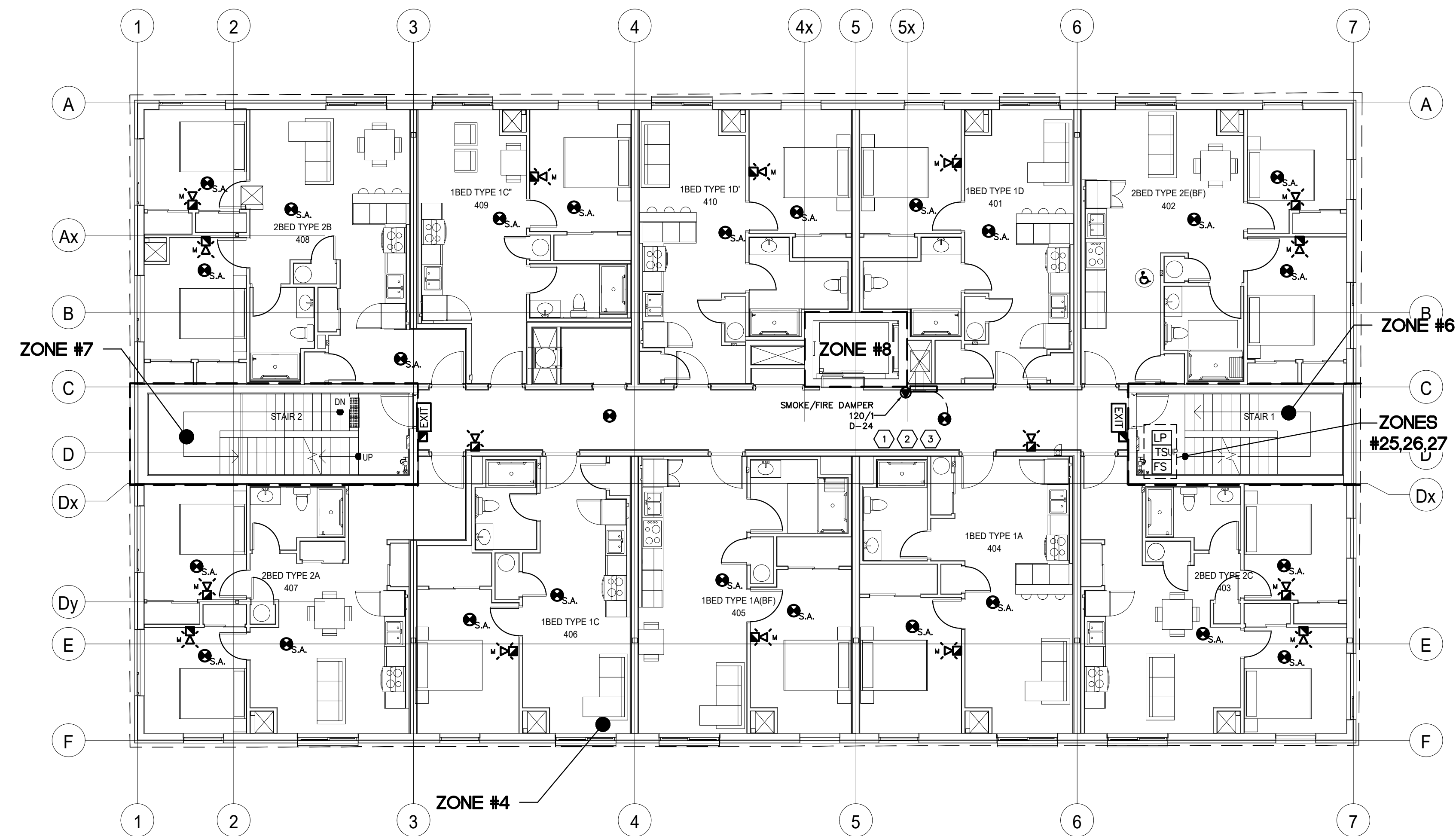
DESIGN	MJM	SCALE AS NOTED
DRAWN	AJM	DWG NO.
CHECKED	MJM	
APPROVED	MJM	
PROJECT	7393	

**E13**

FIRE ALARM LEGEND	
	FIRE ALARM HORN
	FIRE ALARM HORN/STROBE
	FIRE ALARM STROBE
	MANUAL PULL STATION
	SMOKE DETECTOR
	120V SMOKE ALARM
	120V CARBON MONOXIDE ALARM
	DUCT TYPE SMOKE DETECTOR
	SPRINKLER FLOW SWITCH
	SPRINKLER TAMPER SWITCH
	SPRINKLER LOW PRESSURE
	FIRE ALARM CONTROL PANEL
	FIRE ALARM ANNUNCIATOR PANEL
	ADDRESSABLE MODULE



**1**  
**E14** FIRE ALARM LAYOUT THIRD FLOOR  
SCALE: 1:100



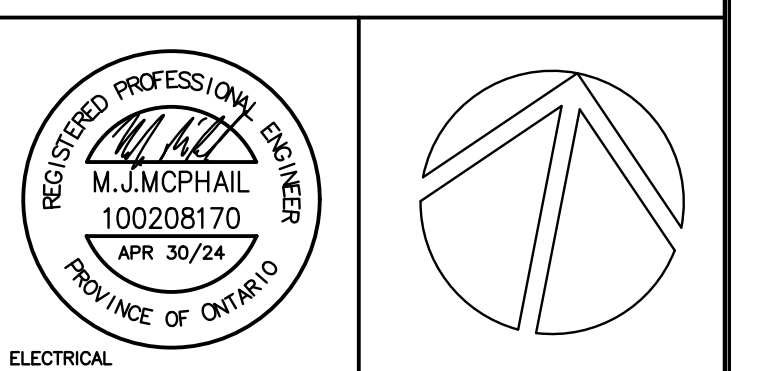
**2**  
**E14** FIRE ALARM LAYOUT FORTH FLOOR  
SCALE: 1:100

- NOTES:
- PROVIDE 120V POWER TO COMBINATION FIRE/SMOKE DAMPER. PROVIDE EACH DAMPER WITH A CONTACTOR FOR CONTROL BY THE FIRE ALARM SYSTEM.
  - EACH COMBINATION FIRE/SMOKE DAMPER IS TO HAVE A SMOKE DETECTOR WITHIN 1.5m OF THE. UPON ACTIVATION OF THE SMOKE DETECTOR A FIRE ALARM RELAY MODULE SHALL OPEN THE ASSOCIATED DAMPER CONTACTOR TO CAUSE THE DAMPER TO CLOSE.
  - IF ANY COMBINATION FIRE/SMOKE DAMPER CLOSES THE FIRE ALARM SYSTEM SHALL ALSO SHUT DOWN THE ROOFTOP MUA UNIT.
  - EXIT SIGNS ARE TO BE SUPPLIED FROM DEDICATED CIRCUIT FROM HOUSE PANEL ON THAT FLOOR. REFER TO PANEL SCHEDULE FOR CIRCUITING.
  - EMERGENCY LIGHTING SUPPLIED BY LED GENERAL LIGHTING FIXTURES WITH INTEGRAL BATTERY BACKUP. REFER TO LIGHTING DRAWINGS FOR MORE DETAILS.

PO NO.	ISSUED FOR PERMIT DESCRIPTION	DATE	BY
		04/30/2024	MJM

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ELECTRICAL  
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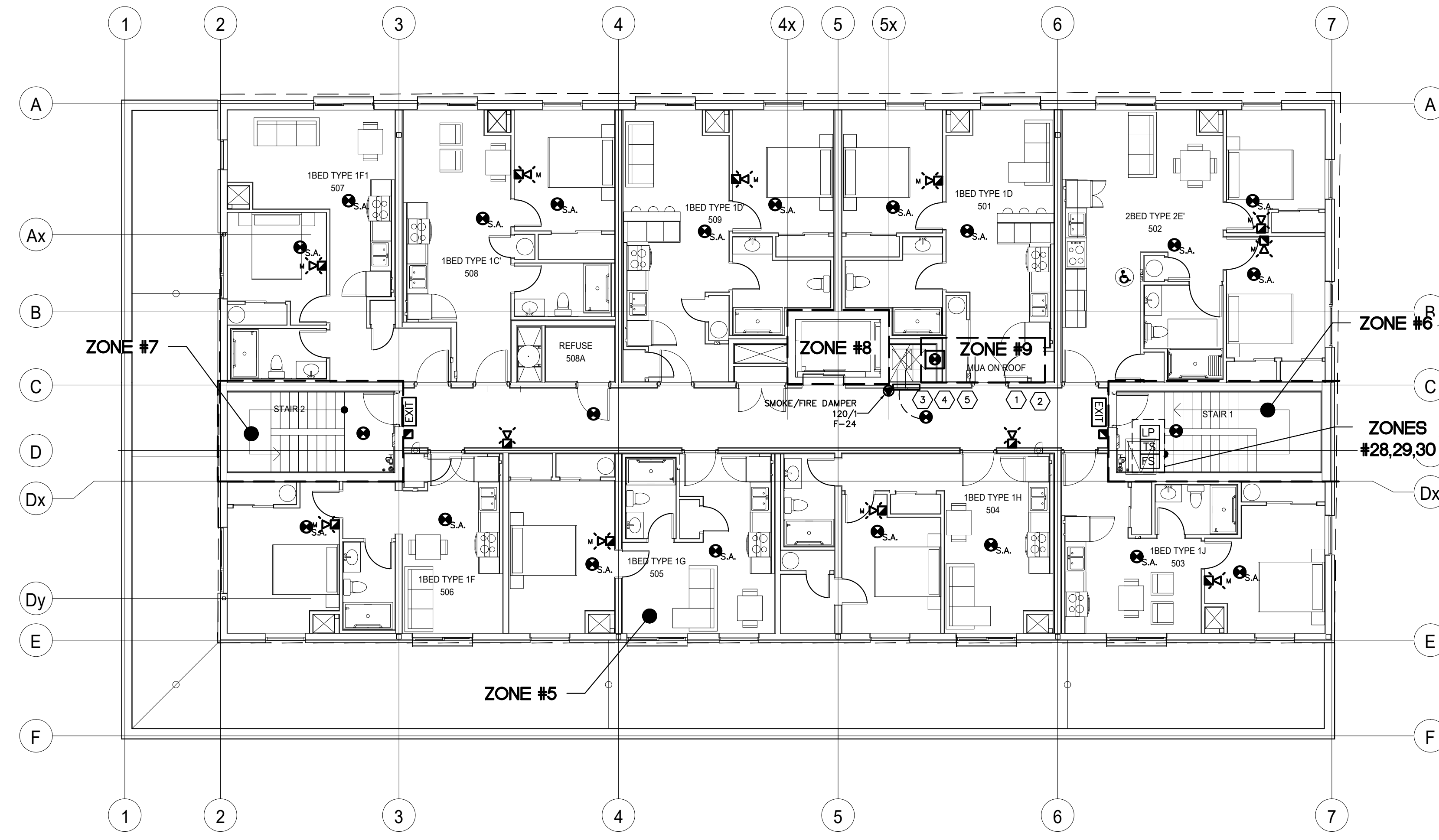


PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**THIRD AND FORTH FLOOR FIRE ALARM**

DESIGN	MJM	SCALE AS NOTED
DRAWN	AJM	DWG NO.
CHECKED	MJM	<b>E14</b>
APPROVED	MJM	
PROJECT	7393	





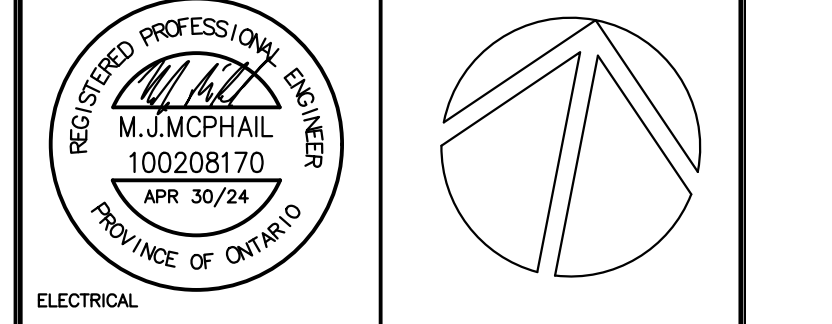
1 FIRE ALARM LAYOUT FIFTH FLOOR  
SCALE: 1:100

- NOTES:
- 1 PROVIDE AND INSTALL A DUCT TYPE SMOKE DETECTOR IN THE SUPPLY OF MUA-1 AND PROVIDE AN ADDRESSABLE MODULE FOR CONNECTION TO THE FIRE ALARM PANEL.
  - 2 ROOFTOP MUA-1 TO BE SHUT DOWN ON SIGNAL FROM FIRE ALARM CONTROL PANEL IF DUCT TYPE SMOKE DETECTOR ACTIVATES OR IF ANY OF THE COMBINATION FIRE/SMOKE DAMPERS ARE TRIGGERED TO CLOSE.
  - 3 PROVIDE 120V POWER TO COMBINATION FIRE/SMOKE DAMPER. PROVIDE EACH DAMPER WITH A CONTACTOR FOR CONTROL BY THE FIRE ALARM SYSTEM.
  - 4 EACH COMBINATION FIRE/SMOKE DAMPER IS TO HAVE A SMOKE DETECTOR WITHIN 1.5m OF THE. UPON ACTIVATION OF THE SMOKE DETECTOR A FIRE ALARM RELAY MODULE SHALL OPEN THE ASSOCIATED DAMPER CONTACTOR TO CAUSE THE DAMPER TO CLOSE.
  - 5 IF ANY COMBINATION FIRE/SMOKE DAMPER CLOSSES THE FIRE ALARM SYSTEM SHALL ALSO SHUT DOWN THE ROOFTOP MUA UNIT.
  - 6 EXIT SIGNS ARE TO BE SUPPLIED FROM DEDICATED CIRCUIT FROM HOUSE PANEL ON THAT FLOOR. REFER TO PANEL SCHEDULE FOR CIRCUITING.
  - 7 EMERGENCY LIGHTING SUPPLIED BY LED GENERAL LIGHTING FIXTURES WITH INTEGRAL BATTERY BACKUP. REFER TO LIGHTING DRAWINGS FOR MORE DETAILS.

NO.	DESCRIPTION	DATE	BY
PO	ISSUED FOR PERMIT	04/30/2024	MJM

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PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
1697 HIGHWAY No 2  
CLARINGTON, ON

TITLE  
**FIFTH FLOOR FIRE ALARM**

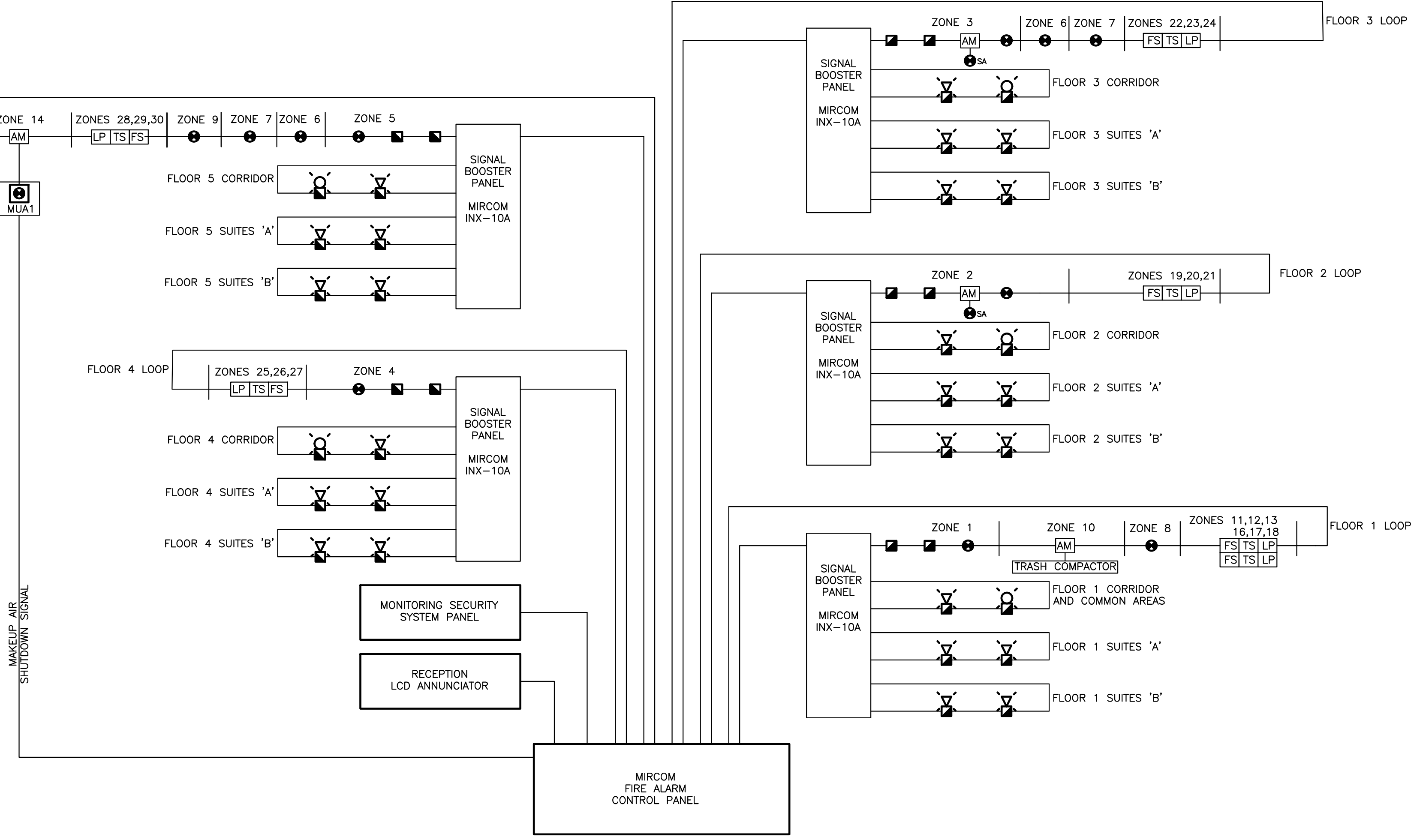
DESIGN	MJM	SCALE AS NOTED
DRAWN	AJM	DWG NO.
CHECKED	MJM	
APPROVED	MJM	
PROJECT	7393	

FIRE ALARM LEGEND

[Symbol]	FIRE ALARM HORN
[Symbol]	FIRE ALARM HORN/STROBE
[Symbol]	FIRE ALARM STROBE
[Symbol]	MANUAL PULL STATION
[Symbol]	SMOKE DETECTOR
[Symbol]	120V SMOKE ALARM
[Symbol]	120V CARBON MONOXIDE ALARM
[Symbol]	DUCT TYPE SMOKE DETECTOR
[Symbol]	SPRINKLER FLOW SWITCH
[Symbol]	SPRINKLER TAMPER SWITCH
[Symbol]	SPRINKLER LOW PRESSURE
[Symbol]	FIRE ALARM CONTROL PANEL
[Symbol]	FIRE ALARM ANNUNCIATOR PANEL
[Symbol]	ADDRESSABLE MODULE

FIRE ALARM ZONE SCHEDULE

Zone	Type	Description
1	ALARM	FLOOR 1
2	ALARM	FLOOR 2
3	ALARM	FLOOR 3
4	ALARM	FLOOR 4
5	ALARM	FLOOR 5
6	ALARM	STAIR A
7	ALARM	STAIR B
8	ALARM	ELEVATOR SHAFT
9	ALARM	MUA-1
10	ALARM	SPRINKLER MAINS FLOW
11	TROUBLE	SPRINKLER MAINS TAMPER
12	TROUBLE	SPRINKLER MAINS LOW PRESSURE
13	ALARM	FLOOR 1 FLOW
14	TROUBLE	FLOOR 1 TAMPER
15	TROUBLE	FLOOR 1 LOW PRESSURE
16	ALARM	GARBAGE CHUTE FLOW
17	TROUBLE	GARBAGE CHUTE TAMPER
18	TROUBLE	GARBAGE CHUTE LOW PRESSURE
19	ALARM	FLOOR 2 FLOW
20	TROUBLE	FLOOR 2 TAMPER
21	TROUBLE	FLOOR 2 LOW PRESSURE
22	ALARM	FLOOR 3 FLOW
23	TROUBLE	FLOOR 3 TAMPER
24	TROUBLE	FLOOR 3 LOW PRESSURE
25	ALARM	FLOOR 4 FLOW
26	TROUBLE	FLOOR 4 TAMPER
27	TROUBLE	FLOOR 4 LOW PRESSURE
28	ALARM	FLOOR 5 FLOW
29	TROUBLE	FLOOR 5 TAMPER
30	TROUBLE	FLOOR 5 LOW PRESSURE



2 FIRE ALARM RISER  
SCALE: N.T.S.

- F/A RISER NOTES:
1. PROVIDE AND INSTALL FIRE ALARM FAULT ISOLATION MODULES WHEN ENTERING AND EXITING A FIRE ALARM ZONE ON A DATA COMMUNICATION LINK THAT SERVES FIRE ALARM DEVICES IN MORE THAN ONE ZONE IN ACCORDANCE WITH CAN/ULC-S524-06.
  2. PROVIDE SIGNAL BOOSTER PANELS AS REQUIRED.
  3. DASHED LINES ON RISER DIAGRAM INDICATE MORE DEVICES PRESENT THAN SHOWN. REFER TO FLOOR DRAWINGS FOR DEVICE COUNTS.
  4. SPRINKLER DEVICES SHOWN FOR REFERENCE. ACTUAL SPRINKLER ZONES AND MONITORING DEVICES AND LOCATION TO BE COORDINATED WITH SPRINKLER SYSTEM DESIGNER. INCREASE NUMBER OF ZONES AS REQUIRED TO ACCOMMODATE ACTUAL INSTALLATION. PROVIDE SEPARATE TROUBLE ZONE INPUT FOR EACH MONITORED DEVICE.
  5. ENSURE STROBES ARE SYNCHRONIZED THROUGHOUT FLOOR SPACES.

ELECTRICAL SYMBOLS LEGEND	
	DUPLEX RECEPTACLE
	COUNTER MOUNT
	GFI DUPLEX RECEPTACLE
	STOVE RECEPTACLE
	SPLIT DUPLEX RECEPTACLE
	DIRECT CONNECTION
	DISCONNECT SWITCH
	DRYER RECEPTACLE
	DATA
	PANEL BOARD
WP	WEATHER PROOF

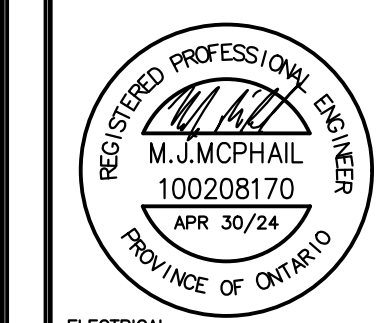
FIRE ALARM LEGEND	
	FIRE ALARM HORN
	FIRE ALARM HORN/STROBE
	IN SUITE MINI HORN/STROBE
	FIRE ALARM STROBE
	MANUAL PULL STATION
	SMOKE DETECTOR
	120V SMOKE ALARM
	120V CARBON MONOXIDE ALARM
	SPRINKLER FLOW SWITCH
	SPRINKLER TAMPER SWITCH
	SPRINKLER LOW PRESSURE
	FIRE ALARM CONTROL PANEL
	FIRE ALARM ANNUNCIATOR PANEL
	ADDRESSABLE MODULE

INTERIOR LIGHTING SCHEDULE			
SYMBOL	DESCRIPTION	MANUFACTURER	MODEL No.
	12" LED SURFACE MOUNT FIXTURE. 0-10V DIMMING, 120V, 9 INPUT WATTS, 3000K 80CRI COLOUR TEMP, 1200 LUMENS	TBD	
	LED SURFACE UNDER CABINET FIXTURE. 120V, 6 INPUT WATTS, 3000K 80CRI COLOUR TEMP, 800 LUMENS	TBD	
	LED KITCHEN PENDANT FIXTURE. 0-10V DIMMING, 120V, 9 INPUT WATTS, 3000K 80CRI COLOUR TEMP, 1000 LUMENS	TBD	
	LED SURFACE MOUNT FIXTURE. 120V, 6 INPUT WATTS, 3000K 80CRI COLOUR TEMP, 600 LUMENS	TBD	
	LED WASHROOM VANITY FIXTURE. 120V, 9 INPUT WATTS, 3000K 80CRI COLOUR TEMP, 1000 LUMENS	TBD	
	2'x4' LED FLAT PANEL TROFFER. APPROXIMATELY 3500 LUMENS, 28 WATTS, 80 CRI, 3500K COLOUR TEMPERATURE, 120V DRIVER FOR OPERATION, WHITE.	TBD	
	2'x4' LED FLAT PANEL TROFFER. APPROXIMATELY 3500 LUMENS, 28 WATTS, 80 CRI, 3500K COLOUR TEMPERATURE, 120V DRIVER FOR OPERATION, WHITE. C/W INTEGRAL EMERGENCY BATTERY BACKUP	TBD	
	2'x2' LED FLAT PANEL TROFFER. APPROX 3000 LUMENS, 25 WATTS, 80 CRI, 3500K COLOUR TEMPERATURE, 120V DRIVER FOR OPERATION, WHITE.	TBD	
	2'x2' LED FLAT PANEL TROFFER. APPROX 3000 LUMENS, 25 WATTS, 80 CRI, 3500K COLOUR TEMPERATURE, 120V DRIVER FOR OPERATION, WHITE. C/W INTEGRAL EMERGENCY BATTERY BACKUP	TBD	
	48" LED STRIP LUMINAIRE. 80+ CRI, 0-10V DIMMING, 3500K COLOUR TEMP, 4400 LUMENS, 120V, 34 INPUT WATTS, ROUND FROSTED EXTRUDED ACRYLIC LENS, WIREGUARD LIGHT DUTY PAINTED	TBD	
	48" LED STRIP LUMINAIRE. 80+ CRI, 0-10V DIMMING, 3500K COLOUR TEMP, 4400 LUMENS, 120V, 34 INPUT WATTS, ROUND FROSTED EXTRUDED ACRYLIC LENS, WIREGUARD LIGHT DUTY PAINTED C/W INTEGRAL EMERGENCY BATTERY BACKUP	TBD	
	48" LED STAIRWELL SURFACE FIXTURE. 80+ CRI, WITH INTEGRAL OCCUPANCY SENSOR AND STEP DIMMING (50%/100%), 3500K COLOUR TEMP, 3500 LUMENS, 120V, 26 INPUT WATTS, FROSTED EXTRUDED ACRYLIC LENS C/W INTEGRAL EMERGENCY BATTERY BACKUP	TBD	
	DECORATIVE LED EXTERIOR WALL MOUNT FIXTURE, 120V, 6W.	TBD	
	LIGHT SWITCH	TBD	
	3-WAY LIGHT SWITCH	TBD	
	DIMMER SWITCH 0-10V	TBD	
	OCCUPANCY SENSOR	TBD	

EMERGENCY LIGHTING & EXIT SCHEDULE			
SYMBOL	DESCRIPTION	MANUFACTURER	MODEL No.
	SELF POWERED RUNNING MAN EXIT SIGN, SINGLE OR DOUBLE FACE AS INDICATED, ARROWS AS INDICATED, LED LAMPS FOR 120VAC, CSA-C860-96 LISTED & CERTIFIED	LUMACELL OR APPROVED EQUAL	LA SERIES

REVISIONS			
NO.	DESCRIPTION	DATE	BY
PO	ISSUED FOR PERMIT	04/30/2024	MJM

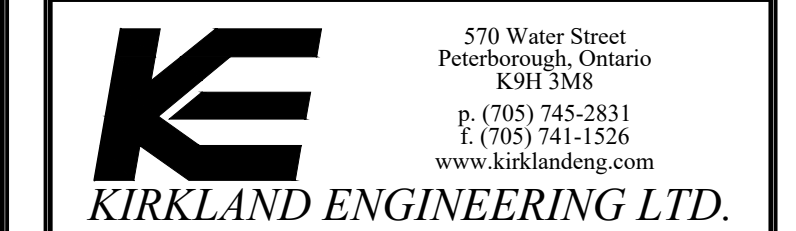
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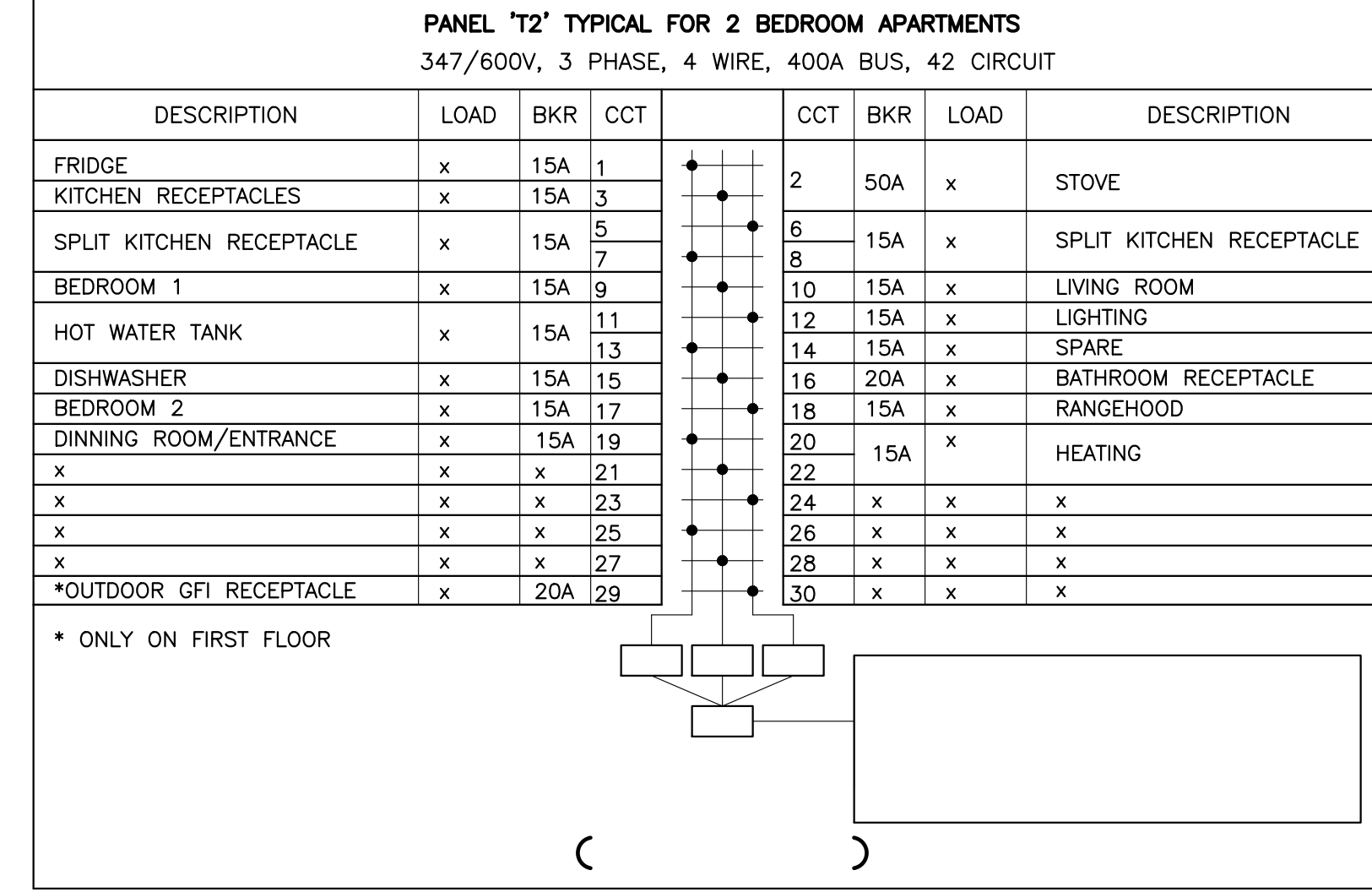
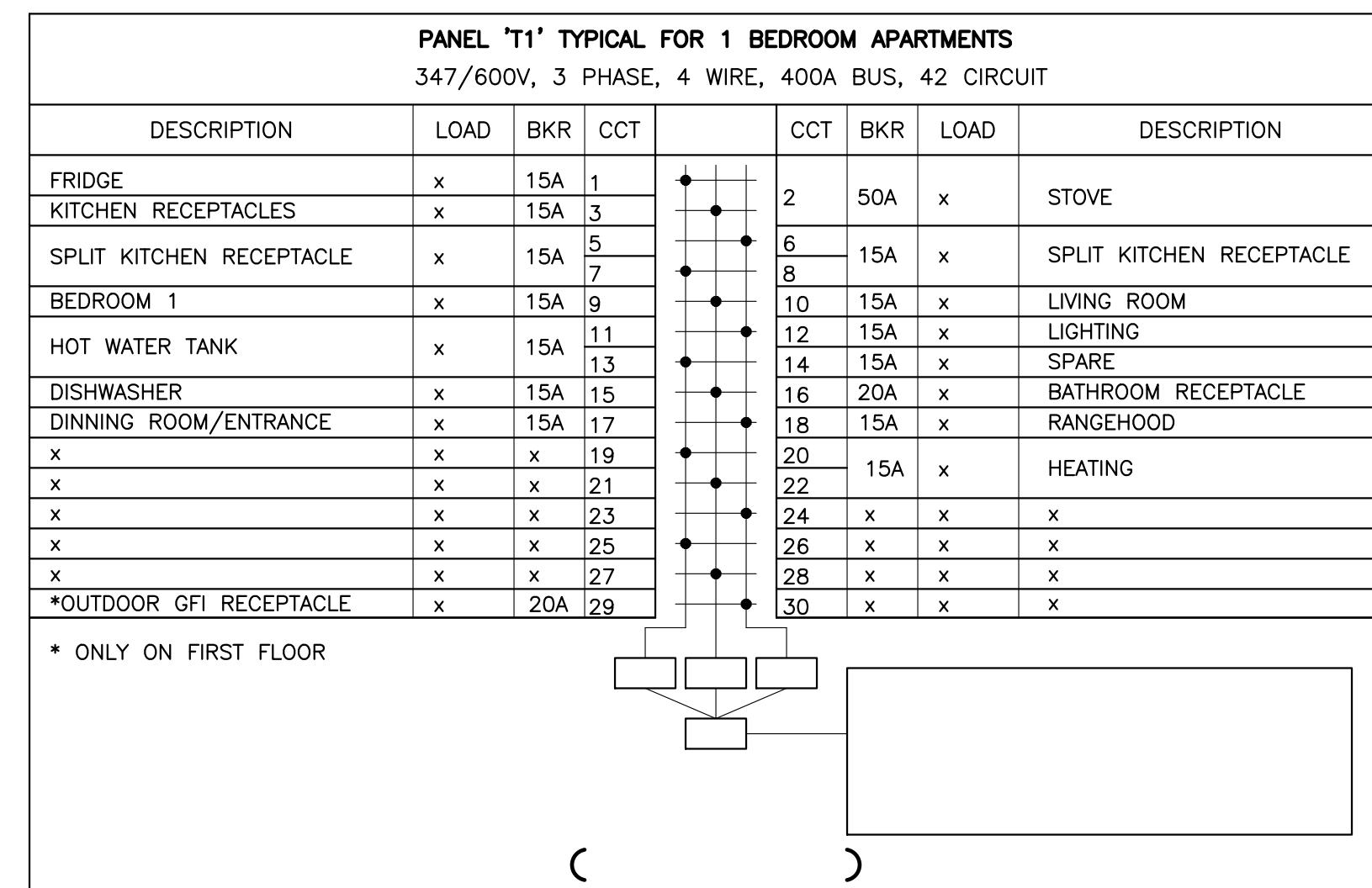
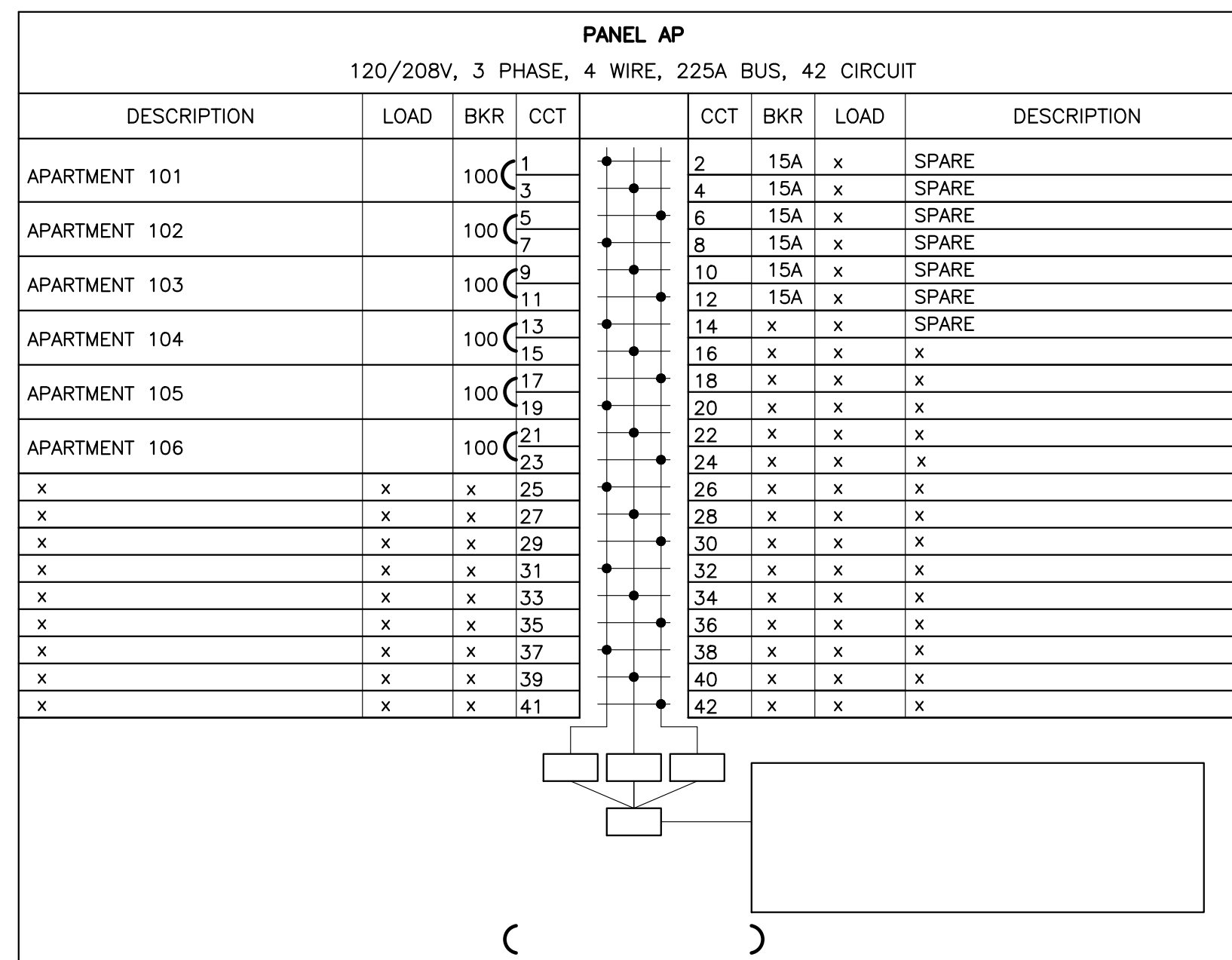
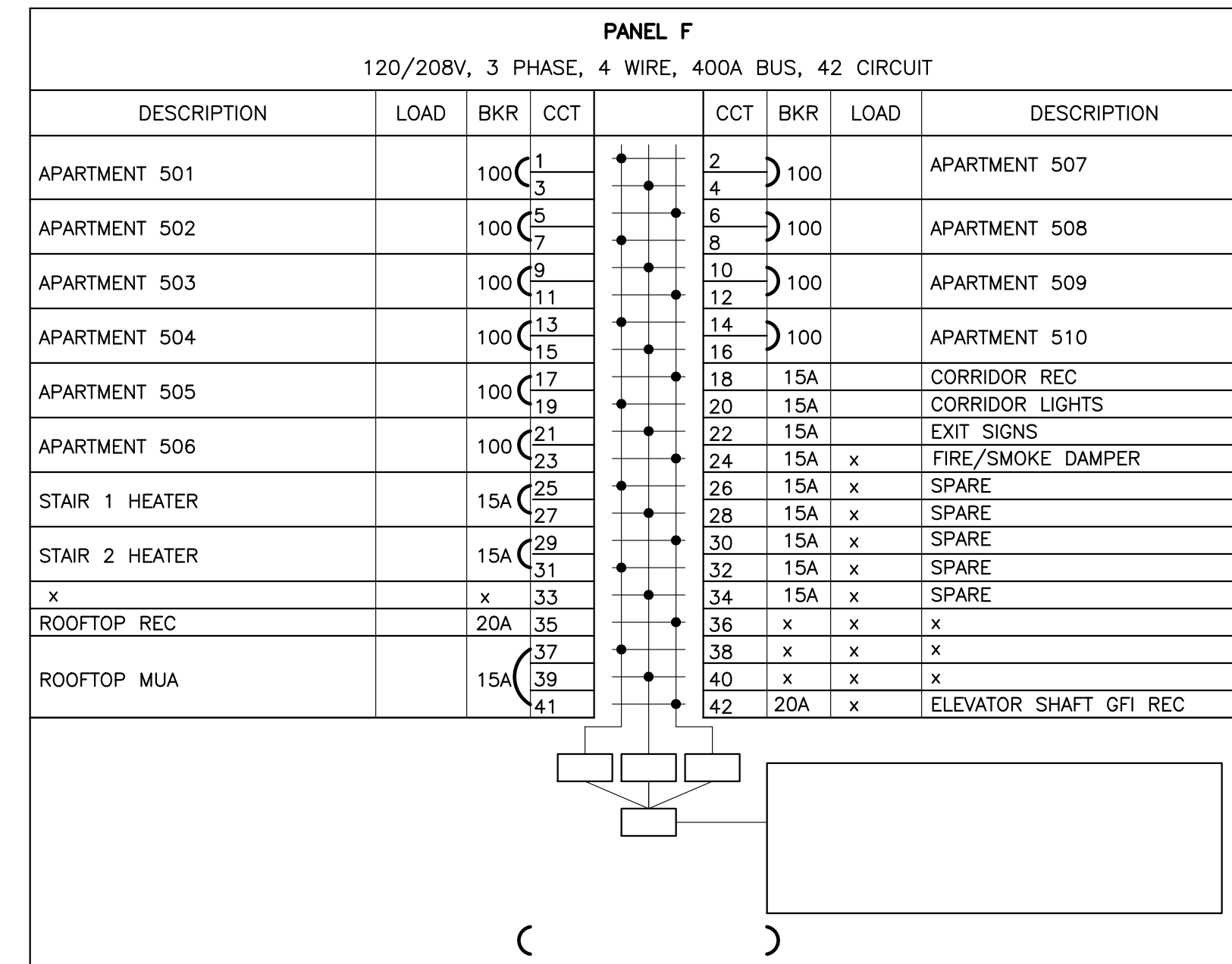
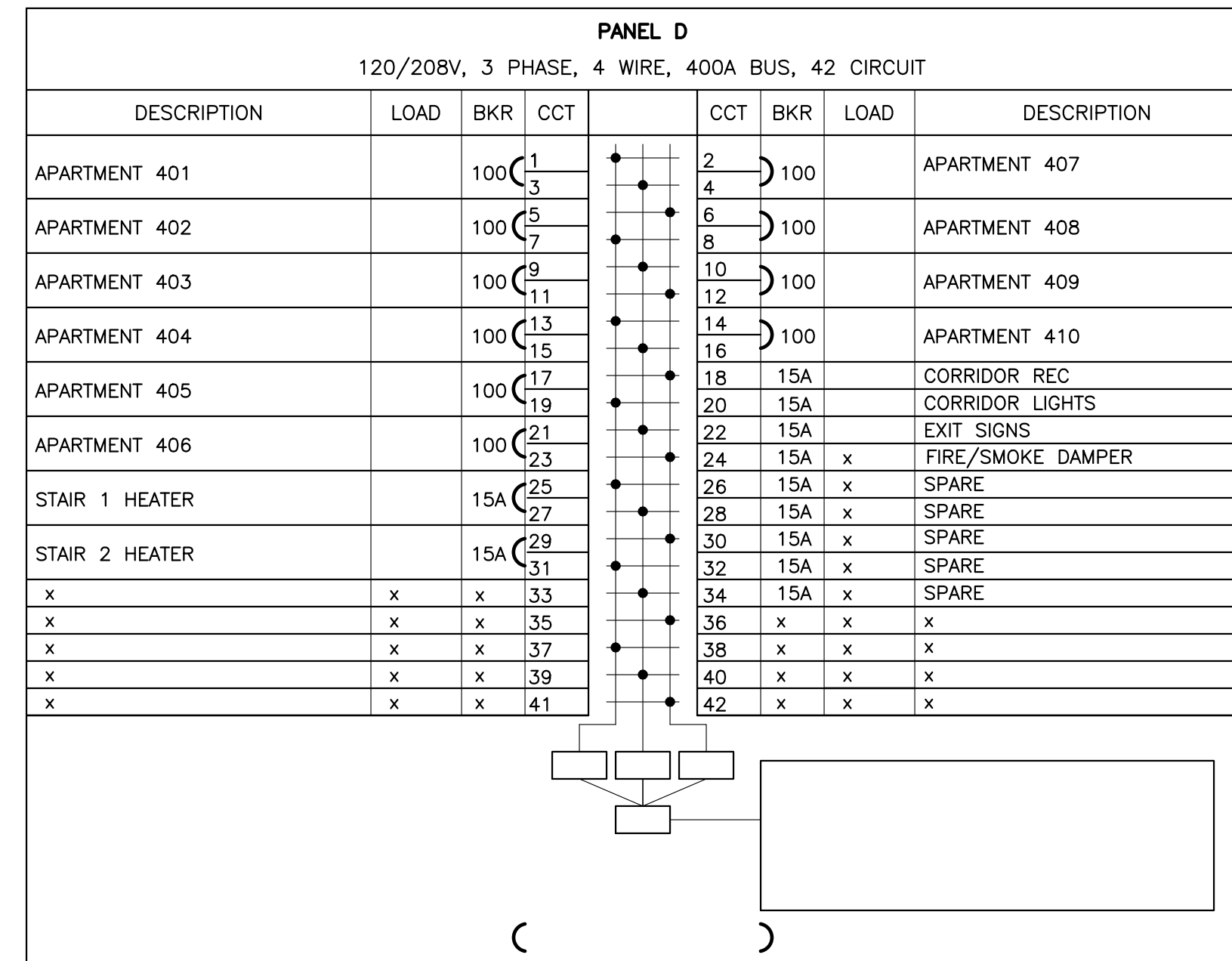
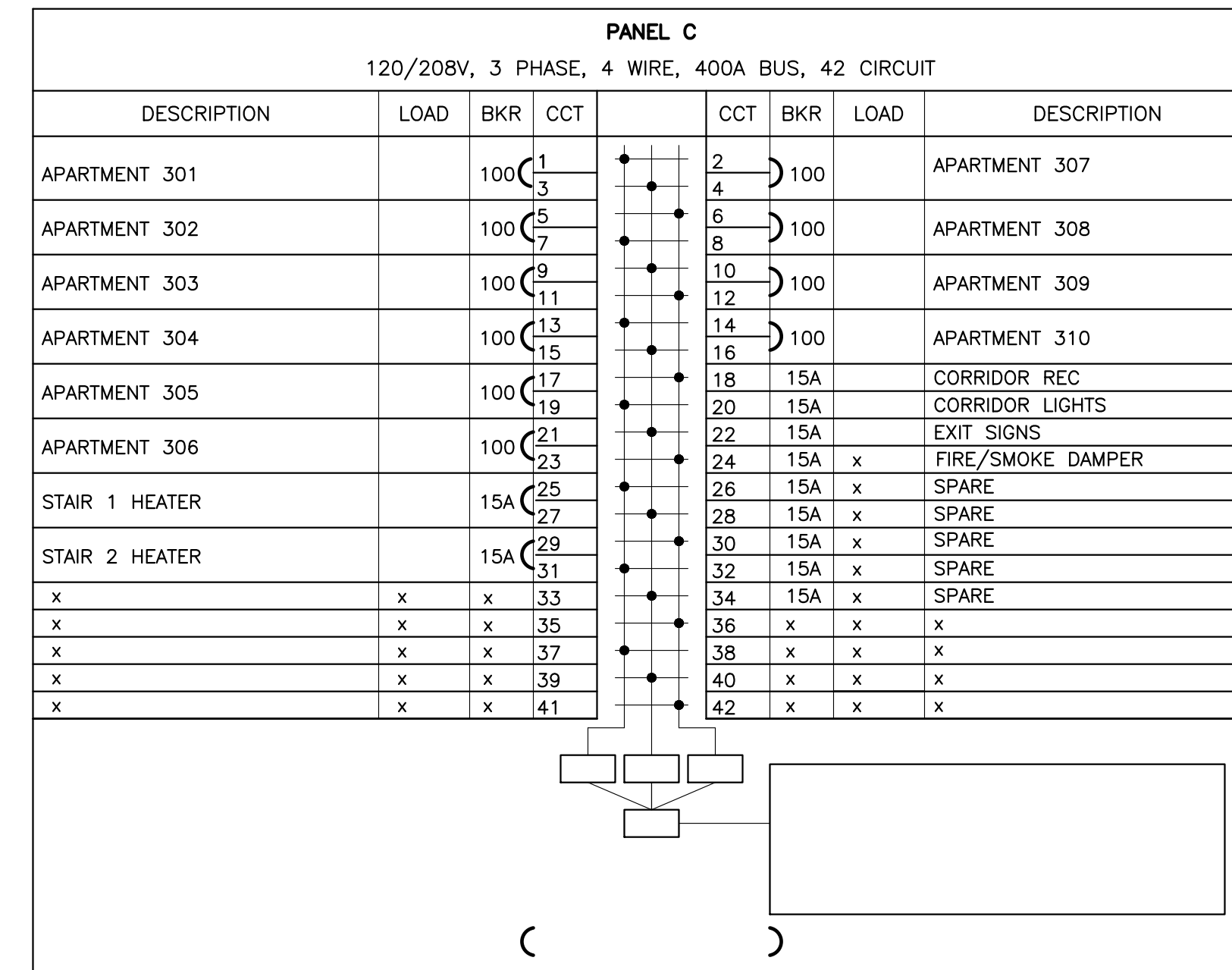
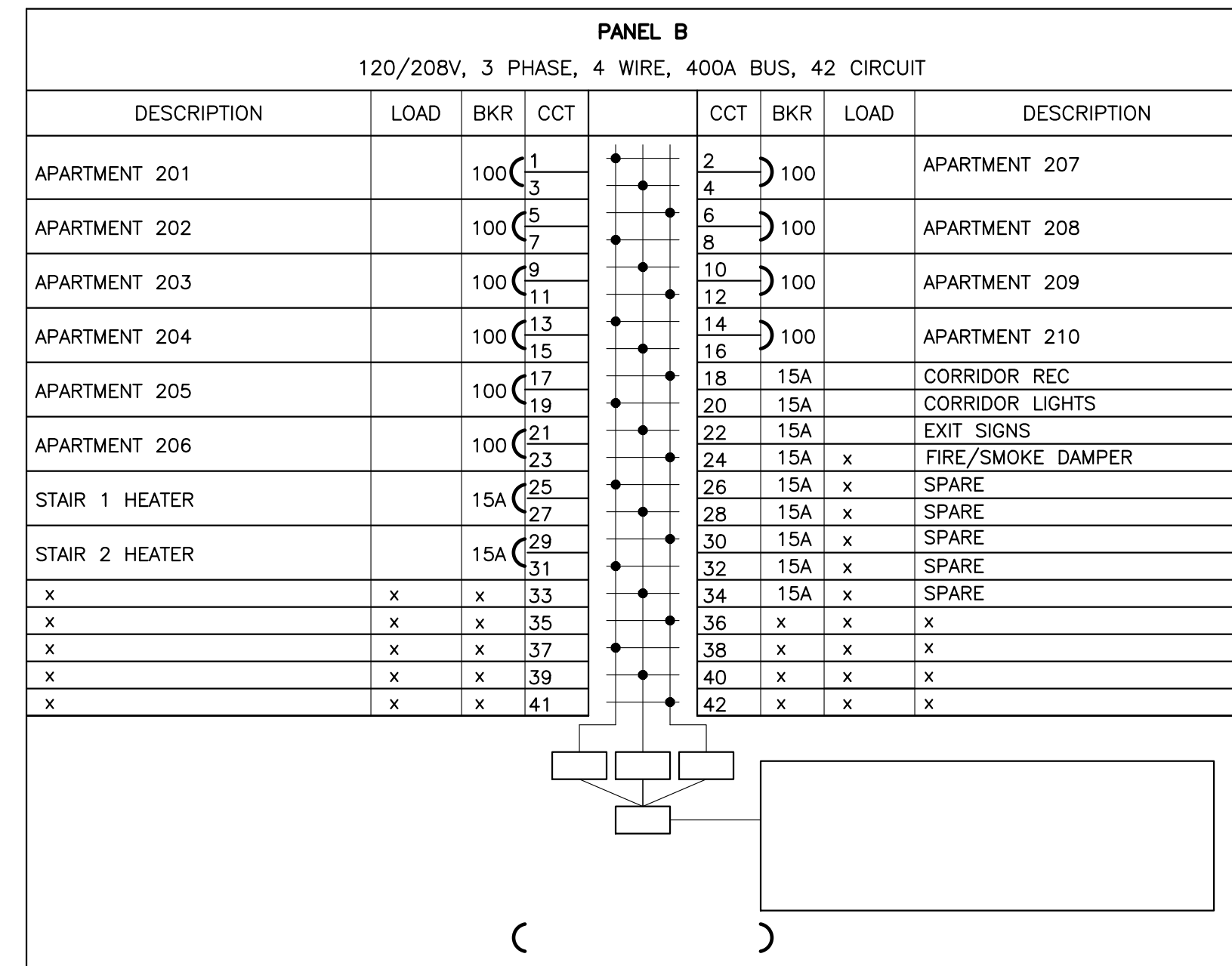
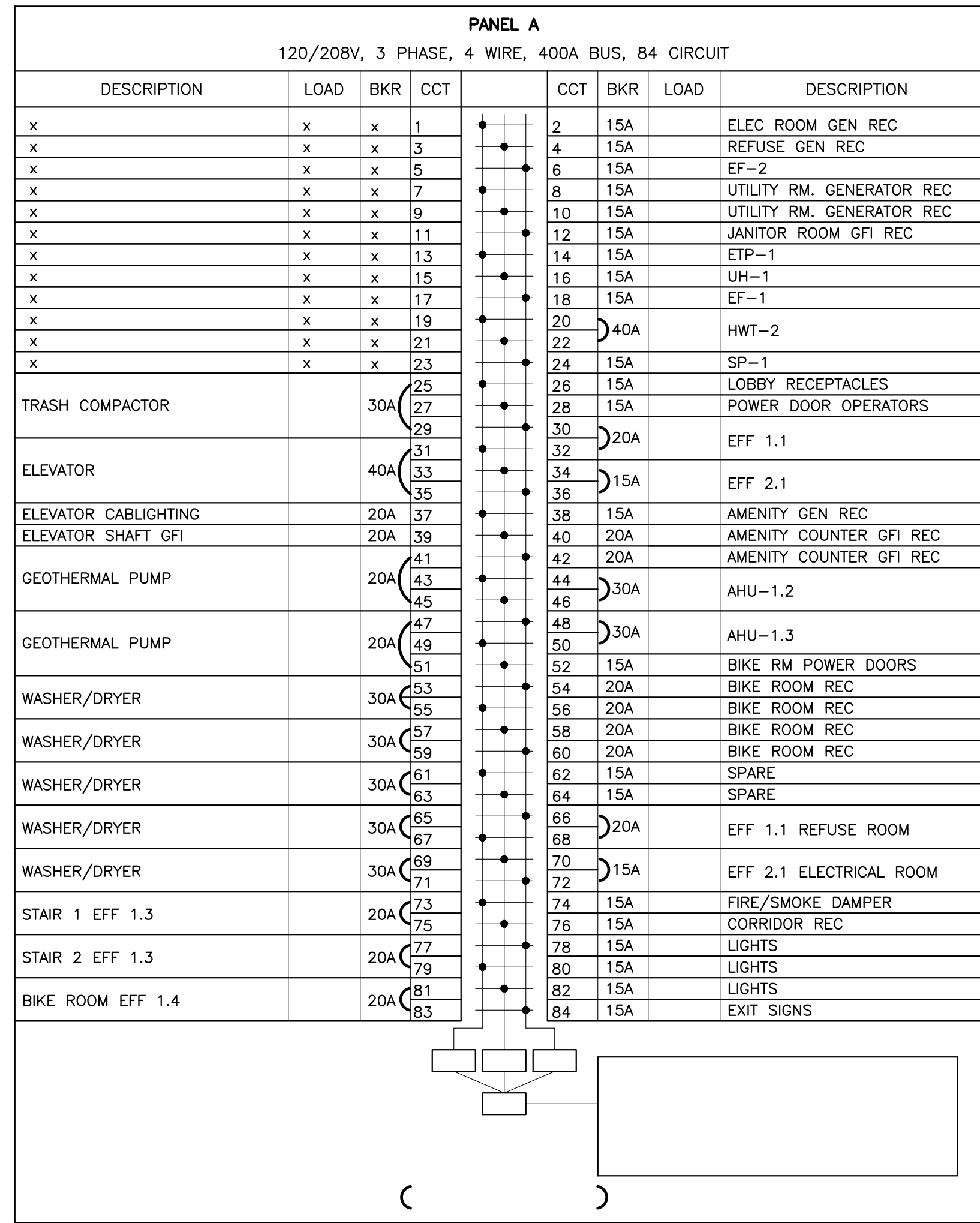
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PROJECT  
**COURTICE SENIOR DEVELOPMENT**  
 1697 HIGHWAY No 2  
 CLARINGTON, ON

TITLE  
**LEGENDS**

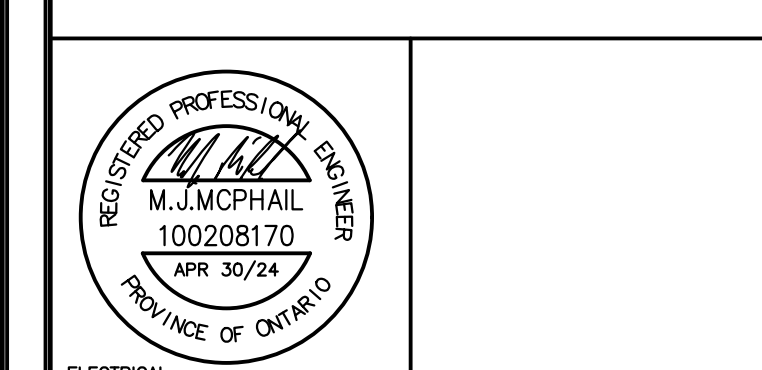
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CHECKED	MJM		
APPROVED	MJM		
PROJECT	7393		



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**REVISIONS**

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**COURTICE SENIOR DEVELOPMENT**

1697 HIGHWAY No 2 CLARINGTON, ON

**ELECTRICAL SPECIFICATIONS**

**1. GENERAL CONDITIONS**

DO ALL WORK IN ACCORDANCE WITH ONTARIO ELECTRICAL SAFETY CODE, CURRENT EDITION, BASED UPON THE CANADIAN ELECTRICAL CODE, PART I, CSA STANDARD C22.1, AND ALL BULLETINS TO DATE. THE QUALITY OF THE MATERIALS AND WORKMANSHIP SHALL BE ACCEPTABLE TO THE ARCHITECT, OWNER AND ENGINEER.

**2. SCOPE OF WORK**

PROVIDE ALL MATERIALS, EQUIPMENT AND LABOUR TO PROVIDE A COMPLETE OPERATING INSTALLATION AS DESIGNATED IN THIS SPECIFICATION AND AS INDICATED ON THE DRAWINGS EXCEPT WHERE OTHERWISE NOTED. THE SCOPE OF WORK INCLUDES, BUT IS NOT LIMITED TO, SUPPLY AND INSTALLATION OF THE FOLLOWING ITEMS:

- .2.1 MAIN SERVICE
- .2.2 POWER DISTRIBUTION.
- .2.3 INTERIOR LIGHTING AND CONTROLS
- .2.4 EMERGENCY LIGHTING AND EXIT SIGNAGE.
- .2.5 FEEDERS AND OVER CURRENT PROTECTION FOR MECHANICAL EQUIPMENT.
- .2.6 FIRE ALARM SYSTEM
- .2.7 BACKUP GENERATOR.

**3. INSURANCE**

MAINTAIN INSURANCE TO FULLY PROTECT THE OWNER, CONTRACTOR AND ENGINEER FROM ANY AND ALL CLAIMS UNDER THE WORKMEN'S COMPENSATION ACT. ALSO ALL INSURANCE AS NOTED WITHIN ARCHITECTURAL GENERAL CONDITIONS. POST PROJECT NOTIFICATION AT THE SITE IN ACCORDANCE WITH MINISTRY OF LABOUR REQUIREMENTS.

**4. PERMITS, FEES AND INSPECTION**

PAY ALL ELECTRICAL SAFETY AUTHORITY (ESA) FEES ASSOCIATED WITH PERMIT, INSPECTION AND EQUIPMENT APPROVAL. NOTIFY ENGINEER OF CHANGES REQUIRED BY ELECTRICAL SAFETY AUTHORITY PRIOR TO MAKING CHANGES. FURNISH CERTIFICATES OF ACCEPTANCE FROM ESA AND AUTHORITIES HAVING JURISDICTION OF COMPLETION OF WORK TO ENGINEER.

**5. DRAWINGS**

PREPARE WITHOUT EXTRA COST, ANY LARGE SCALE INTERERENCE DRAWINGS WHICH MAY BE REQUIRED BY THE EXAMINING AUTHORITIES OR THE ENGINEER. PRIOR TO PROCEEDING WITH THE WORK; EXAMINE DRAWINGS BY OTHER TRADES INCLUDING ARCHITECTURAL AND MECHANICAL.

WHERE DISCREPANCIES ARE NOTED BETWEEN THE DRAWINGS AND/OR SPECIFICATIONS, CONTACT ENGINEER FOR RESOLUTION BEFORE STARTING ON THAT PART OF THE WORK.

**6. SHOP DRAWINGS AND PRODUCT DATA**

'SHOP DRAWINGS' MEANS DRAWINGS, DIAGRAMS, ILLUSTRATIONS, SCHEDULES, PERFORMANCE, CHARTS, BROCHURES, AND OTHER DATA WHICH ARE TO BE PROVIDED BY CONTRACTOR TO ILLUSTRATE DETAILS OF A PORTION OF THE WORK.

INDICATE MATERIALS, METHODS OF CONSTRUCTION, AND ATTACHMENT OR ANCHORAGE, NECESSARY FOR COMPLETION OF WORK. ADJUSTMENTS MADE ON SHOP DRAWINGS BY OWNER OR ENGINEER ARE NOT INTENDED TO CHANGE CONTRACT PRICE.

MAKE CHANGES IN SHOP DRAWINGS AS OWNER OR ENGINEER MAY REQUIRE. SUBMIT 6 COPIES OR 1 GOOD QUALITY DIGITAL COPY OF PRODUCT DATA SHEETS OR BROCHURES FOR LIGHTING FIXTURES, LIGHTING CONTROLS, EMERGENCY LIGHTINGS, EXIT SIGNS, POWER DISTRIBUTION EQUIPMENT AND FIRE ALARM COMPONENTS.

PROVIDE 1 HARD COPY AND 1 DIGITAL COPY OF MAINTENANCE MANUALS COMPLETE WITH WARRANTY, CERTIFICATE OF INSPECTION BY ESA, FIRE ALARM VERIFICATION REPORT, AND COPY OF ALL PRODUCT LITERATURE AND MAINTENANCE INFORMATION.

**7. AS BUILT DRAWINGS**

PROVIDE TWO MARKED COPIES OF "AS-BUILT" DRAWINGS SHOWING ALL CHANGES TO THE ORIGINAL DESIGN AND SYSTEMS AS INSTALLED. ALL CHANGES SHALL BE MARKED CLEARLY AND NEATLY.

**8. CUTTING AND PATCHING**

ELECTRICAL CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED FOR THE WORK OF THIS DIVISION. CUTTING AND DRILLING SHALL BE PERFORMED IN A MANNER SO AS TO CAUSE LITTLE DAMAGE AS POSSIBLE. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE AND PAY FOR ANY DAMAGE CAUSED TO THE BUILDING BY WORK OF THIS DIVISION.

**9. SUPPORTS AND HANGERS**

PROVIDE STRUCTURAL SUPPORTS HANGERS BRACKETS AND INSERTS REQUIRED FOR INSTALLATION OF EQUIPMENT AND CONDUIT. PROVIDE CONDUIT FOR ALL SERVICES PENETRATING THE FLOOR SLAB. SEAL ALL PENETRATIONS THROUGH FIRE WALLS AND FLOOR SLABS WITH AN APPROVED NON-SHRINK, FIREPROOF AND WATERPROOF FIRESTOPPING MATERIAL APPROVED BY THE ARCHITECT.

**10. EQUIPMENT AND MATERIAL**

ALL MATERIALS USED THROUGHOUT SHALL BE NEW, C.S.A. APPROVED AND OF ONE MANUFACTURE FOR LIKE EQUIPMENT. OBTAIN AND PAY FOR SPECIAL ELECTRICAL SAFETY AUTHORITY INSPECTION OF SPECIFIED NON-C.S.A. ELECTRICAL EQUIPMENT.

**11. CARE, OPERATION AND STARTUP**

INSTRUCT OPERATING PERSONNEL IN THE OPERATION, CARE AND MAINTENANCE OF EQUIPMENT.

**12. CO-ORDINATION**

CO-ORDINATE WITH OTHER TRADES, INCLUDING MECHANICAL SYSTEMS, SO AS NOT TO INTERFERE WITH THE WORK OR SCHEDULE OF OTHER TRADES.

**13. IDENTIFICATION**

PROVIDE LAMACOID NAMEPLATES AND TYPEWRITTEN DIRECTORIES FOR ALL NEW PANELS.

**14. WARRANTY**

UPON COMPLETION OF THE WORK, PROVIDE A WRITTEN ONE YEAR GUARANTEE COVERING MATERIALS AND WORKMANSHIP. REPAIR OR REPLACE, WITHOUT COST TO THE OWNER, ANY DEFECTS IN WORKMANSHIP OR MATERIALS WHICH IN THE OPINION OF THE OWNER, ARE NOT DUE TO MISUSE OR NEGLIGENCE.

**15. CONDUITS**

- .1 RIGID GALVANIZED STEEL CONDUIT TO BE USED WHERE SUBJECT TO MECHANICAL DAMAGE.
- .2 ELECTRICAL METALLIC TUBING (EMT) WITH COUPLINGS TO BE USED EXCEPT WHERE EMBEDDED IN CONCRETE OR SUBJECT TO UNDUE MOISTURE OR MECHANICAL DAMAGE.
- .3 RIGID PVC CONDUIT WHERE EMBEDDED IN CONCRETE OR BELOW GRADE.
- .4 FOR UNDERGROUND CONDUITS, SLOPE CONDUITS TO PROVIDE DRAINAGE.
- .5 FLEXIBLE ALUMINUM CONDUIT WITH WEATHERPROOF COVERING TO BE USED WHERE SUBJECT TO VIBRATION OR STRAIN RELIEF.
- .6 INSTALL CONDUITS TO CONSERVE HEADROOM IN EXPOSED LOCATIONS AND CAUSE MINIMUM INTERFERENCE IN SPACES THROUGH WHICH THEY PASS.
- .7 CONCEAL CONDUITS EXCEPT IN MECHANICAL AND ELECTRICAL SERVICE ROOMS AND IN UNFINISHED AREAS.
- .8 MINIMUM CONDUIT SIZE FOR LIGHTING AND POWER CIRCUITS SHALL BE 1/2". BEND CONDUIT COLD. REPLACE IF KINKED OR FLATTENED MORE THAN 1/10TH OF ITS ORIGINAL DIAMETER.
- .9 MECHANICALLY BEND STEEL CONDUIT OVER 3/4" DIA.
- .10 FIELD THREADS ON RIGID CONDUIT MUST BE OF SUFFICIENT LENGTH TO DRAW CONDUITS UP TIGHT.
- .11 INSTALL FISH CORD IN EMPTY CONDUITS.
- .12 RUN 2-1" SPARE CONDUITS UP TO CEILING SPACE AND 2-1" SPARE CONDUITS DOWN TO CEILING SPACE FROM EACH FLUSH MOUNTED PANEL. TERMINATE THESE CONDUITS IN 6" x 6" x 4" JUNCTION BOXES IN CEILING SPACE OR IN CASE OF AN EXPOSED CONCRETE SLAB, TERMINATE EACH CONDUIT IN FLUSH CONCRETE SURFACE TYPE BOX.

- .13 REMOVE AND REPLACE BLOCKED CONDUIT SECTIONS.
- .14 DRY CONDUITS OUT BEFORE INSTALLING WIRE.
- .15 RUN CONDUITS PARALLEL OR PERPENDICULAR TO BUILDING LINES.
- .16 LOCATE CONDUITS BEHIND INFRARED OR GAS FIRED HEATERS WITH MINIMUM 5" CLEARANCE.
- .17 GROUP CONDUITS WHEREVER POSSIBLE ON SUSPENDED OR SURFACE CHANNELS.
- .18 DO NOT PASS CONDUITS THROUGH STRUCTURAL MEMBERS EXCEPT AS INDICATED.
- .19 DO NOT LOCATE CONDUITS LESS THAN 3" PARALLEL TO HOT WATER LINES WITH MINIMUM OF 1" AT CROSSOVERS.
- .20 FOR CONDUITS IN CAST-IN-PLACE CONCRETE, LOCATE TO SUIT REINFORCING STEEL. INSTALL IN CENTRE ONE THIRD OF SLAB.
- .21 PROTECT CONDUITS FROM DAMAGE WHERE THEY STUB OUT OF CONCRETE.
- .22 INSTALL SLEEVES WHERE CONDUITS PASS THROUGH SLAB OR WALL.
- .23 PROVIDE OVERSIZED SLEEVE FOR CONDUITS PASSING THROUGH WATERPROOF MEMBRANE, BEFORE MEMBRANE IS INSTALLED. USE COLD MASTIC BETWEEN SLEEVE AND CONDUIT.
- .24 DO NOT PLACE CONDUITS IN SLABS IN WHICH SLAB THICKNESS IS LESS THAN 4 TIMES CONDUIT DIAMETER.
- .25 FOR CONDUITS IN CAST-IN-PLACE CONCRETE, ENCASE CONDUITS COMPLETELY IN CONCRETE COVER AND ORGANIZE CONDUITS IN SLAB TO MINIMIZE CROSS-OVERS.
- .26 FOR CONDUITS IN CAST-IN-PLACE SLABS ON GRADE RUN CONDUITS 25mm AND LARGER BELOW SLAB AND ENCASED IN 75mm CONCRETE ENVELOPE. PROVIDE 50mm OF SAND OVER CONCRETE ENVELOPE BELOW FLOOR SLAB.

**16. SPLITTERS, JUNCTION, PULL BOXES AND CABINETS**

- .1 INSTALL SPLITTERS AND MOUNT PLUMB, TRUE AND SQUARE TO THE BUILDING LINES.
- .2 EXTEND SPLITTERS FULL LENGTH OF EQUIPMENT ARRANGEMENT EXCEPT WHERE INDICATED OTHERWISE.
- .3 INSTALL PULL BOXES IN INCONSPICUOUS BUT ACCESSIBLE LOCATIONS.
- .4 MOUNT CABINETS WITH NO OVERCURRENT DEVICE OPERATING HANDLE MORE THAN 1.7m ABOVE FINISHED FLOOR.
- .5 INSTALL PULL BOXES SO AS NOT TO EXCEED 30m OF CONDUIT RUN BETWEEN PULL BOXES.
- .6 SUPPORT PULL BOXES INDEPENDENTLY OF CONDUIT.
- .7 BOXES INSTALLED OUTDOORS SHALL BE WEATHERPROOF COMPLETE WITH GASKET.

**17. INSTALLATION OF OUTLETS**

- .1 THE DRAWINGS SHOW APPROXIMATE LOCATION OF OUTLETS, EXACT LOCATION SHALL BE COORDINATED ON THE SITE WITH OTHER TRADES, ARCHITECTURAL DRAWINGS, ETC. OUTLETS INACCUATELY LOCATED SHALL BE READJUSTED OR RELOCATED. THE CONTRACTOR'S EXPENSE.
- .2 UNLESS OTHERWISE NOTED ON THE DRAWING LOCATE OUTLETS AS FOLLOWS:
  - .2.1 RECEPTACLES, TELEPHONE AND ALARM OUTLETS (18") 450mm ABOVE FINISHED FLOOR.
  - .2.2 OUTLETS OVER COUNTER (45") 1143mm ABOVE FLOOR OR AS DIRECTED BY OWNER OR ARCHITECT.
  - .2.3 OUTLETS IN MECHANICAL, ELECTRICAL AND TELEPHONE ROOMS (47") 1200mm ABOVE FLOOR.
  - .2.4 LIGHT SWITCHES MAXIMUM (47") 1200mm ABOVE FLOOR.
  - .2.5 RACEWAYS SHALL BE EMT UNLESS OTHERWISE NOTED.
  - .2.6 MANUAL PULL STATION (47") 1200mm ABOVE FLOOR.

**18. WIRE AND CABLE**

- .1 MINIMUM SIZE OF CONDUCTORS SHALL BE #12 AWG.
- .2 CONDUCTORS SHALL BE COPPER, SIZED AS INDICATED, WITH 600V INSULATION OF CROSS LINKED THERMOSETTING POLYETHYLENE MATERIAL RW90-XLPE.
- .3 SIZE OF WIRING FOR BRANCH CIRCUITS GREATER THAN 30m IN LENGTH SHALL BE #10 AWG UNLESS OTHERWISE INDICATED ON THE PLANS.
- .4 WIRES TO BE COLOURED AS FOLLOWS:
  - 12V DC BLUE
  - 120V AC NEUTRAL WHITE
  - 120V AC SWITCHED BLACK OR RED
  - 120V AC LINE BLACK.

- .5 USE MATERIALS AND METHODS APPROVED BY THE ONTARIO ELECTRICAL SAFETY CODE FOR USE IN NON-COMBUSTIBLE CONSTRUCTION.
- .6 ARMoured CABLE TYPE AC90 (BX) WITH INTERLOCKING ARMOUR FABRICATED FROM ALUMINUM STRIP C/W COPPER INSULATED CONDUCTORS, SIZE AS INDICATED, TO BE USED IN CONCEALED WALL AND CEILING CAVITIES.

**19. GROUNDING**

- .1 INSTALL COMPLETE PERMANENT, CONTINUOUS GROUNDING SYSTEM INCLUDING, ELECTRODES, CONDUCTORS, CONNECTORS, ACCESSORIES AS INDICATED TO CONFORM TO REQUIREMENTS OF ESA, ENGINEER, AND LOCAL AUTHORITY HAVING JURISDICTION OVER THE INSTALLATION. WHERE EMT IS USED, RUN BOND WIRE IN CONDUIT.
- .2 INSTALL CONNECTORS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- .3 PROTECT EXPOSED GROUNDING CONDUCTORS FROM MECHANICAL INJURY.
- .4 MAKE BURIED CONNECTIONS, AND CONNECTIONS TO ELECTRODES, USING COPPER CAD WELDING PROCESS CONNECTORS.
- .5 USE MECHANICAL CONNECTORS FOR GROUNDING CONNECTIONS TO EQUIPMENT PROVIDED WITH LUGS.
- .6 SOLDERED JOINTS NOT PERMITTED.
- .7 INSTALL BONDING WIRE FOR FLEXIBLE CONDUIT, CONNECTED AT BOTH ENDS TO GROUNDING BUSHING, SOLDERLESS LUG, CLAMP OR CUP WASHER AND SCREW.

**20. DISCONNECT SWITCHES**

- .1 FUSIBLE, AND NON-FUSIBLE, DISCONNECT SWITCH SWITCHES IN ENCLOSURE, SIZE AS INDICATED.
- .2 PROVISION FOR PADLOCKING IN OFF SWITCH POSITION BY THREE LOCKS.
- .3 MECHANICALLY INTERLOCKED DOOR TO PREVENT OPENING WHEN HANDLE IN ON POSITION.
- .4 FUSES: SIZE AS INDICATED. PROVIDE THREE SPARE FUSES OF EACH TYPE AND SIZE INSTALLED ABOVE 600A AND SIX SPARE FUSES OF EACH TYPE AND SIZE INSTALLED UP TO AND INCLUDING 600A. PROVIDE SUITABLE SIZED CABINET TO STORE SPARE FUSES.
- .5 FUSEHOLDERS: SUITABLE WITHOUT ADAPTORS, FOR TYPE AND SIZE OF FUSE INDICATED.
- .6 QUICK-MAKE, QUICK-BREAK ACTION.
- .7 ON-OFF SWITCH POSITION INDICATION ON SWITCH ENCLOSURE COVER.
- .8 ENCLOSURES SHALL BE RATED EEMAC 1 EXCEPT FOR WEATHERPROOF ENCLOSURES WHICH SHALL BE EEMAC 3.

**21. PANEL BOARDS**

- .1 PANELBOARDS SHALL BE THE PRODUCT OF ONE MANUFACTURER. SIEMENS, CUTLER HAMMER AND SCHNEIDER ARE ACCEPTABLE.
- .2 INSTALL CIRCUIT BREAKERS IN PANELBOARDS BEFORE SHIPMENT.
- .3 SEQUENCE PHASE BUSSING WITH ODD NUMBER BREAKERS ON LEFT AND EVEN ON RIGHT, WITH EACH BREAKER IDENTIFIED BY PERMANENT NUMBER IDENTIFICATION AS TO CIRCUIT NUMBER AND PHASE.
- .4 PANELBOARDS: MAINS, NUMBER OF CIRCUITS, AND NUMBER AND SIZE OF BRANCH CIRCUIT BREAKERS AS INDICATED ON DRAWINGS.
- .5 TWO KEYS FOR EACH PANELBOARD AND KEY PANELBOARDS ALIKE.
- .6 ALUMINUM OR COPPER BUS WITH NEUTRAL OF SAME AMPERE RATING AS MAINS.
- .7 MAINS: SUITABLE FOR BOLT-ON BREAKERS.
- .8 TRIM WITH CONCEALED FRONT BOLTS AND HINGES.
- .9 TRIM AND DOOR FINISH: BAKED GREY ENAMEL.
- .10 TWO AND THREE POLE BREAKER OPERATION SHALL BE BY MEANS OF A COMMON TRIP AND A SINGLE HANDLE. A TIE HANDLE CONNECTING TWO OR THREE SINGLE POLE BREAKERS WILL NOT BE ACCEPTED.

**22. ELECTRIC MOTORS EQUIPMENT AND CONTROLS**

- .1 CONTROL WIRING AND CONDUIT IS SPECIFIED BY ELECTRICAL EXCEPT FOR CONDUIT, WIRING AND CONNECTIONS BELOW 50V WHICH ARE RELATED TO CONTROL SYSTEMS SPECIFIED BY MECHANICAL AND SHOWN ON MECHANICAL DRAWINGS.
- .2 ELECTRICAL SHALL CHECK ALL MOTOR CONNECTION FOR CORRECT PHASE ROTATION, WHERE APPLICABLE.

**23. LIGHTING FIXTURES**

- .1 PROVIDE LIGHT FIXTURES AS SHOWN ON LIGHTING SCHEDULE ON THE DRAWINGS. ENSURE THAT ALL EQUIPMENT IS EQUAL TO THE PRODUCTS SPECIFIED IN ALL RESPECTS.
- .2 LOCATE AND INSTALL LUMINAIRES AS INDICATED.
- .3 JUNCTION BOXES IN SUSPENDED CEILING SPACES SHALL BE ACCESSIBLE THROUGH THE FIXTURES OR BY REMOVABLE CEILING.
- .4 FOR SUSPENDED CEILING INSTALLATIONS SUPPORT LUMINAIRES INDEPENDENTLY OF CEILING BY AIRCRAFT CABLE
- .5 ALIGN LUMINAIRES MOUNTED INDIVIDUALLY PARALLEL OR PENDICULAR TO BUILDING GRID.

**24. INSTALLATION OF OUTLETS**

- .1 THE DRAWINGS SHOW APPROXIMATE LOCATION OF OUTLETS, EXACT LOCATION SHALL BE COORDINATED ON THE SITE WITH OTHER TRADES, ARCHITECTURAL DRAWINGS, ETC. OUTLETS INACCUATELY LOCATED SHALL BE READJUSTED OR RELOCATED AT THE CONTRACTOR'S EXPENSE. UNLESS OTHERWISE NOTED ON THE DRAWING LOCATE OUTLETS AS FOLLOWS:
  - .1.1 RECEPTACLES, TELEPHONE AND ALARM OUTLETS (12") 305mm ABOVE FINISHED FLOOR.
  - .1.2 OUTLETS OVER COUNTER (45") 1143mm ABOVE FLOOR OR CO-ORDINATION.
  - .1.3 OUTLETS IN MECHANICAL, ELECTRICAL AND TELEPHONE ROOMS (48") 1220mm ABOVE FLOOR.
  - .1.4 LIGHT SWITCHES NOT LESS THAN (35.4") 900mm AND NOT MORE THAN (43") 1100mm ABOVE FLOOR.
- .2 RACEWAYS SHALL BE EMT UNLESS OTHERWISE NOTED.
- .3 SUPPORT OUTLET BOXES, JUNCTION BOXES, CONDUIT AND THE LIKE.
- .4 LABEL ALL OUTLETS WITH THE PANEL AND CIRCUIT NUMBER FROM WHICH IT IS FED

**25. RECEPTACLES**

- .1 WHITE DUPLEX RECEPTACLES CSA TYPE 5-15R, 125V, 20A, T-SLOT, U GROUND.
- .2 WHITE COVER PLATES.
- .3 IF RECEPTACLE IS SURFACE MOUNTED USE CAST BOX.

**26. EQUIPMENT FOR EMERGENCY LIGHTING**

- .1 SUPPLY VOLTAGE: 120V AC
- .2 OUTPUT VOLTAGE: 12V DC
- .3 OPERATIONS TIME: 60 MINUTES MINIMUM
- .4 CABINET: SUITABLE FOR DIRECT OR SHELF MOUNTING TO WALL C/W KNOCKOUTS FOR CONDUIT, REMOVABLE OR HINGED FRONT PANEL FOR EASY ACCESS TO BATTERIES.

**27. TELEPHONE/COMPUTER RACEWAY SYSTEM**

- .1 PROVIDE EMPTY CONDUIT SYSTEMS FOR TELEPHONE AND DATA AS SHOWN ON THE DRAWINGS.
- .2 WHERE CONDUITS NOT SHOWN ON DRAWINGS PROVIDE CONDUITS FROM OUTLET BOX TO ACCESSIBLE CEILING SPACE.
- .3 RACEWAYS SHALL BE EMT.
- .4 A MAXIMUM OF 2 LONG RADIUS 90 DEGREE BENDS SHALL BE PROVIDED BETWEEN PULL BOXES.
- .5 A WIRE SHALL BE PULLED AND LEFT IN EACH CONDUIT RUN TO FACILITATOR THE FUTURE PULLING OF WIRES.
- .6 PROVIDE NECESSARY BOXES AND ASSOCIATED COVER PLATES AS REQUIRED FOR THE ABOVE SYSTEMS.

**28. THIRD PARTY TESTING**

- .1 THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THIRD PARTY TESTING OF THE LIGHTING SYSTEM IN ACCORDANCE WITH ASHRAE STANDARD 90.1-2010, SECTION 9.4.4 FUNCTIONAL TESTING. THE PARTY RESPONSIBLE FOR THE FUNCTIONAL TESTING SHALL NOT BE DIRECTLY INVOLVED IN EITHER THE DESIGN OR CONSTRUCTION OF THE PROJECT AND SHALL PROVIDE DOCUMENTATION CERTIFYING THAT THE INSTALLED LIGHTING CONTROLS MEET OR EXCEED ALL DOCUMENTED PERFORMANCE CRITERIA.
- .2 LIGHTING CONTROL DEVICES AND CONTROL SYSTEMS SHALL BE TESTED TO ENSURE THAT CONTROL HARDWARE AND SOFTWARE ARE CALIBRATED, ADJUSTED, PROGRAMMED AND IN PROPER WORKING CONDITION IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- .3 WHEN SENSORS, TIME SWITCHES, PROGRAMMABLE SCHEDULE CONTROLS OR PHOTOSENSORS ARE INSTALLED, THE FOLLOWING PROCEDURES SHALL BE PERFORMED:
  - .4 CONFIRM THAT THE PLACEMENT, SENSITIVITY AND TIME-OUT ADJUSTMENTS FOR OCCUPANT SENSORS YIELD ACCEPTABLE PERFORMANCE, LIGHTS TURN OFF ONLY AFTER SPACE IS VACATED. WHERE AN AUTO-ON MODE HAS BEEN SELECTED, LIGHTS DO NOT TURN ON UNLESS SPACE IS OCCUPIED.
  - .5 CONFIRM THAT THE TIME SWITCHES AND PROGRAMMABLE SCHEDULE CONTROLS ARE PROGRAMMED CORRECTLY TO TURN THE LIGHTS OFF.
  - .6 WHERE DAYLIGHT HARVESTING CAPABILITY HAS BEEN INSTALLED, CONFIRM THAT PHOTOSENSOR CONTROLS REDUCE ELECTRIC LIGHT LEVELS BASED ON THE AMOUNT OF USABLE DAYLIGHT IN THE SPACE AS SPECIFIED.

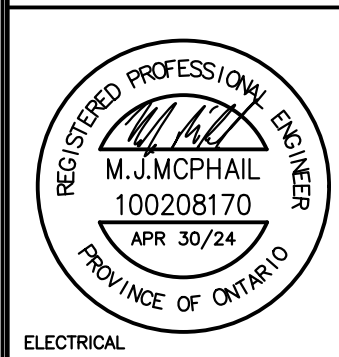
**29. FIRE ALARM**

- .1 PROVIDE ALL MATERIAL EQUIPMENT AND LABOUR REQUIRED FOR A COMPLETE AND ADEQUATE INSTALLATION OF THE FIRE ALARM SYSTEM AS SHOWN ON THE DRAWINGS AND AS DESCRIBED HEREIN.
- .2 SHOP DRAWINGS FOR THE COMPLETE SYSTEM, INCLUDING LAYOUT OF EQUIPMENT, ZONING AND COMPLETE WIRING DIAGRAMS FOR CONNECTIONS AND DEVICES, AND METHODS OR OPERATION SHALL BE SUBMITTED.
- .3 ALL COMPONENTS OF THE SYSTEM, ITS INSTALLATION AND THE SYSTEM AS A WHOLE SHALL BE ULC LISTED AND LABELED AND SHALL MEET THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION OF THE APPLICATION. THE ENTIRE INSTALLATION SHALL BE CARRIED OUT IN ACCORDANCE WITH CAN. ULC S524 AND SHALL BE VERIFIED IN ACCORDANCE WITH CAN. ULC S537.
- .4 BREAKER FOR FIRE ALARM CONTROL PANEL AND BOOSTER PANELS TO BE LOCKABLE AND CLEARLY IDENTIFIED BY PAINTING IT RED.
- .5 PROVIDE SEPARATE CIRCUITS FROM CONTROL PANEL TO EACH ZONE OF INITIATING DEVICES OR IF A SINGLE LOOP ENSURE ISOLATION MODULES ARE INSTALLED AS REQUIRED BY CODE.
- .6 SINGLE STAGE OPERATION.
- .7 ALARM DEVICES TO OPERATE IN TEMPORAL CODE. CONFIRM WITH LOCAL AUTHORITY.
- .8 ZONE OF ALARM DEVICE TO BE INDICATED ON CONTROL PANEL.
- .9 POWER SUPPLY IS 120VAC, 60HZ INPUT, 24VDC OUTPUT FROM RECTIFIER TO OPERATE ALARM AND SIGNAL CIRCUITS WITH STANDBY POWER GELL CELL BATTERIES. MINIMUM EXPECTED LIFE OF FOUR YEARS, SIZED IN ACCORDANCE WITH OBC.
- .10 PROVIDE FIRE ALARM SYSTEM RISER DIAGRAM IN CONTROL PANEL.
- .11 ARRANGE AND PAY FOR ON-SITE LECTURE AND DEMONSTRATION BY FIRE ALARM EQUIPMENT MANUFACTURER TO TRAIN OPERATIONAL PERSONNEL IN USE AND MAINTENANCE OF FIRE ALARM SYSTEM.
- .12 COORDINATE WITH MANUFACTURER TO PROVIDE STROBE LIGHT SYNCHRONIZATION MODULES AS REQUIRED.
- .13 PROVIDE SUFFICIENT OUTPUT MODULES IN FIRE ALARM CONTROL PANEL.
- .14 PROVIDE OUTPUT POWER BOOSTERS AS REQUIRED. COORDINATE WITH MANUFACTURER.
- .15 ALL FIRE ALARM JUNCTION BOXES SHALL BE PAINTED RED.
- .16 WHERE FIRE PROTECTION AND LIFE SAFETY SYSTEMS, AND SYSTEMS WITH FIRE PROTECTION AND LIFE SAFETY FUNCTIONS, ARE INTEGRATED WITH EACH OTHER, THE SYSTEMS SHALL BE TESTED AS A WHOLE IN ACCORDANCE WITH CAN/ULC-S1001, "INTEGRATED SYSTEMS TESTING OF FIRE PROTECTION AND LIFE SAFETY SYSTEMS" TO VERIFY THAT THE SYSTEMS HAVE BEEN PROPERLY INTEGRATED. TESTING SHALL BE COMPLETED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO AND CERTIFIED BY ULC FOR COMPLETING THIS TESTING.


PO	ISSUED FOR PERMIT	04/30/2024	MJM
NO.	DESCRIPTION	DATE	BY

**REVISIONS**

Kirkland Engineering Ltd BCIN: 28857




ELECTRICAL

NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ENGINEER.

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**PROJECT**

**COURTICE SENIOR DEVELOPMENT**

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**TITLE**

**SPECIFICATIONS**

DESIGN	MJM	SCALE	N.T.S.
DRAWN	AJM	DWG NO.	
CHECKED	MJM		
APPROVED	MJM		
PROJECT	7393		

**E18**

